



MAIN ST, GOLDENWEST & YORKTOWN
HUNTINGTON BEACH, CALIFORNIA



97-2660 R4
3-14-00

S I G N P R O G R A M

FOR:
SHEA VICKERS
DEVELOPMENT



PROJECT DIRECTORY

Owner: *Shea Vickers*
 667 Brea Canyon Road, #30
 Walnut, CA 91788-1536
 Tel.(909) 594-0943
 Fax(619) 869-0868
 Contact: *Jim Yoder*

Project Architect: *SGPA Architects*
 1545 Hotel Circle So., #200
 San Diego, CA 92108
 (619) 297-0131
 (Fax) 294-9534
 Contact: *Keith Pittsford*

Signage: *Signage Solutions, Inc.*
 Consultant: 1336 Allec Street
 Anaheim, CA 92805
 (714) 491-0299
 (Fax) 491-0439
 Contact: *Chris De Ruyter*

City: *City of Huntington Beach*
 Planning: *Planning Department*
 2000 Main Street
 Huntington Beach, CA 92648
 (714) 536-5550
 (Fax) 374-1540

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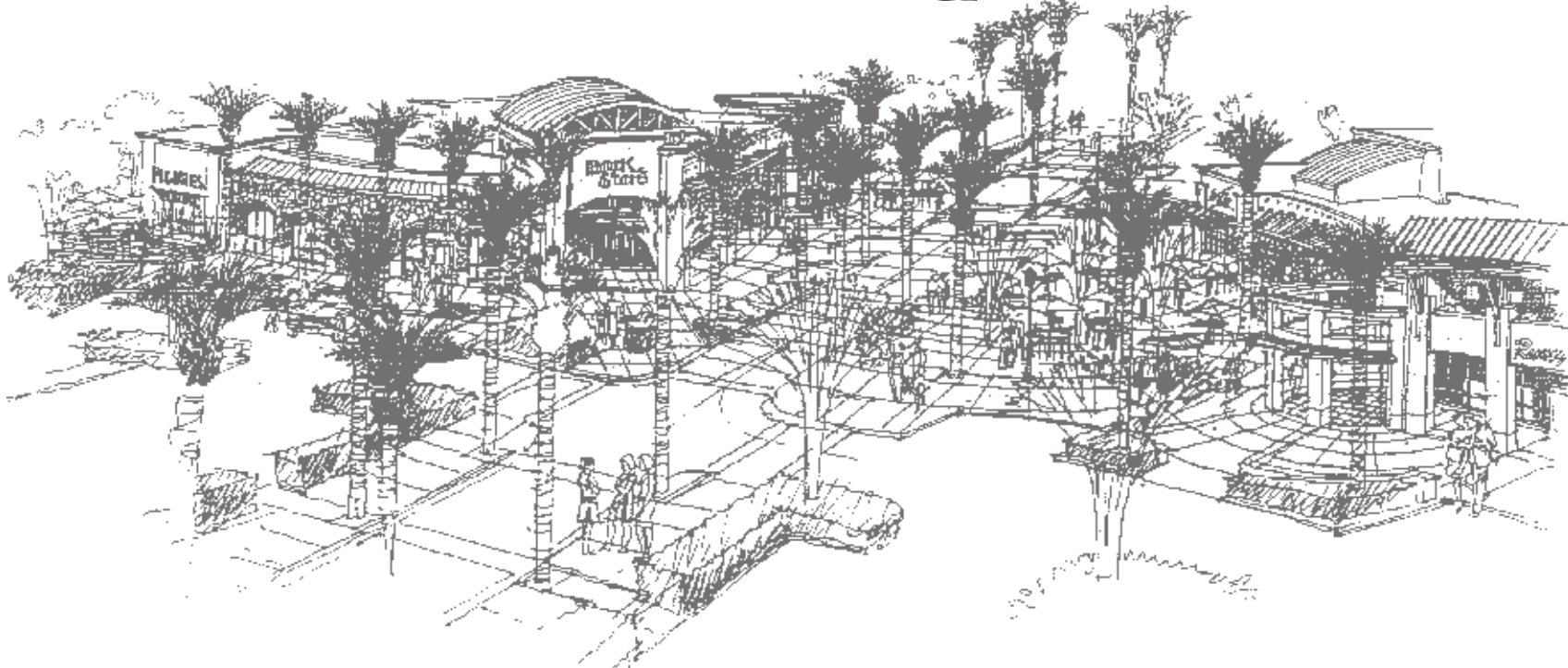
SIGN TYPE SCHEDULE

ITEM	SIGN TYPE	PAGE
TENANT WALL SIGNS		
WA	Anchor Tenant Signage	1.1
WM	Major Tenant Signage	1.2
WP	Pad Tenant Signage	1.3
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GROUND MOUNTED SIGNS		
P.1	Project/ Tenant Pylon	2.1
M.1	Corner ID Monument	2.2
M.2	Pad Monument ID	2.3
M.3	Service Station Monument	2.4
D.1	Vehicular Directional	2.5
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REGULATORY SIGNS		
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SEACLIFF VILLAGE



SUBMITTALS & APPROVALS

There is a formal process for the creation, review and approval of Tenant signs at Seacliff Village. All Tenant's signage is subject to the Owner's, or his managing agent (hereinafter referred to as "Owner"), written approval. Approval will be granted based on the following:

1. Design, fabrication and method of installation of all signs shall conform to this sign program.
2. Proposed signage is in harmony with adjacent signage conditions and conforms with the Design standards for the Seacliff Village.

A. SUBMITTAL TO OWNER:

Tenant shall submit three (3) copies of detailed shop drawings to Owner for approval prior to city submittal or sign fabrication. Sign drawings are to be prepared by a California licensed sign contractor. All signs must conform to the city requirements of Huntington Beach Planning and Building Department.

Owner has the right to have consultant review and approve sign plans for colors, creativity and overall adherence to the Center's sign criteria. The review fee will be a Tenant expense.

Submittals shall include the following:

1. STOREFRONT ELEVATION:

Scaled elevation of Tenant's storefront depicting the proposed sign design and all the dimensions as they relate to the Tenant's storefront

2. SHOP DRAWINGS:

Fully dimensioned and scaled shop drawings specifying exact dimensions, copy layout, type styles, materials, colors, means of attachment, illumination, electrical specifications, and all other details of construction. Section through letter and/or sign panel showing the dimensioned projection of the face of the letter or sign panel and the illumination.

3. SAMPLE BOARD:

Provide a sample board showing colors, materials, including building fascia, letter faces, trimcap, returns, and other details.

Approval or disapproval of sign submittals shall remain the sole right and discretion of the Owner. If shop drawings are denied, Tenant must resubmit revised plans until Owner's approval is obtained. Request to implement signs that vary from the provisions of this sign program will be submitted to the Owner for approval and then submitted to the city of Huntington Beach for approval. The Owner may approve signs that depart from the specific provisions and constraints of this sign program in order to:

- a. Encourage exceptional design.
- b. Accommodate imaginative, unique and tasteful signs that capture the spirit and intent of this sign program.
- c. Mitigate problems in the application of this sign program.

B. SUBMITTAL TO CITY:

A full set of plans must be approved and stamped by the Owner prior to permit application. Tenant or his sign contractor must submit to the City of Huntington Beach, and will be responsible for all applicable applications, permit fees for the Planning and Building Departments.

Tenant and his Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following conditions have been met:

1. A stamped set of final drawings reflecting the Owner's and City's approval shall be on file in the Owner's office.
2. Owner must receive the Sign Contractor's Certificate of Insurance as noted in Section X, Insurance Requirements.

3. The Owner must be notified 48 hours in advance prior to sign installation.

C. Tenant's Sign Contractor shall install required signage within 45 days after approval of shop drawings. If signage is not in place by that date, Owner may order sign fabrication and installation on Tenant's behalf and at the Tenant's expense.

D. The Owner may, at his sole discretion and at the Tenant's expense, correct, replace, or remove any sign that is installed without written approval and/or that is deemed unacceptable pertaining to this sign program.

E. If the Tenant chooses to change his exterior sign at anytime during the term of his lease, then Tenant must comply with the requirements set forth herein and any future modifications, revisions or changes which have been made to this sign program for this center after the execution of his lease agreement.

F. Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, including those of the Owner, City, UL and the Uniform Electrical Code.

TENANT'S RESPONSIBILITY

Tenant shall be responsible for the following expenses relating to signage for his store:

- Design consultant fees (if applicable)
- 100% of permit processing cost and application fees.
- 100% of costs for sign fabrication and installation including review of shop drawings and patterns.
- All costs relating to sign removal, including Repair of any damage to the building.
- Maintain appearance and operating conditions

DESIGN GUIDELINES

The purpose of establishing these design guidelines is to ensure that each Tenant sign will contribute to the center's success. High quality signage, which reflects the integrity of the architecture, will be encouraged. Tenant individual signs should incorporate a diversity of sign styles, icons and materials to create "retail drama" for the restaurant, entertainment and retail visitors. Encouraged sign treatments include:

A) MIXED MEDIA FORMS AND EMBELLISHMENTS

- Dimensional, geometric shapes or Icon representing a tenant's product or service.
- Sculpted wood, metal or Signfoam forms.
- Painted, polished, etched, or abraded metals.
- Etched or sandblasted glass or acrylic..
- Screens grids or mesh.
- Glazed ceramic tile patterns or mosaic designs.
- Cut steel or fabricated steel.
- Neon accents or trim.
- Dimensional letterforms with seamless edges.
- Opaque acrylic materials with matte finishes.
- Faux stone effect finish.
- Gold, silver or copper leaf or metallic Paint finish.
- Oxidized and patina finishes

B) ILLUMINATION

Tenant signage should incorporate two or more of the following acceptable lighting methods:

- Reverse/halo channel neon.
- Open and/or exposed channel neon.
- Silhouette illumination.
- Bud light sculptures or rope lighting.
- Fiber optics.
- Internal and/or external illumination.
- Custom light fixtures and/or seamless opaque faces with "backed up" or "push thru" letters.

All front lighting should be baffled and obscured in channels where possible. Any exposed fixtures, shades or other elements should be designed to contribute to the design of the storefront.

All housing and posts for exposed neon signs must be painted out to match building background

immediately behind/ adjacent to sign.

All exposed or skeletal neon must be backed with an opaque coating, unless otherwise specified herein or approved in writing by the Owner.

The following are prohibited:

- Exposed conduits and raceways.
- Electrified neon attached to glass tubing surrounds or crossbars.
- Front lighting fixtures that compete with storefront design..

C) SIGN COLORS AND FINISHES

All Tenants' colors must be approved by the Owner prior to fabrication. To assist in achieving a harmonious blend of color throughout the center, the following guidelines are to be adhered to:

- Colors must be selected from Tenant Color Palette.
- Sign colors should be selected to provide sufficient contrast against building background colors and be compatible with them.
- Colors within each sign should be compatible.
- Sign colors should provide variety and excitement.
- Color of letter returns should contrast with face colors for optimum daytime readability.
- Interior of open channel letters should be painted dark when against light backgrounds.
- Neon colors should compliment related signage elements.

D) TYPESTYLES

The use of logos and distinctive type styles is encouraged for all tenant signs. Tenants may adapt established type styles, logos and/or icons that are used on similar locations operated by them in California and/or the U.S. These images must be architecturally compatible and approved by Owner. Type may be arranged in one (1) or two (2) lines of copy and may consist of upper and/or lower case letters.

E) SIZES AND QUANTITIES

Sizes and quantities for tenant signs shall be

outlined in this criteria for each sign type. Notwithstanding the maximum square footage specified for copy area allowances, adequate amounts of visual open space shall be provided around wall signs so that they appear balanced and in scale in relation to their backgrounds.

WINDOW & INTERIOR SIGNAGE

F) Window & interior signs are encouraged with these guidelines:

1. The total area of all window signs for each unit shall not exceed 20% of the window area of that unit.
2. No interior sign shall be readable from a public street.

G) AREA OF SIGN

1. The area included within the outer dimensions of a sign (excluding structural supports).
2. For signs without a border or frame (channel or skeleton letters), the area shall be with a rectangle or (8) continuous straight lines (with right angles) formed around the extreme outer limits of the sign message, including all figures and any background or color which is an integral part of sign.

H) REQUIRED IDENTIFICATION SIGNAGE

Each retail Tenant shall, at his own expense, provide and install a minimum of one primary Identification sign in accordance with the criteria outlined herein for Tenant's specific building location. Signs that incorporate custom logos and creative design elements are encouraged.

I) OPTIONAL IDENTIFICATION SIGNAGE

In addition to required signage, Tenants may also implement secondary signage such as Under canopy Tenant Identification Signs as outlined in the exhibits that follow.

J) SPECIAL EVENT SIGNS

Temporary banner signs shall require sign permits in accordance with the City of Huntington Beach regulations.

K) ATM KIOSK SIGNAGE

Corporate logo and letters may not exceed 14" in height on signage canopy. Signage may not exceed 80% of canopy length.

PROHIBITED SIGNS

Only those signs types provided herein and specifically approved in writing by the Owner will be allowed. The following signs are prohibited:

- Outdoor advertising or advertising structures
- Roof Signs.
- Freestanding signs, except as provided in this text.
- Animated, audible or moving signs: Signs which move, swing, rotate, flash, except as provided in this text.
- Vehicle Signs: Signs affixed or on trucks, automobiles, trailers and other vehicles which advertise, identify or provide direction to a use or activity.
- Off premise signs: (other than directional signs) Signs installed for the purpose of advertising a project, event, person or subject not located upon the same premises as the sign. Such sign may be allowed upon Owner approval.

GENERAL NOTES

All automatic fire sprinkler risers, fire control rooms and Fire Department access areas shall be identified.

APPROVED FABRICATORS

Signage Solutions
1336 Allec Street
Anaheim, CA 92805
714-491-0299
Contact: Chris De Ruyter

C & C Signs
11622 Anabel Avenue
Garden Grove, CA 92643
714-537-8175
Contact: Chris Canzone

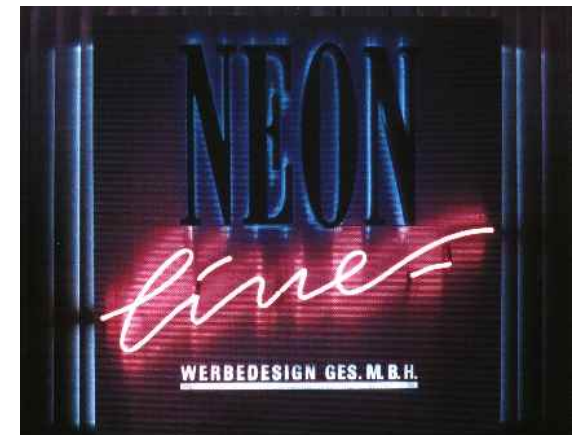
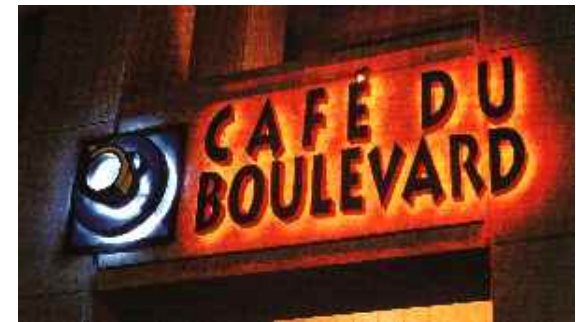
Ultraneon Sign Company
5458 Complex Street, Suite 401
San Diego, CA 92123
619-569-6716
Contact: Nick Nutter

Heath & Company
2121 Orange Street
Alhambra, CA 91803
626-457-3000

FABRICATION REQUIREMENTS

The fabrication and installation of all signs shall be subject to the following restrictions:

- A. All signs shall be fabricated and installed with UL approved components in compliance with all applicable building and electrical codes.
 - B. Sign manufacture shall supply a UL label, if required by local authorities, in an inconspicuous location. In no case shall any manufacture's label be visible from the street from normal viewing angles.
 - C. Sign permit stickers shall be affixed to the bottom edge of signs, and only that portion of the permit sticker that is legally required to be visible shall be exposed.
 - D. Signs shall be made of durable rust inhibited materials that are appropriate and complementary to the building.
 - E. All formed metal (i.e. letterforms) shall be fabricated using full weld construction.
 - F. All signs shall be fabricated and installed with no visible screws, seams, rivets, or fastening devices. Finished surfaces shall be free from "oil canning" or warping.*
 - G. Separate all ferrous and non-ferrous metals. Stainless steel fasteners shall be used to secure ferrous to non-ferrous metals.
 - H. Threaded rods or anchor bolts shall be used to mount sign letters that are spaced off from the wall or background. Mounts consist of all thread post and spacer sleeves for consistency. Spacers painted to match building color. All bolts and mounting devices shall consist of porcelain finished iron, stainless steel, aluminum or carbon bearing steel with painted finish. No black iron will be permitted. Angle clips attached to letter sides will not be permitted.
 - I. Paint colors and finishes must be reviewed and approved by the Owner. Color coatings shall match exactly the specified colors on the approved plans
 - J. Surfaces with color hues prone to fading (e.g., pastels, fluorescent, intense reds, yellows and purples) shall be coated with ultraviolet inhibiting clear coat in a matte, gloss or semi-gloss finish.
 - K. All sign finishes shall be free of dust, orange peel, drips, and runs. Finishes should have uniform coverage and be of the highest quality (e.g., Matthews Paint Company (800) 323-6593).
 - L. Letter returns shall be painted to contrast with color of letter faces
 - M. Neon tubing shall be 12-13mm, EGL or equal. Neon transformers shall be 30 MA. Fluorescent lamps shall be single pin (slimline) with a minimum of 12" center to center lamp separation. All lighting must match the exact specifications of the approved shop drawings.
 - N. Surface brightness of all illuminated materials shall be consistent in all letters and components of the sign. Light leaks will not be permitted.
 - O. The backs of all exposed neon are to be painted opaque.
 - P. Penetrations into building walls, where required, shall be made waterproof.
- * All conduits, raceways, wiring, transformers and other equipment necessary for sign connection shall be concealed.
- Q. Each sign shall have a 3' x 3' x 3' space around each transformer per the City of Huntington Beach Building and Safety Department.





ANCHOR TENANT WALL I. D. (45,000 SQ. FT. AND ABOVE)

MATERIALS: A variety of wall sign treatments is encouraged. Signs may use any acceptable treatment as provided for in the Tenant Sign Criteria (see page 3, sections A, B & C), except as restricted below.

COPY: Tenant name and/or logo. Secondary copy identifying incidental services (e.g., Pharmacy) allowed with Owner approval.

SIGN AREA: Maximum of one square foot of signage per linear foot tenant store frontage (includes primary and secondary copy in total aggregate).

MAXIMUM HEIGHT: Primary sign: Maximum letter height 6'-0" with maximum 8'-0" overall height of multiple lines of copy and/or logo.
Secondary signs: Maximum letter height 24".

TYPE FACE: Custom tenant logotype/ name with Owner approval.

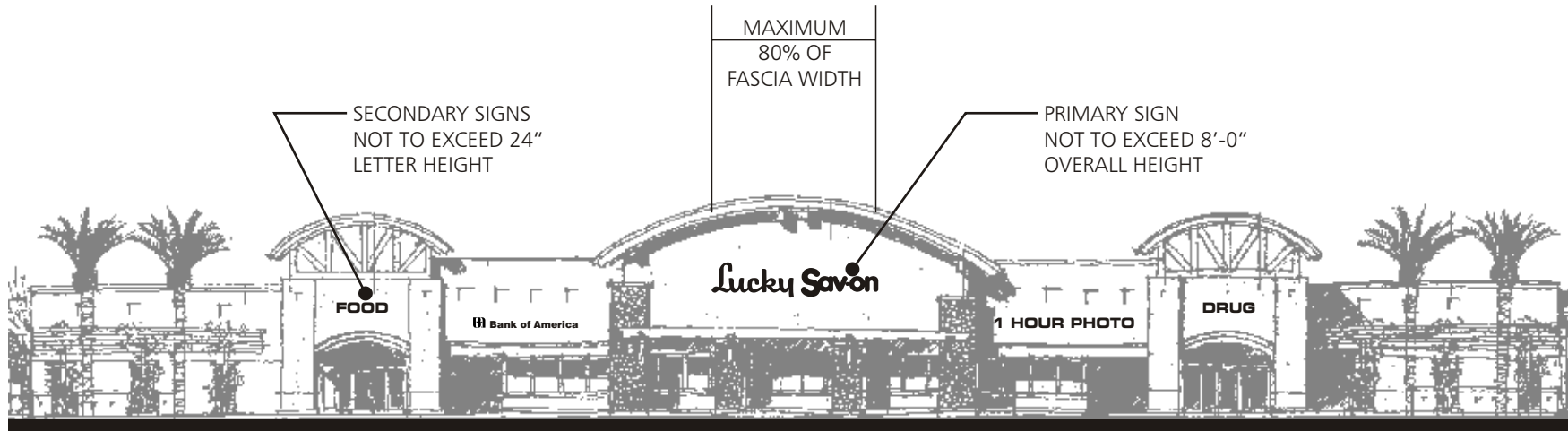
COLORS: Custom tenant logotype/ colors or colors as provided for in Tenant Signage Color Palette and approved by Owner.

LIGHTING: Variety of illumination per Design Guidelines.



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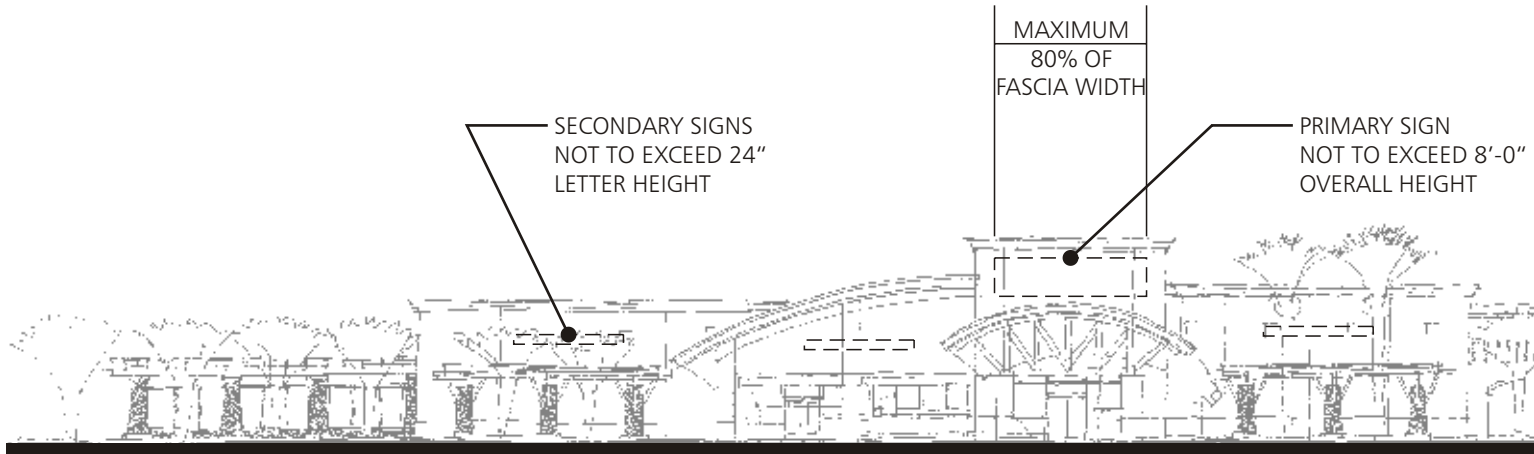
SOUTH ELEVATION MARKET BUILDING #6
(STORE FRONTAGE IS 303.33' - MAXIMUM SIGN SQUARE FOOTAGE IS 303.33)



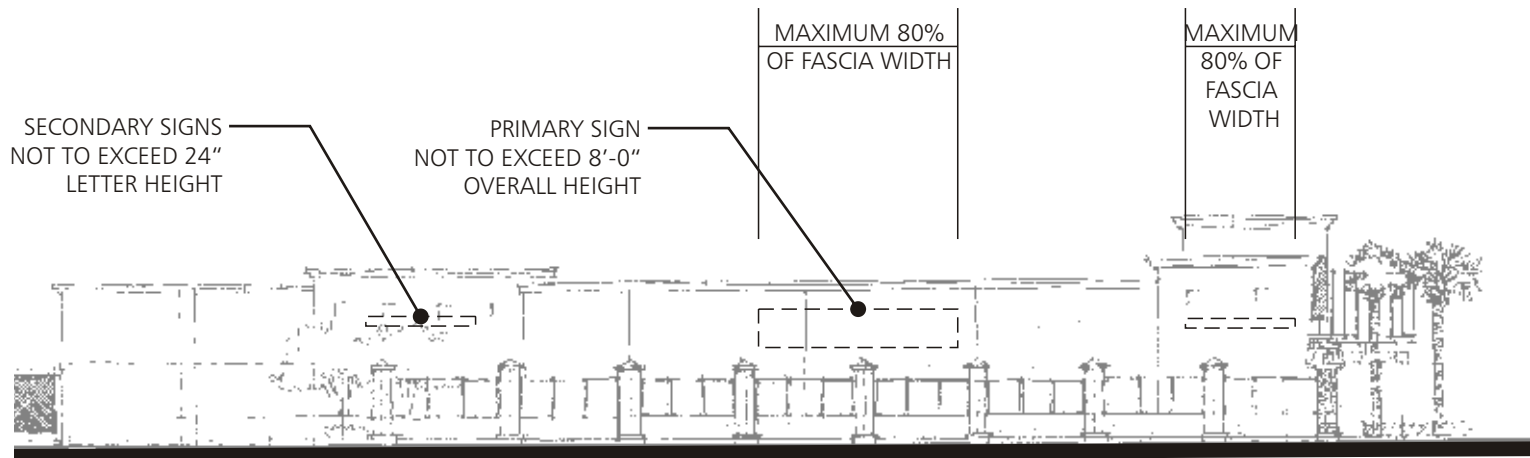


HOME IMPROVEMENT ANCHOR TENANT - BUILDING #1

Note: Actual number and location of signs may vary.



WEST ELEVATION HOME IMPROVEMENT BUILDING #1
(STORE FRONTAGE IS 275' - MAXIMUM SIGN SQUARE FOOTAGE IS 275)



NORTH ELEVATION HOME IMPROVEMENT BUILDING #1
(STORE FRONTAGE IS 204' - MAXIMUM SIGN SQUARE FOOTAGE IS 204)



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SEACLIFF VILLAGE

EXHIBIT





MAJOR TENANT WALL I. D. (6,000 - 45,000 SQ. FT.)

MATERIALS: A variety of wall sign treatments is encouraged. Signs may use any acceptable treatment as provided for in the Tenant Sign Criteria (see page 3, sections A, B & C), except as restricted below.

COPY: Tenant name and/or logo. Secondary copy identifying incidental services (e.g., Pharmacy) allowed with Owner approval.

SIGN AREA: Maximum of one square foot of signage per linear foot tenant store frontage (includes primary and secondary copy in total aggregate).

MAXIMUM HEIGHT: Primary sign: Maximum letter height 4'-0" with maximum 6'-0" overall height of multiple lines of copy and/or logo.
Secondary signs: Maximum letter height 24".

TYPE FACE: Custom tenant logotype/ name with Owner approval.

COLORS: Custom tenant logotype/ colors or colors as provided for in Tenant Signage Color Palette and approved by Owner.

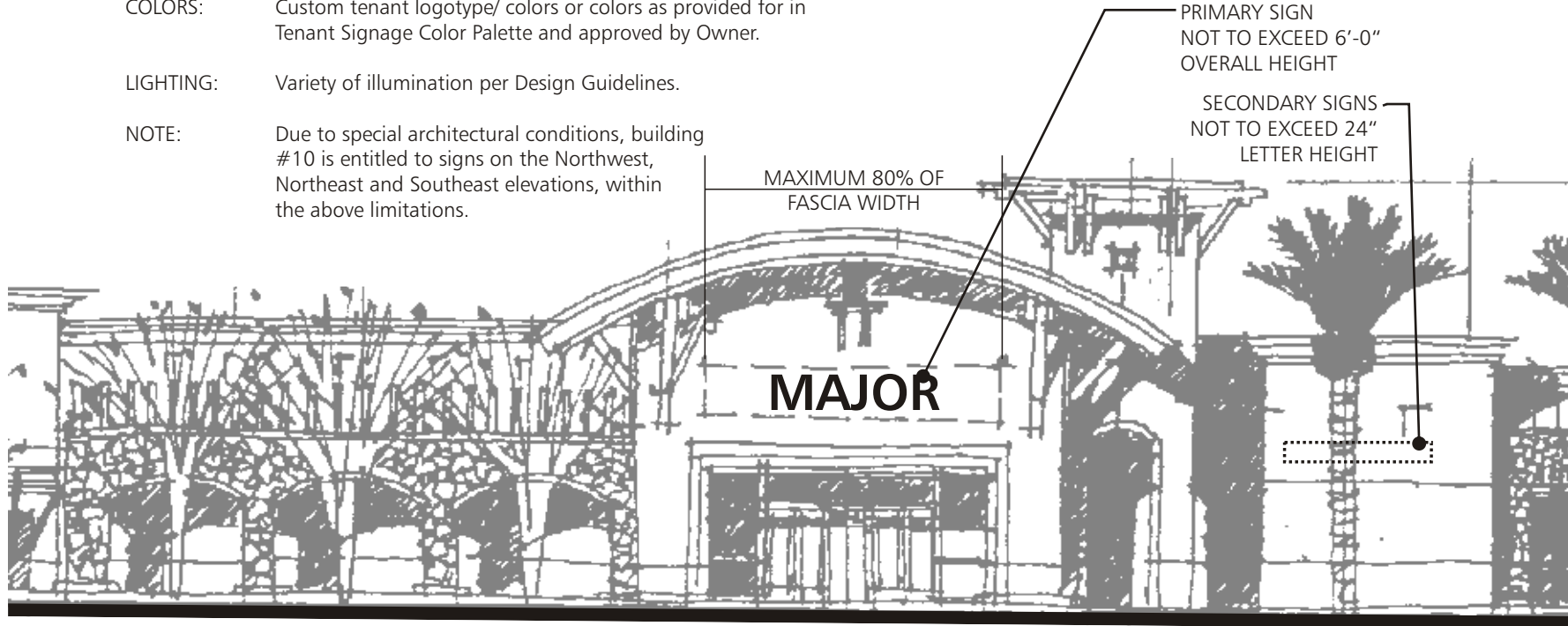
LIGHTING: Variety of illumination per Design Guidelines.

NOTE: Due to special architectural conditions, building #10 is entitled to signs on the Northwest, Northeast and Southeast elevations, within the above limitations.



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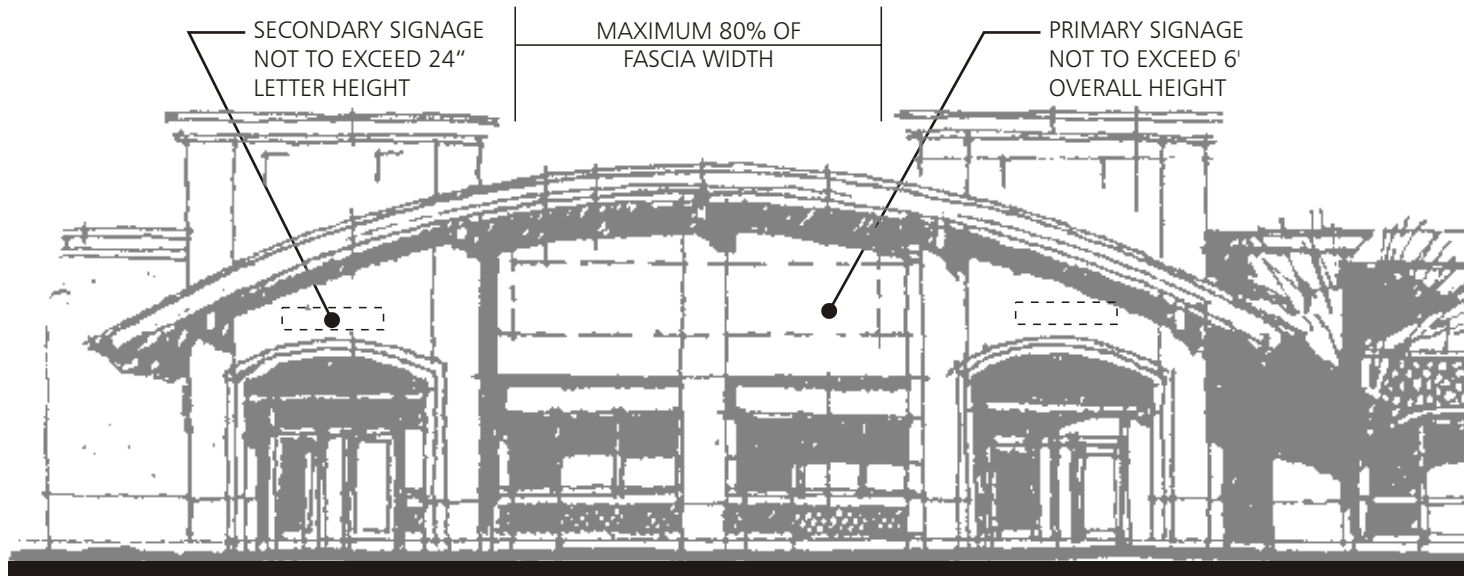


TYPICAL MAJOR TENANT ELEVATION - WEST ELEVATION OFFICE SUPPLY BUILDING #2
(STORE FRONTAGE IS 134' - MAXIMUM SIGN SQUARE FOOTAGE IS 134)

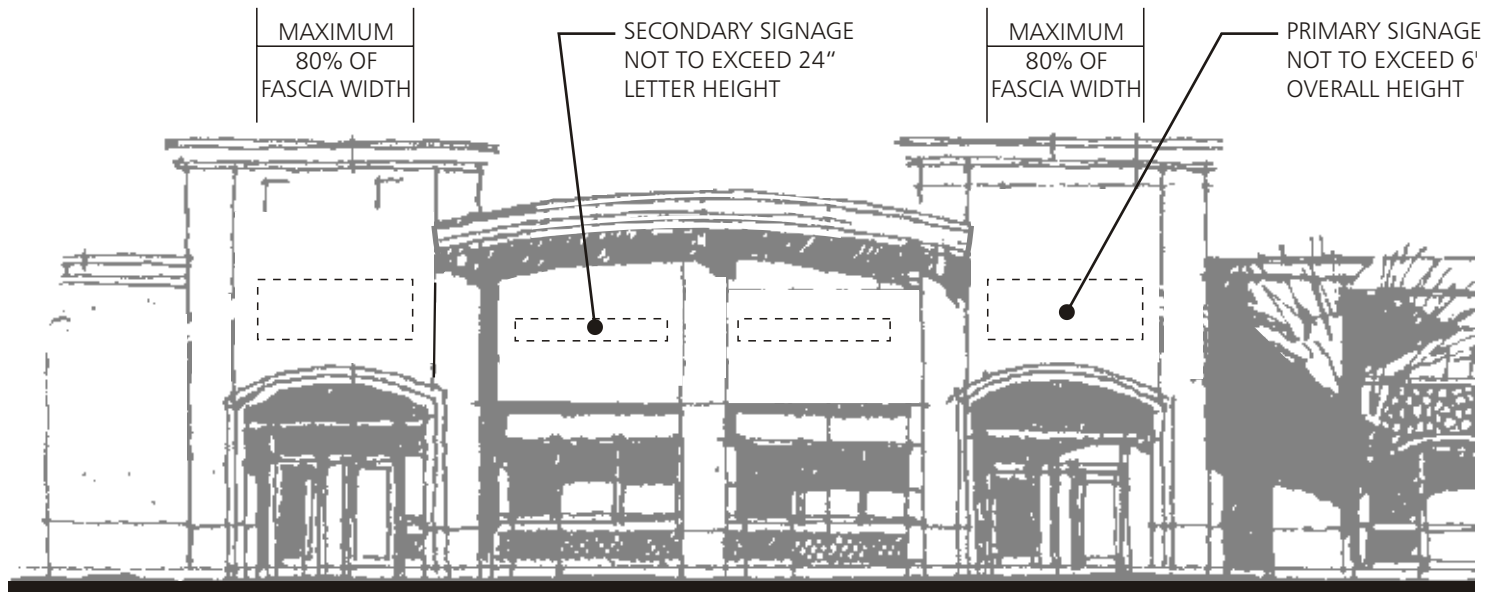




TYPICAL MAJOR TENANT - BUILDING #4



TYPICAL MAJOR TENANT ELEVATION - SOUTH ELEVATION BUILDING #4 WITH 1 TENANT
(STORE FRONTAGE IS 106' - MAXIMUM SIGN SQUARE FOOTAGE IS 106)



TYPICAL MAJOR TENANT ELEVATION - SOUTH ELEVATION BUILDING #4 WITH 2 TENANTS
(STORE FRONTAGE IS 106' - MAXIMUM SIGN SQUARE FOOTAGE PER TENANT IS 53)



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EXHIBIT





PAD TENANT WALL I. D.

- MATERIALS:** A variety of wall sign treatments is encouraged. Signs may use any acceptable treatment as provided for in the Tenant Sign Criteria (see page 3, sections A, B & C), except as restricted below.
- COPY:** Tenant name and/or logo.
- SIGN AREA:** Maximum of one square foot of signage per linear foot tenant store frontage not to exceed 150 sq. ft. of wall signage per tenant.
- MAXIMUM HEIGHT:** Signs to be individually sized and positioned for comfortable "fit" according to building design and architectural details. Maximum overall allowable height of 4'-0".
- QUANTITY:** Multi-pad tenants are allowed up to 3 wall signs, (if located at end cap). Single use pad tenants are allowed up to 4 wall signs and not to exceed one sign per building elevation. Additionally, one pad tenant monument sign may be allowable where indicated on the project site plan, conforming to sign type M2 on page 2.3.
- TYPE FACE:** Custom tenant logotype/ name with Owner approval.
- COLORS:** Custom tenant logotype/ colors or colors as provided for in Tenant Signage Color Palette and approved by Owner.
- LIGHTING:** Variety of illumination per Design Guidelines.
- NOTE:** Any variation to the above criteria requires Huntington Beach City Design Review Board and Owner approval.



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SERVICE STATION GENERAL SIGNAGE

MATERIALS: A variety of sign treatments is encouraged. Signs may use any acceptable treatment as provided for in the Tenant Sign Criteria (see page 3, sections A, B & C), except as restricted below.

WALL AND CANOPY SIGN TYPE: Channel letters.

GENERAL RESTRICTIONS: All service station signage shall conform to the City of Huntington Beach Sign Code #233.06(E) and shall be approved by the Owner. Monument signs must conform to M.3 Service Station Monument Sign criteria on page 2.4.



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SHOP TENANT WALL I. D. (WITHOUT STONE FASCIAS)

MATERIALS: A variety of wall sign treatments is encouraged. Signs may use any acceptable treatment as provided for in the Tenant Sign Criteria (see page 3, sections A, B & C), except as restricted below.

COPY: Tenant name and/or logo with a graphic embellishment.

SIGN AREA: Tenant name and/or logo: Maximum of one square foot of signage per linear foot tenant store frontage or 24 square feet, whichever is greatest.

MAXIMUM HEIGHT: Maximum letter height 2'-0" with maximum 3'-6" overall height of multiple lines of copy and/or graphic embellishment.

TYPE FACE: Custom tenant logotype/ name with Owner approval.

COLORS: Custom tenant logotype/ colors or colors as provided for in Tenant Signage Color Palette and approved by Owner.

LIGHTING: Variety of illumination per Design Guidelines.

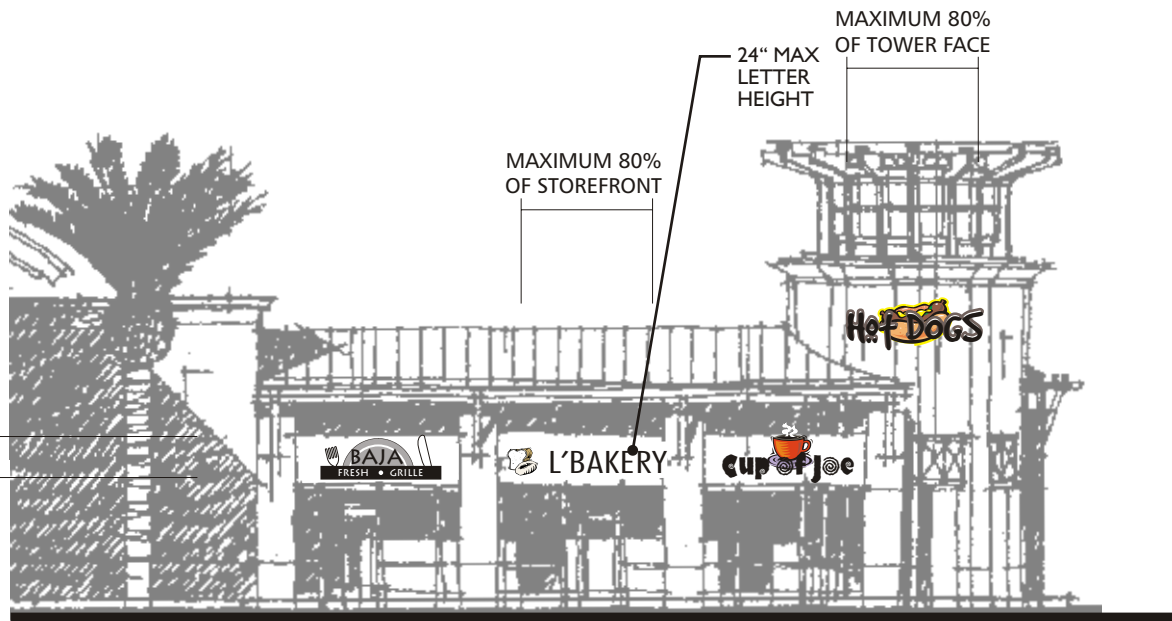
SAMPLES:



Halo illuminated letters with exposed neon graphics



Layered aluminum shapes. Routed copy backed with acrylic. Internally illuminated with fluorescent lamps.



TYPICAL SHOP TENANT ELEVATION
(TYPICAL STORE FRONTAGE IS 18' - SIGN SQUARE FOOTAGE IS 24)



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SHOP TENANT WALL I. D. (WITH STONE FASCIAS)

MATERIALS: A variety of wall sign treatments is encouraged. Signs may use any acceptable treatment as provided for in the Tenant Sign Criteria (see page 3, sections A, B & C), conforming with one of exhibits D, E or F and subject to Owner's approval.

COPY: Tenant name and/or logo with a graphic embellishment.

SIGN AREA: Tenant name and/or logo: Maximum of one square foot of signage per linear foot tenant store frontage or 24 square feet, whichever is greatest.

MAXIMUM HEIGHT: Maximum letter height 2'-0" with maximum 3'-6" overall height of multiple lines of copy and/or graphic embellishment.

TYPE FACE: Custom tenant logotype/ name with Owner approval.

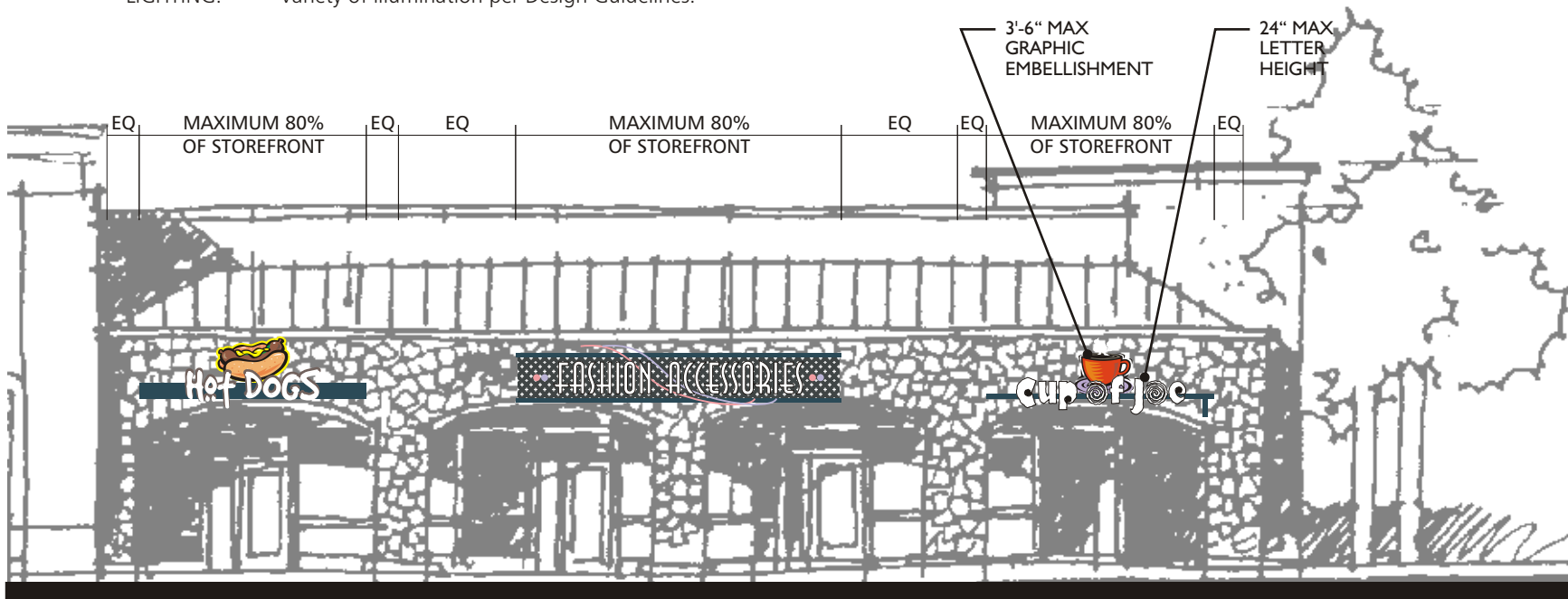
COLORS: Custom tenant logotype/ colors or colors as provided for in Tenant Signage Color Palette and approved by Owner.

LIGHTING: Variety of illumination per Design Guidelines.



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(STORE FRONTAGE ABOVE IS 16',
MAXIMUM SIGN SQUARE FOOTAGE IS 24)

(STORE FRONTAGE ABOVE IS 32',
MAXIMUM SIGN SQUARE FOOTAGE IS 32)

(STORE FRONTAGE ABOVE IS 16',
MAXIMUM SIGN SQUARE FOOTAGE IS 24)

TYPICAL SHOP TENANT ELEVATION





SHOP TENANT ARCHITECTURAL SHELF A

MATERIALS: .090 aluminum with 2" angle frame.

COLOR: Jade Green to match project standing seam metal roof.

INSTALLATION METHOD: Bolt into embedded threaded receivers provided by owner only. No additional connections to the wall allowed.

NOTE: THIS SHELF CONFIGURATION MUST DIFFER TO THAT OF THE NEIGHBORING STOREFRONT

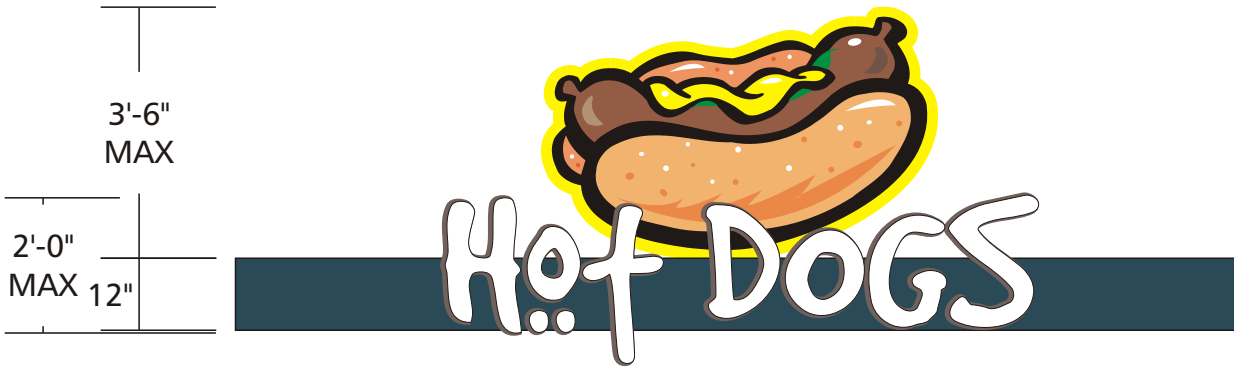
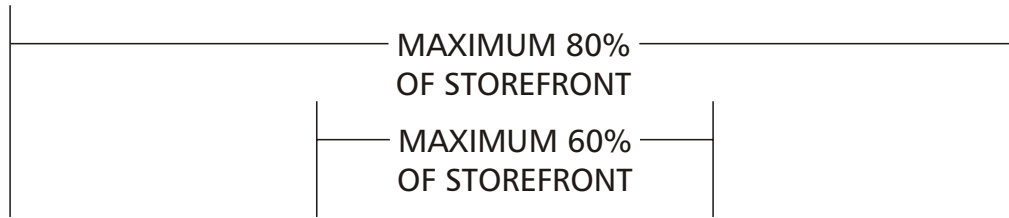


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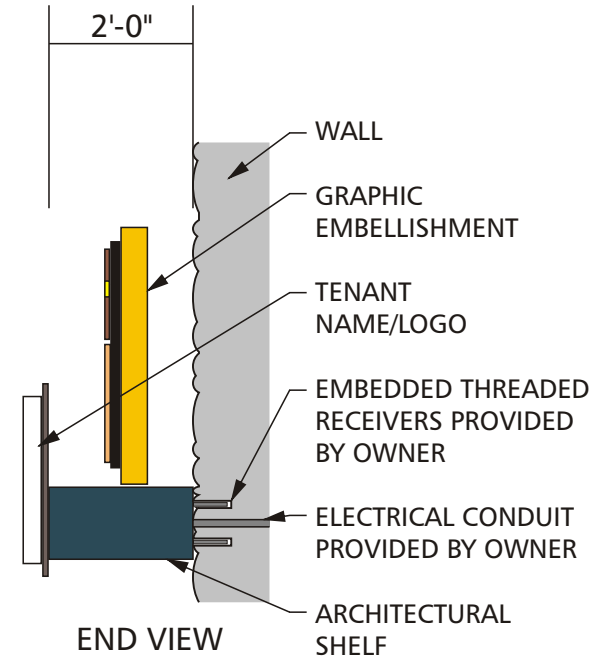
SEACLIFF VILLAGE



SHELF PLAN VIEW



TYPICAL ARCHITECTURAL SHELF APPLICATION



EXHIBIT





SHOP TENANT ARCHITECTURAL SHELF B

MATERIALS: .090 aluminum with 1 1/2" angle frame.

COLOR: Jade Green to match project standing seam metal roof.

INSTALLATION METHOD: Bolt into embedded threaded receivers provided by owner only. No additional connections to the wall allowed.

NOTE: THIS SHELF CONFIGURATION MUST DIFFER TO THAT OF THE NEIGHBORING STOREFRONT

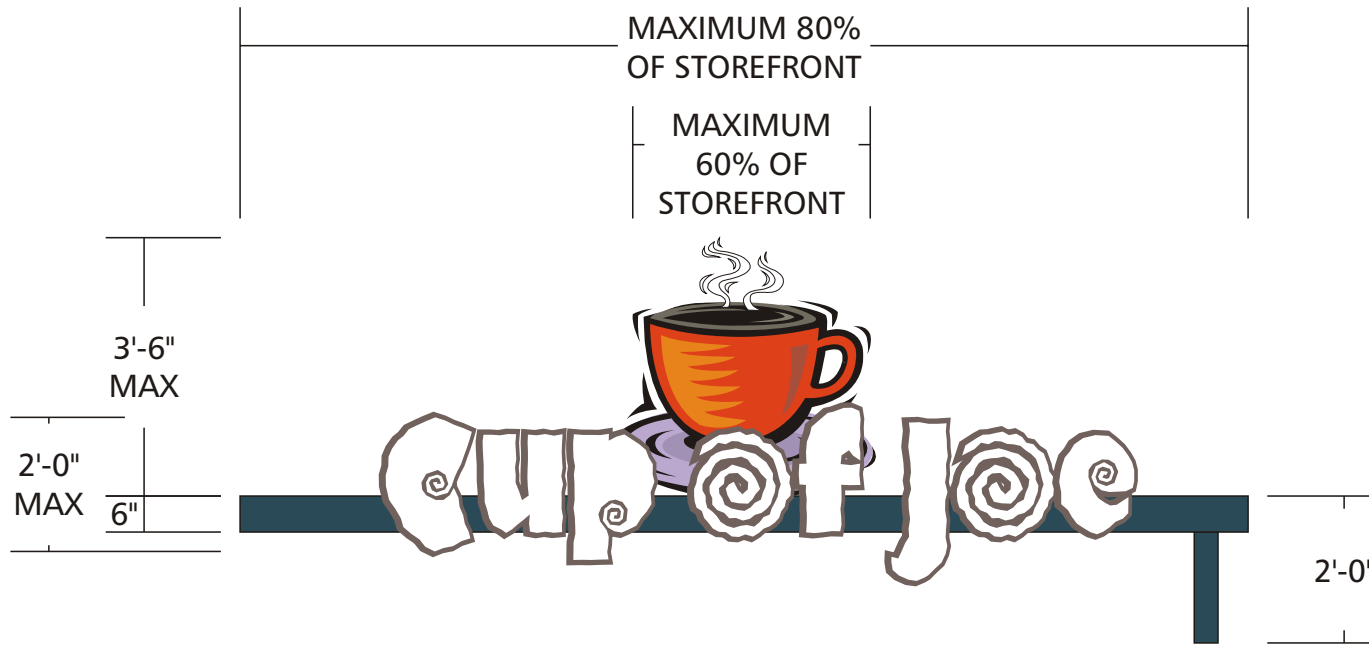


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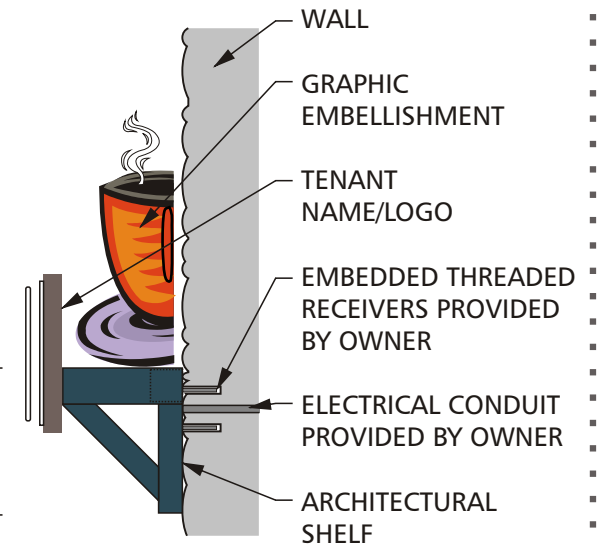
SEACLIFF VILLAGE



SHELF PLAN VIEW



TYPICAL ARCHITECTURAL SHELF APPLICATION



END VIEW

EXHIBIT





SHOP TENANT ARCHITECTURAL SHELF C

MATERIALS: .090 aluminum raceway with 3" aluminum square tube frame and perforated aluminum bottom & face.

COLOR: Jade Green to match project standing seam metal roof.

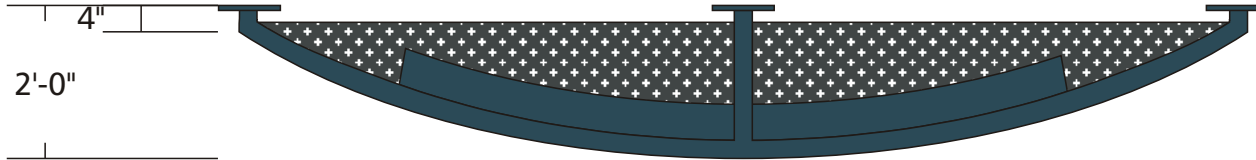
INSTALLATION METHOD: Bolt into embedded threaded receivers provided by owner only. No additional connections to the wall allowed.

NOTE: THIS SHELF CONFIGURATION MUST DIFFER TO THAT OF THE NEIGHBORING STOREFRONT

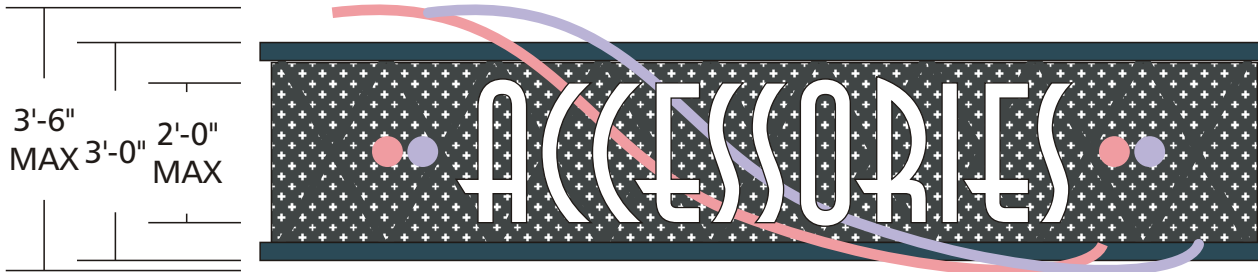
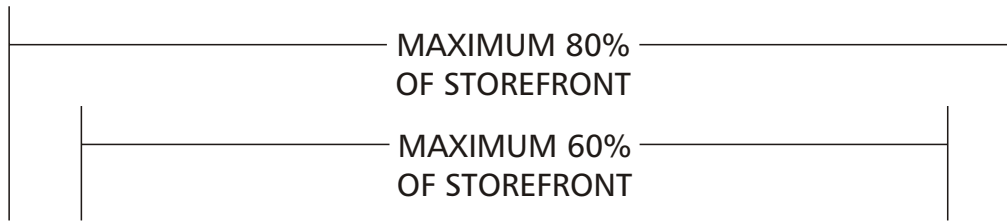


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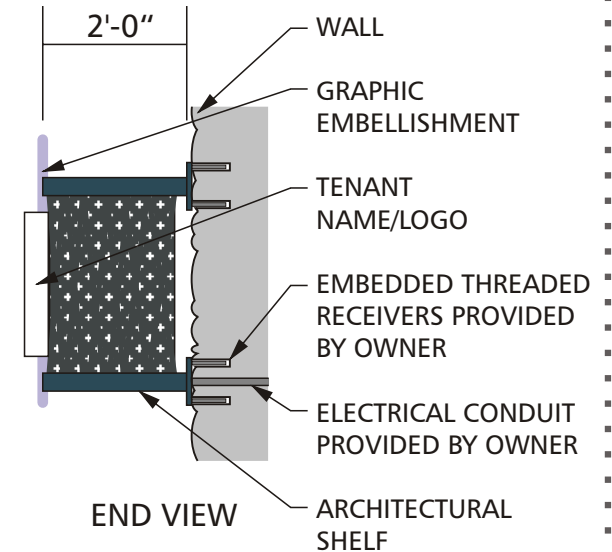
SEACLIFF VILLAGE



SHELF PLAN VIEW



TYPICAL ARCHITECTURAL SHELF APPLICATION



EXHIBIT



U

UNDER CANOPY /BLADE

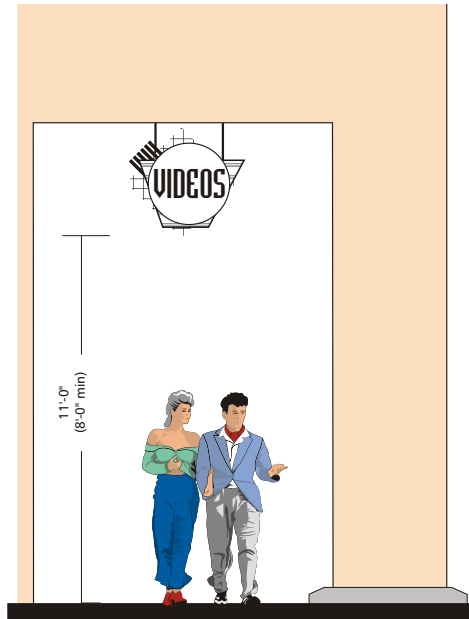
- MATERIALS:** A variety of materials and treatments is encouraged.
- COPY:** Tenant name/ logo.
- SIGN AREA:** 8 sq. Ft. maximum sign area per tenant (to be included in total aggregate sign area allowed for tenant).
- TYPE FACE:** Custom tenant logotype/ name with Owner approval.
- COLORS:** Custom colors logotype/ or colors as provided for in Tenant Signage Color Palette and approved by Owner.
- LIGHTING:** Variety of illumination per Design Guidelines.
- NOTE:** Sign must not be placed where free water flow of overhead fire sprinklers will be impeded.

SAMPLES:



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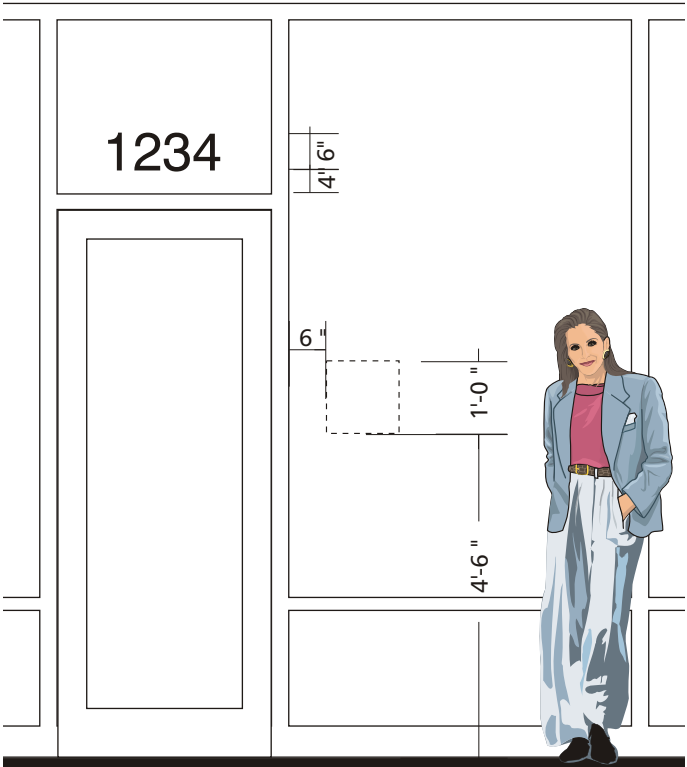
SEACLIFF VILLAGE



E.1

TENANT ENTRY INFO

- MATERIALS: Matte white vinyl letters on entry glass.
- COPY: 6" High Suite Letter or Address, Tenant Entry Info 12" x 12".
- SIGN AREA: 2.5 sq. Ft. maximum sign area.
- TYPE FACE: Futura bold.
- LOCATION: Address or Suite Number centered over entry doors. Tenant Info on entry glass panel on same side as door handle.



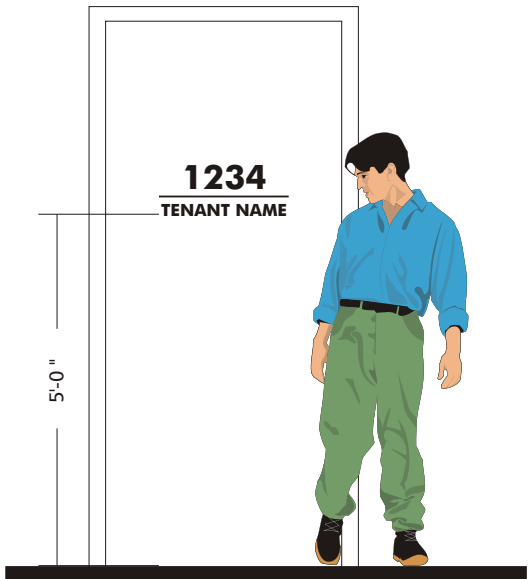
TYPICAL ELEVATION

Tenant are allowed to place identification signage at main entrance as outlined in exhibits. Copy may include hours of business, emergency phone numbers, and suite number. In addition, Tenant is allowed a back door sign to identify the service entrances outlined in the exhibits that follow.

E.2

REAR ENTRY I. D.

- MATERIALS: Vinyl letters on door in contrasting color.
- COPY: 4" high Suite Letter or Address, 2" high Tenant Name.
- SIGN AREA: 2.5 sq. Ft. maximum sign area.
- TYPE FACE: Futura bold.
- NOTE: No other signage is allowed on delivery side of building.



TYPICAL ELEVATION



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SEACLIFF VILLAGE

P.1

PROJECT/ TENANT PYLON

MATERIALS: Double sided fabricated pylon with dryvit finish columns. Top fabricated from aluminum. Project identification "SEACLIFF" to be pan channel letters mounted to background. "VILLAGE" to be routed out of aluminum and backed with plex. Tenant Identification aluminum panels with routed graphics. Graphics to be backed with acrylic. Illuminated with flourescent lamps

QUANTITY: (4)

SIGN AREA: Aggregate Tenant sign area 60 Sq. Ft. Maximum (per face). Project I. D. sign area 20 Sq. Ft. Maximum (per face).

TYPE FACE: Custom tenant logotype/ name with Owner approval.

COLORS: See Color Schedule

LIGHTING: Variety of illumination.

SETBACK: 10 feet from street curb.

ADDRESS: Address numerals shall be 6" high flat-cut-out painted P-5. Numbers displayed shall be the range of addresses in the area represented by the individual Pylon Sign. The complete range of addresses in the center shall be represented between all the Pylon Signs in total.

Note: Bottom panel could divide for two tenants. Total number of Tenant panels 3-4 for each pylon.

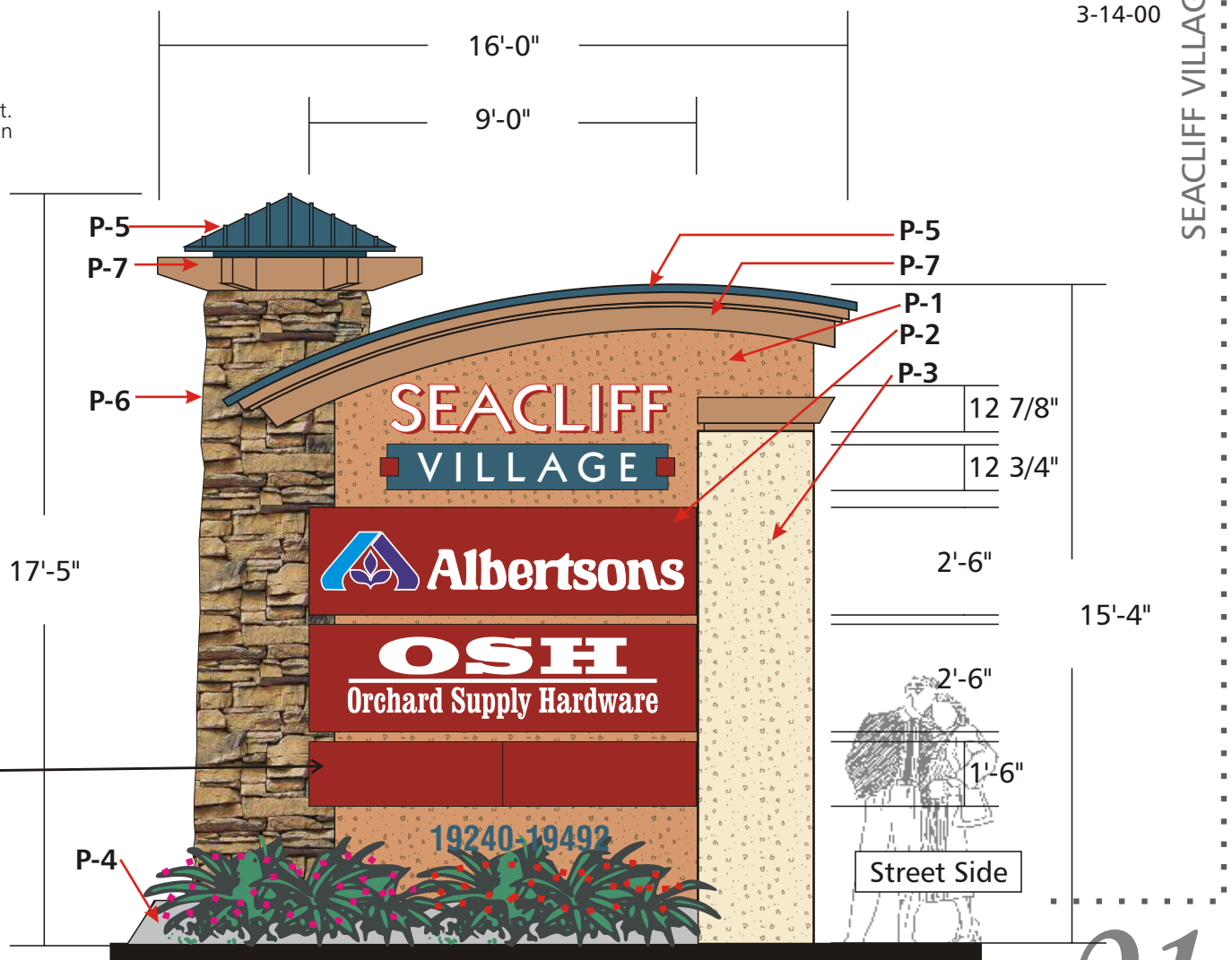
PAINT SCHEDULE

- P-1 FRAZEE #7804D CLAY URN
- P-2 FRAZEE #7906N REMEMBER ROSE
- P-3 FRAZEE #8232W LULLED BEIGE
- P-4 FRAZEE #8764M LAVA ROCK
- P-5 AEP-SPAN COLOR: JADE GREEN
- P-6 CULTURE STONE - ASPEN DRESSED FIELDSTONE (CSV-2040)
- P-7 DUNN EDWARDS Q5-40D KINGFISH



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SEACLIFF VILLAGE



SCALE: 1/4" = 1'-0"

SIGN AREA = 78 SQ FT



M.11

CORNER PROJECT PYLON

MATERIALS: Single sided fabricated monument with dryvit finish. SEACLIFF to be individual letters. VILLAGE to be routed out of aluminum and backed with plex.

QUANTITY: (2)

SIGN AREA: 6' maximum height. Project I. D. Sign area 20 sf max

TYPE FACE: Center I.D.

COLORS: See Color Schedule

LIGHTING: Flood illumination.

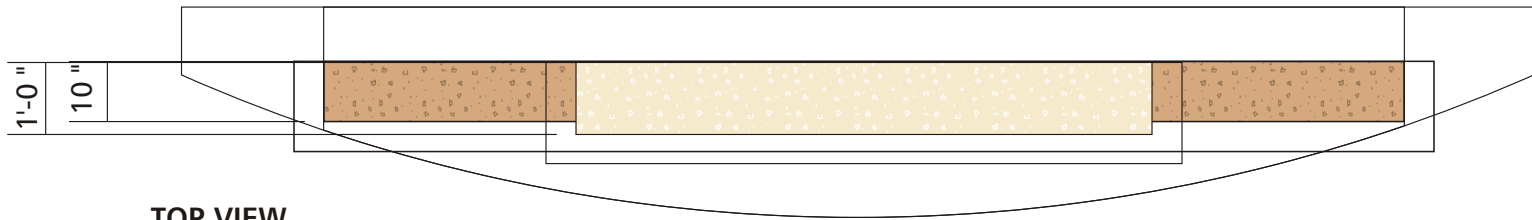
PAINT SCHEDULE

- P-1 FRAZEE #7804D CLAY URN
- P-2 FRAZEE #7906N REMEMBER ROSE
- P-3 FRAZEE #8232W LULLED BEIGE
- P-4 FRAZEE #8764M LAVA ROCK
- P-5 AEP-SPAN COLOR: JADE GREEN
- P-6 CULTURE STONE - ASPEN DRESSED FIELDSTONE (CSV-2040)
- P-7 DUNN EDWARDS Q5-40D KINGFISH

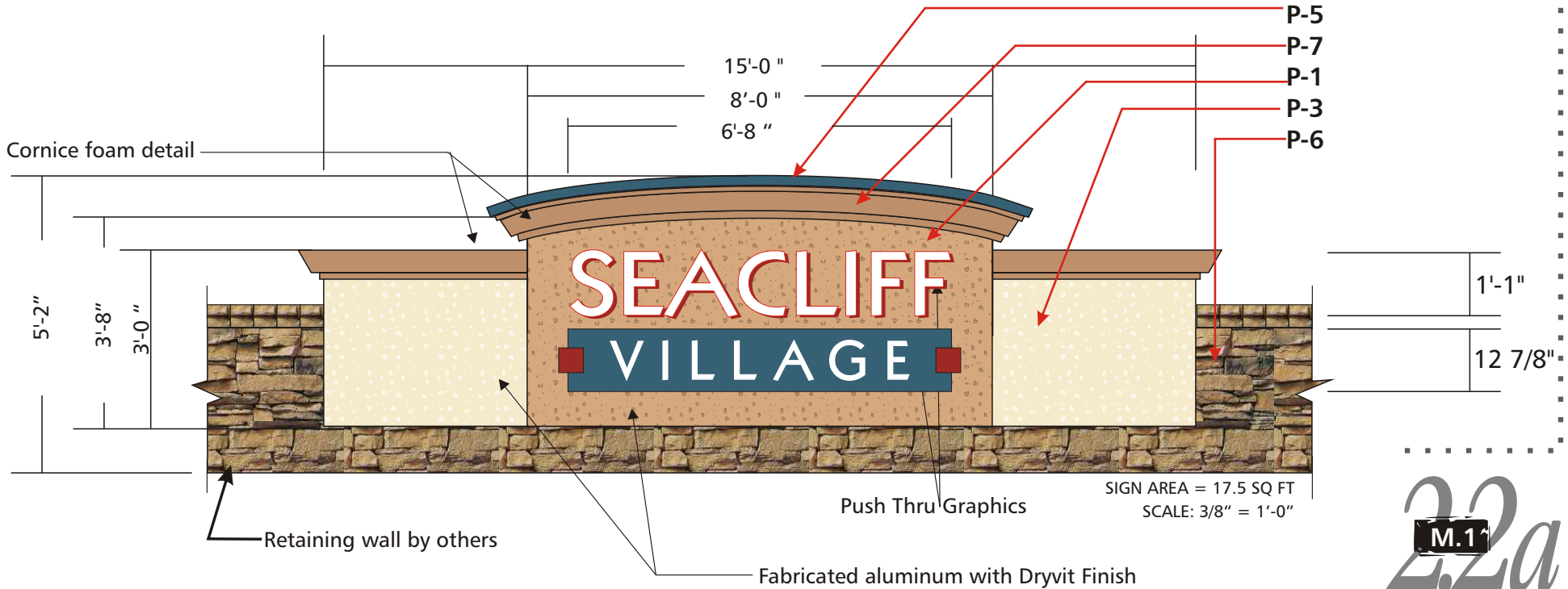


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SEACLIFF VILLAGE

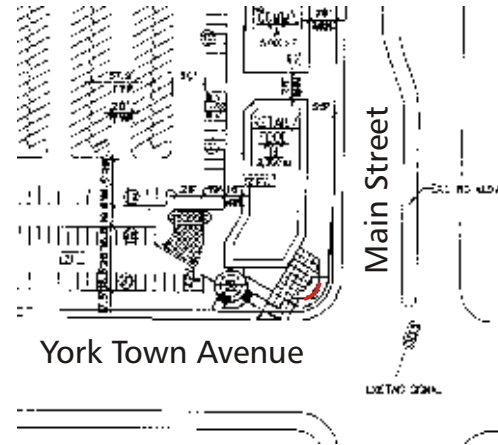


TOP VIEW



M.11

CORNER PROJECT PYLON



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3-14-00

SEACLIFF VILLAGE



Main Street

York Town Avenue

M.11
2.26

M.2 PAD MONUMENT

MATERIALS: Dryvit finish, Aluminum and Acrylic. Double sided structure. Graphics for tenant sign faces will be routed out of aluminum and backed with plex.

SIGN AREA: 6' maximum height. Tenant sign area 14.0 Sq. Ft. Maximum.

TYPE FACE: Custom tenant logotype/ name with Owner approval. Minimum letter height is 6"

COLORS: See Color Schedule

LIGHTING: Only tenant copy & graphics will illuminate with internal fluorescent lamps.

SETBACK: 10 feet from street curb.

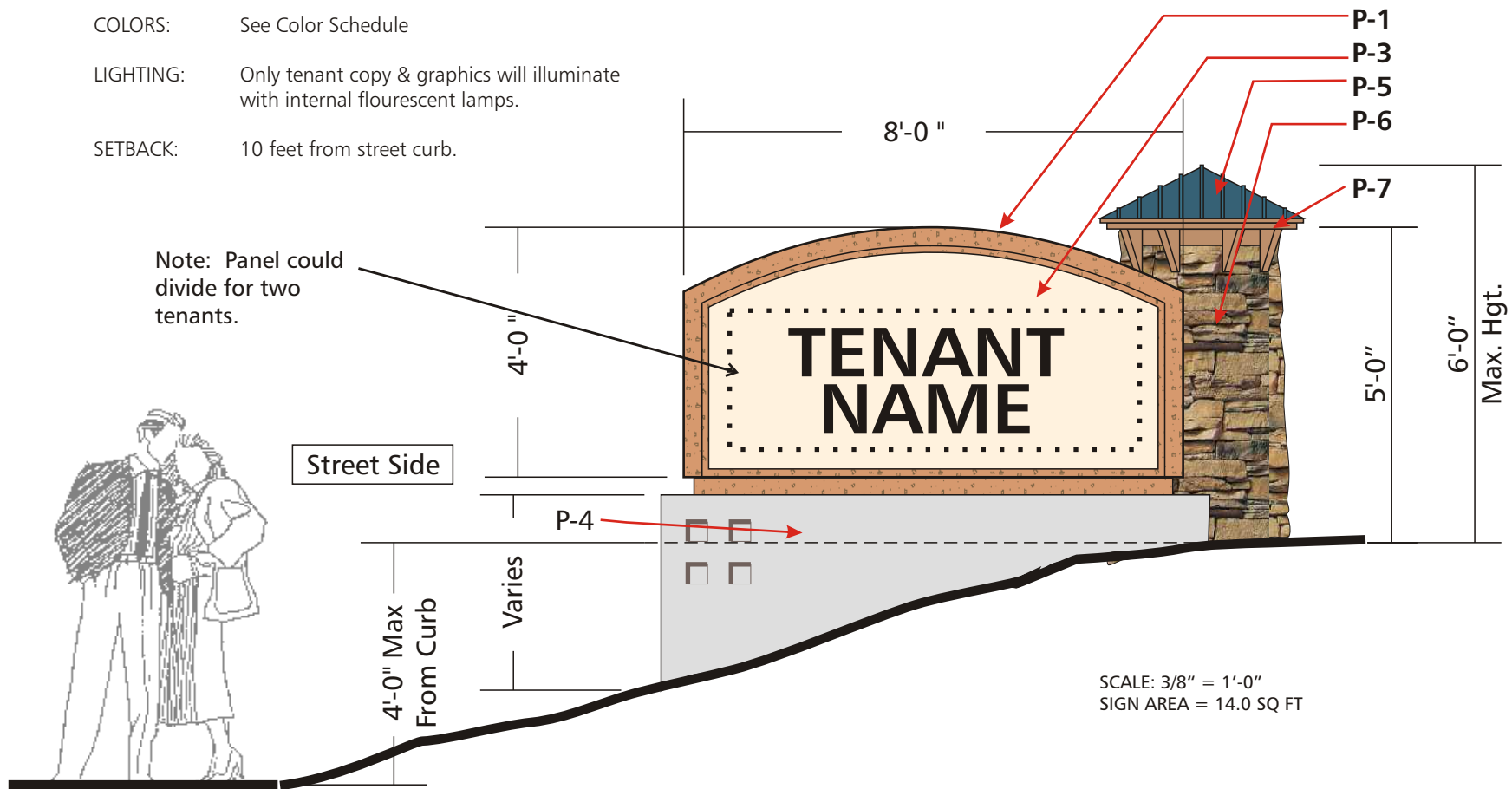
PAINT SCHEDULE

- P-1 FRAZEE #7804D CLAY URN
- P-2 FRAZEE #7906N REMEMBER ROSE
- P-3 FRAZEE #8232W LULLED BEIGE
- P-4 FRAZEE #8764M LAVA ROCK
- P-5 AEP-SPAN COLOR: JADE GREEN
- P-6 CULTURE STONE - ASPEN DRESSED FIELDSTONE (CSV-2040)
- P-7 DUNN EDWARDS Q5-40D KINGFISH



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SEACLIFF VILLAGE



M.3 SERVICE STATION MONUMENT

- MATERIALS:** Dryvit finish base w/ metal cabinet and plastic faces.
- SIGN AREA:** 6'-6" maximum height. Sign area 50 Sq. Ft. Maximum.
- TYPE FACE:** Corporate standards as shown
- COLORS:** See Color Schedule
- LIGHTING:** Internal fluorescent lamps.
- SETBACK:** 10 feet from street curb.
- NUMBER:** 2 total (one per street frontage)

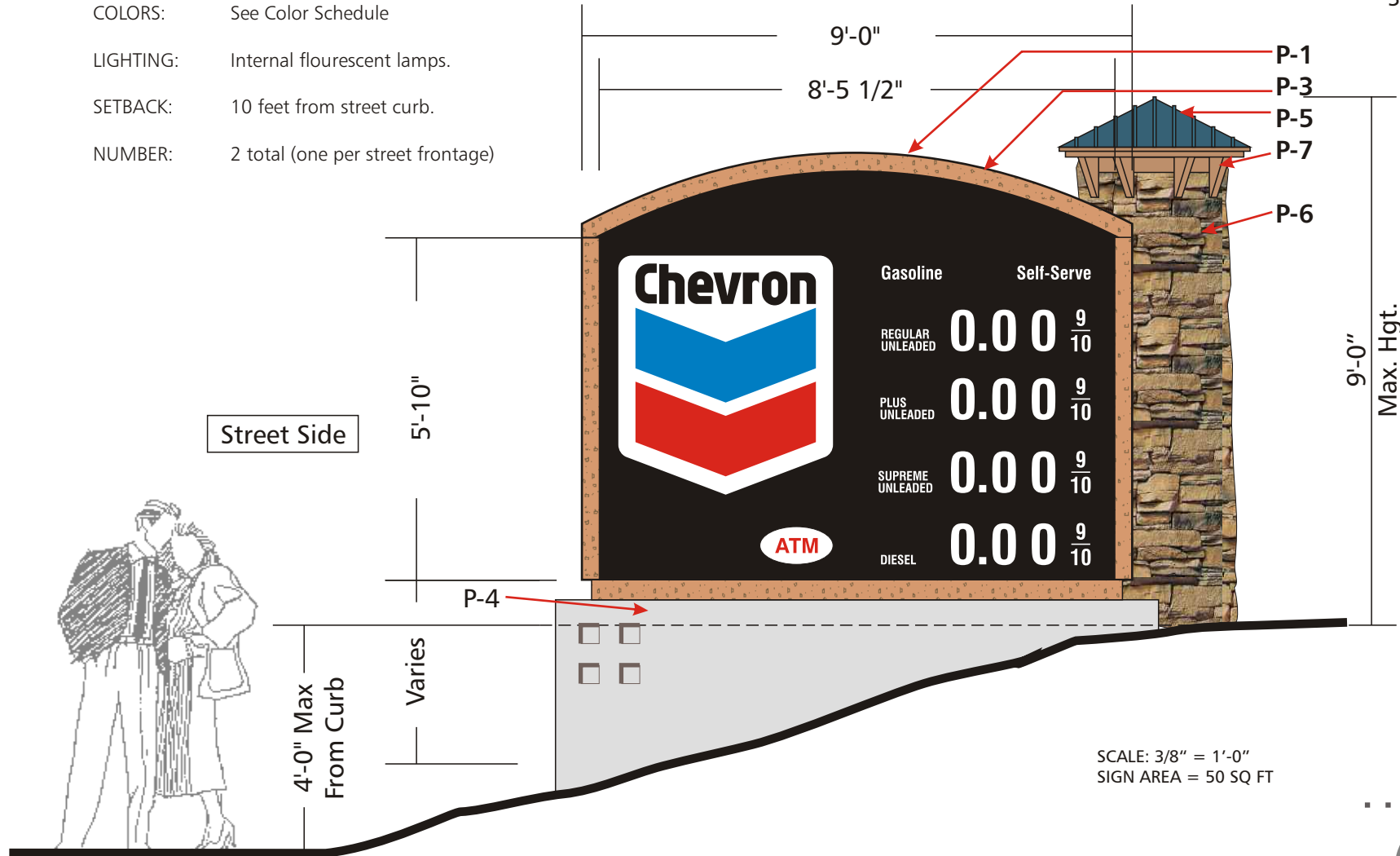
PAINT SCHEDULE

- P-1 FRAZEE #7804D CLAY URN
- P-2 FRAZEE #7906N REMEMBER ROSE
- P-3 FRAZEE #8232W LULLED BEIGE
- P-4 FRAZEE #8764M LAVA ROCK
- P-5 AEP-SPAN COLOR: JADE GREEN
- P-6 CULTURE STONE - ASPEN DRESSED FIELDSTONE (CSV-2040)
- P-7 DUNN EDWARDS Q5-40D KINGFISH



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SEACLIFF VILLAGE



9'-0" Max. Hgt.

SCALE: 3/8" = 1'-0"
SIGN AREA = 50 SQ FT



D.1 VEHICULAR DIRECTIONAL

MATERIALS: Dryvit finish, Sintra with vinyl graphics. Three Dimensional two sided structure Mounted on concrete Pad.

SIGN AREA: 5' maximum height. Tenant sign area 6.0 Sq. Ft. Maximum. Project I. D. Sign area 2 Sq. Ft. Maximum.

TYPE FACE: Futura Bold.

COLORS: See Color Schedule

LIGHTING: Non- illumination.

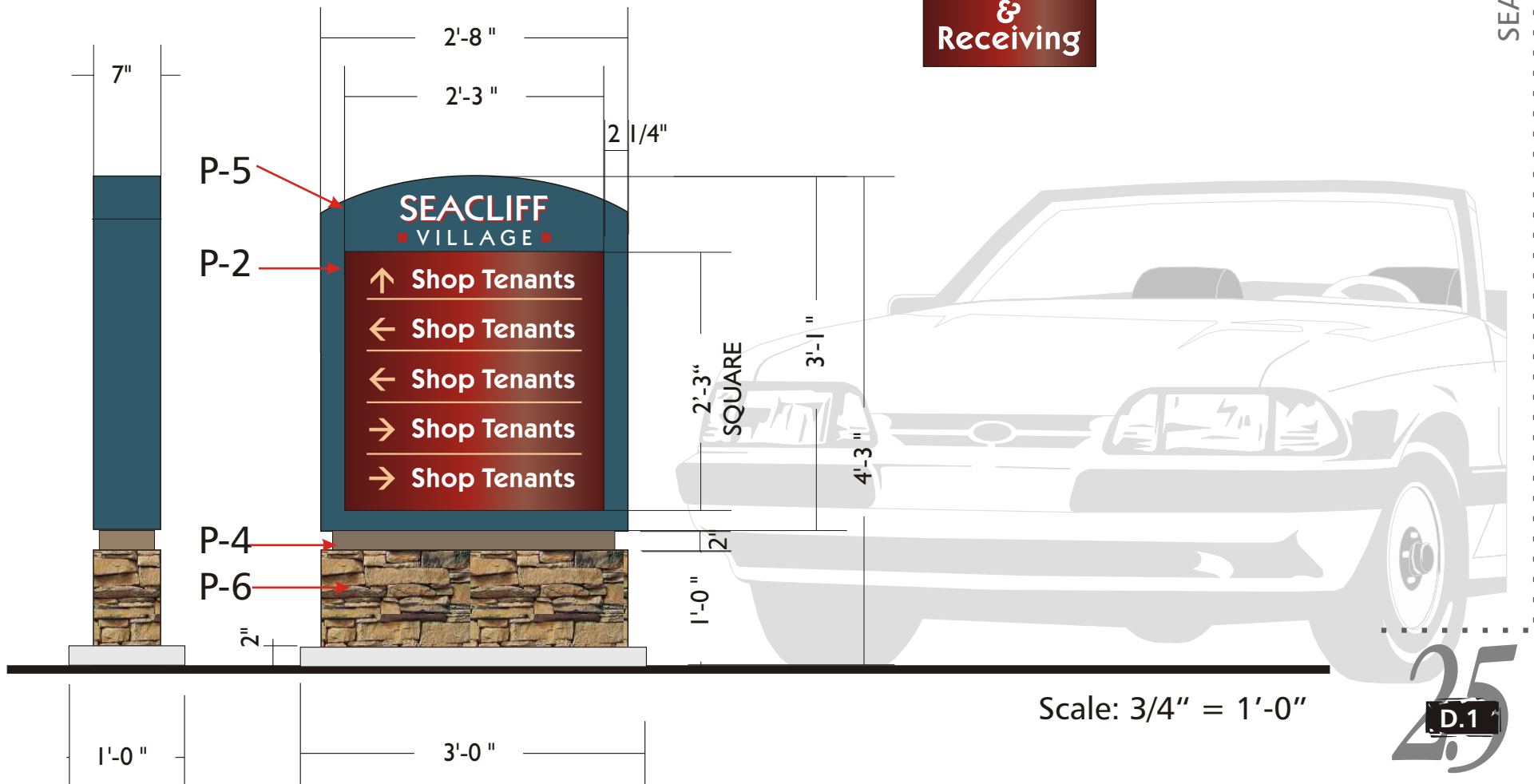
PAINT SCHEDULE

- P-1 FRAZEE #7804D CLAY URN
- P-2 FRAZEE #7906N REMEMBER ROSE
- P-3 FRAZEE #8232W LULLED BEIGE
- P-4 FRAZEE #8764M LAVA ROCK
- P-5 AEP-SPAN COLOR: JADE GREEN
- P-6 CULTURE STONE - ASPEN DRESSED FIELDSTONE (CSV-2040)
- P-7 DUNN EDWARDS Q5-40D KINGFISH



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SEACLIFF VILLAGE



D.2**PEDESTRIAN DIRECTORY**

MATERIALS: Double faced internally illuminated cabinet. Directory to have tamper proof hinged doors and changeable tenant strips with location map
Seacliff Logo to be layered. Mounted on concrete Pad.

QUANTITY: (2)

SIGN AREA: 7' maximum height. Tenant sign area 10.0 Sq. Ft. Maximum. Project I. D. Sign area 2 Sq. Ft. Maximum.

TYPE FACE: Futura Bold.

COLORS: See Color Schedule

LIGHTING: Internal fluorescent lamps.

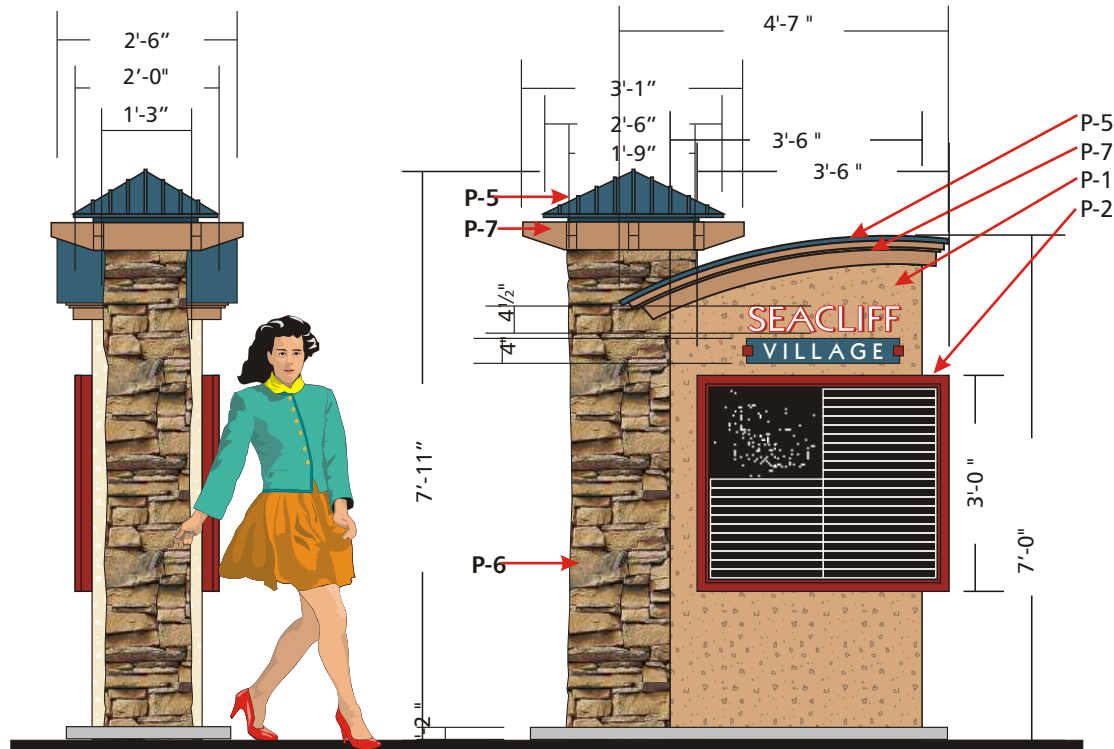
PAINT SCHEDULE

- P-1 FRAZEE #7804D CLAY URN
- P-2 FRAZEE #7906N REMEMBER ROSE
- P-3 FRAZEE #8232W LULLED BEIGE
- P-4 FRAZEE #8764M LAVA ROCK
- P-5 AEP-SPAN COLOR: JADE GREEN
- P-6 CULTURE STONE - ASPEN DRESSED FIELDSTONE (CSV-2040)
- P-7 DUNN EDWARDS Q5-40D KINGFISH



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SEACLIFF VILLAGE



Scale: 3/8" = 1'-0"



PARKING CODE ENTRY

MATERIALS: Aluminum Panel with silk-screened graphics. Mounted to 2" x 6" textured aluminum post.

SIGN AREA: 5'-9" maximum height.

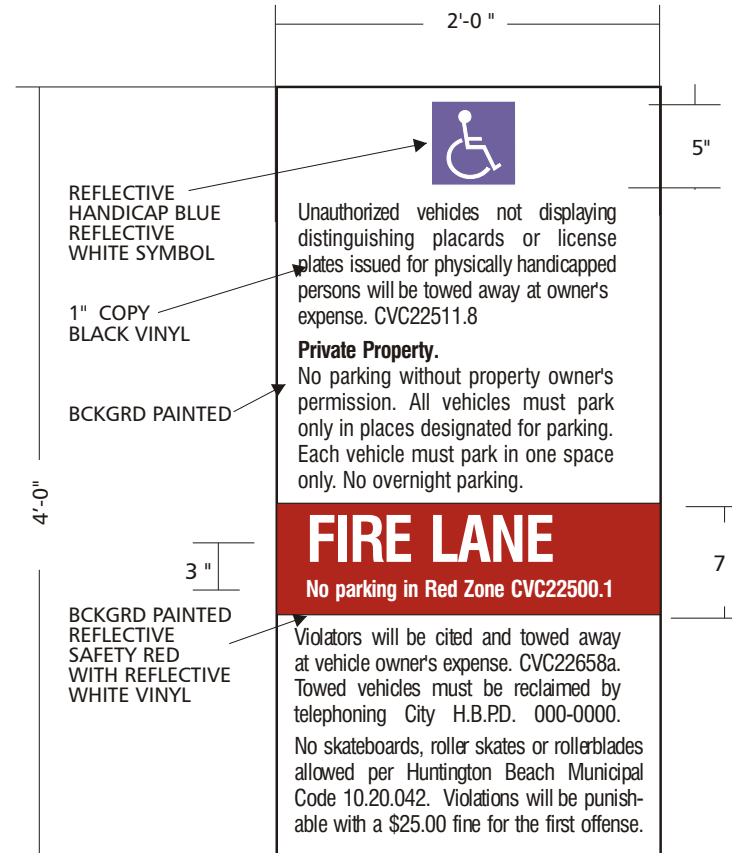
TYPE FACE: Helvetica Medium Condensed.

COLORS: See Color Schedule

LIGHTING: Non-illumination.



scale : 3/8" = 1'-0"



Scale: 1" = 1'-0"



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SEACLIFF VILLAGE





BUILDING ADDRESS

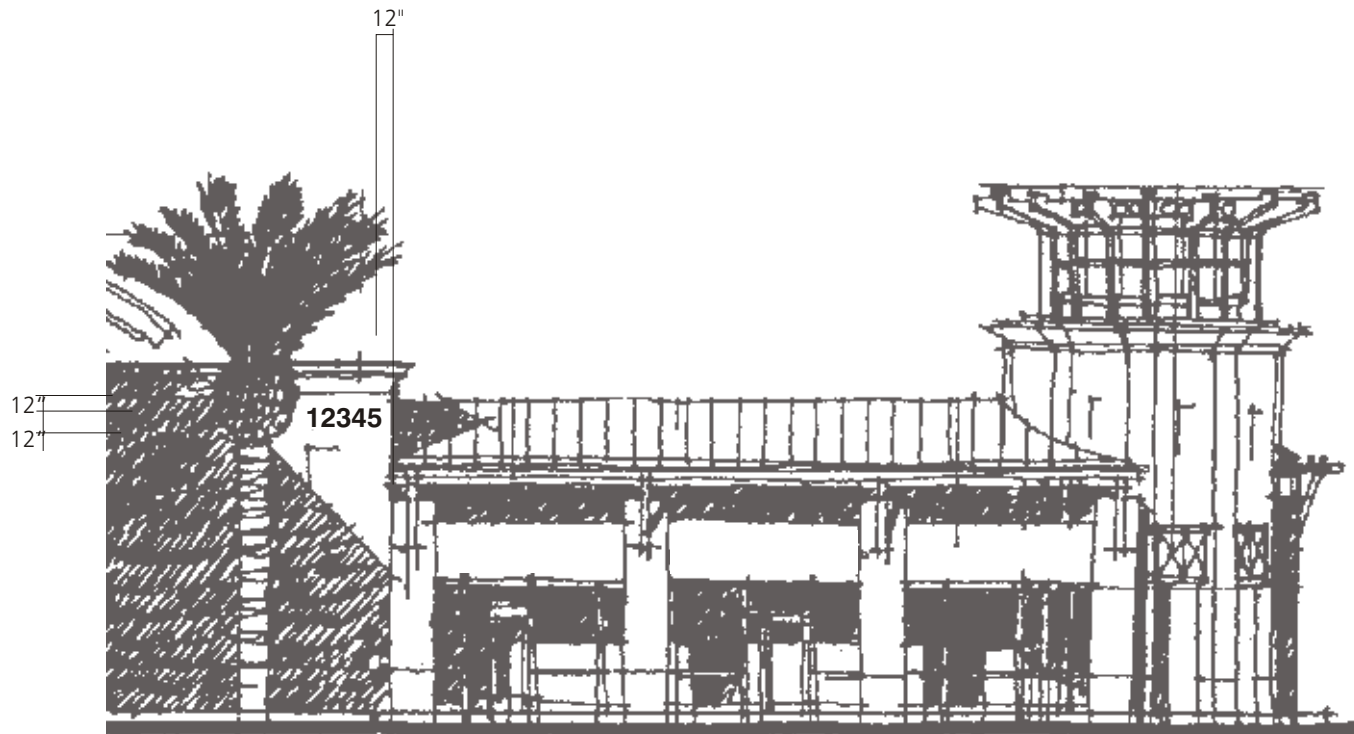
MATERIALS: Individual high impact polystyrene 2" thick address numbers. 1/8" acrylic faces laminated to polystyrene.

QUANTITY:

TYPE FACE: Helvetica Medium Condensed.

COLORS: See Color Schedule

LIGHTING: Non-illumination.



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SEACLIFF VILLAGE





STOP & HANDICAP SIGNS

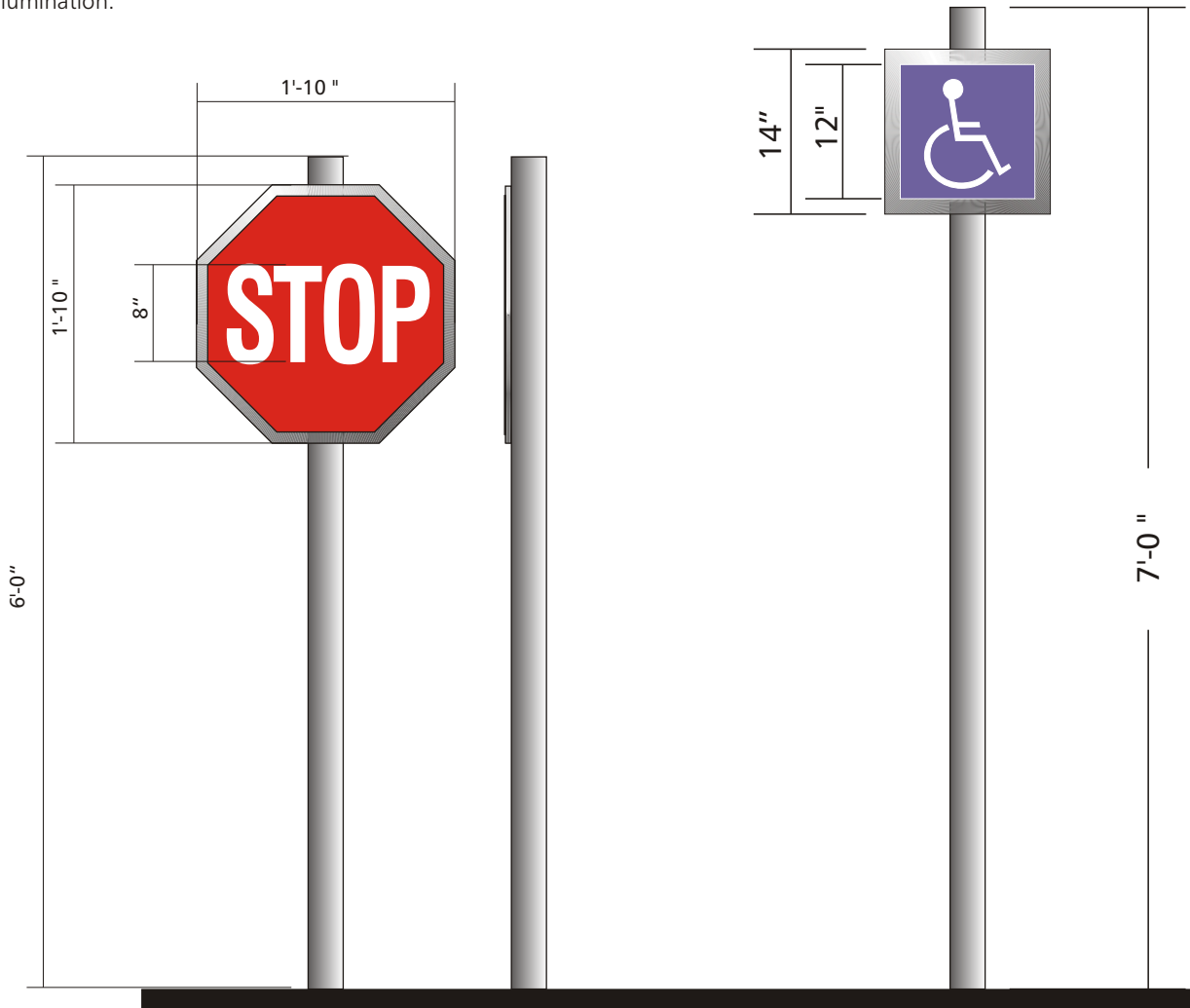
MATERIALS: Single faced aluminum sign.
Mounted to 2½" dia. round pipe.

SIGN AREA: 6'-0" maximum height.

TYPE FACE: Helvetica Medium Condensed.

COLORS: See Color Schedule

LIGHTING: Non-illumination.



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SEACLIFF VILLAGE





PROJECT LOGO I. D.

MATERIALS: Seacliff: Open face channel letters with exposed neon.
Village: Cabinet with routed letters and squares, internally illuminated.

QUANTITY: 2.

COPY: Project ID/ logo.

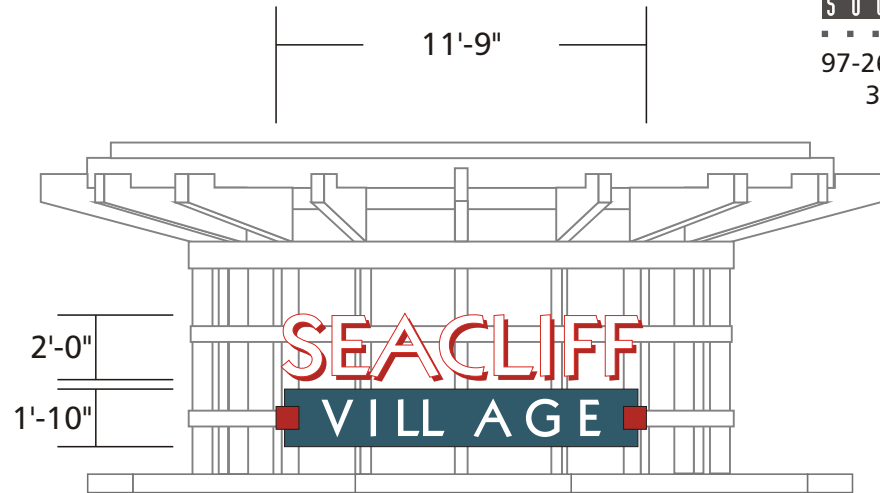
SIGN AREA: 45 Sq. Ft. maximum sign area each.

COLORS: Custom colors logotype / colors.



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SEACLIFF VILLAGE





THEMATIC BANNERS

MATERIALS: Aluminum or Canvas Panel with silk-screened graphic decoration. Mounted to lighting poles.

SIZE: 4'-0" high x 2'-0" wide.

LIGHTING: Non-illuminated.

NOTE: Tenant advertising & logos are not allowed.



SAMPLES:



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SEACLIFF VILLAGE

SIGN TYPE
GROUND SIGNS

QUANTITY	SCALE
	1" = 120'-0"

PAGE DESCRIPTION

SITE PLAN
EXHIBIT A

STATUS

CONCEPT

REV.	DATE	BY
2	9-14-98	JM
3	12-17-98	JM
4	1-1-98	JM
	3-14-00	

DESIGNER SALES

JM CD

JOB NO. DATE

98-2660 7-31-98

PROJECT

Sealcliff Village
 Yorktown & Main
 Huntington Beach, CA

All ideas, designs, arrangements, and plans indicated or represented by this drawing are owned by and the property of Signage Solutions, and were created, evolved, and developed for use on and in connection with the specified project. None of such ideas, designs, arrangements, or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Signage Solutions. Written dimensions on these drawings shall have precedence over scale dimensions: contractors shall verify and be responsible for all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding fabrication.

SIGNAGE SOLUTIONS

PSALM 127:1

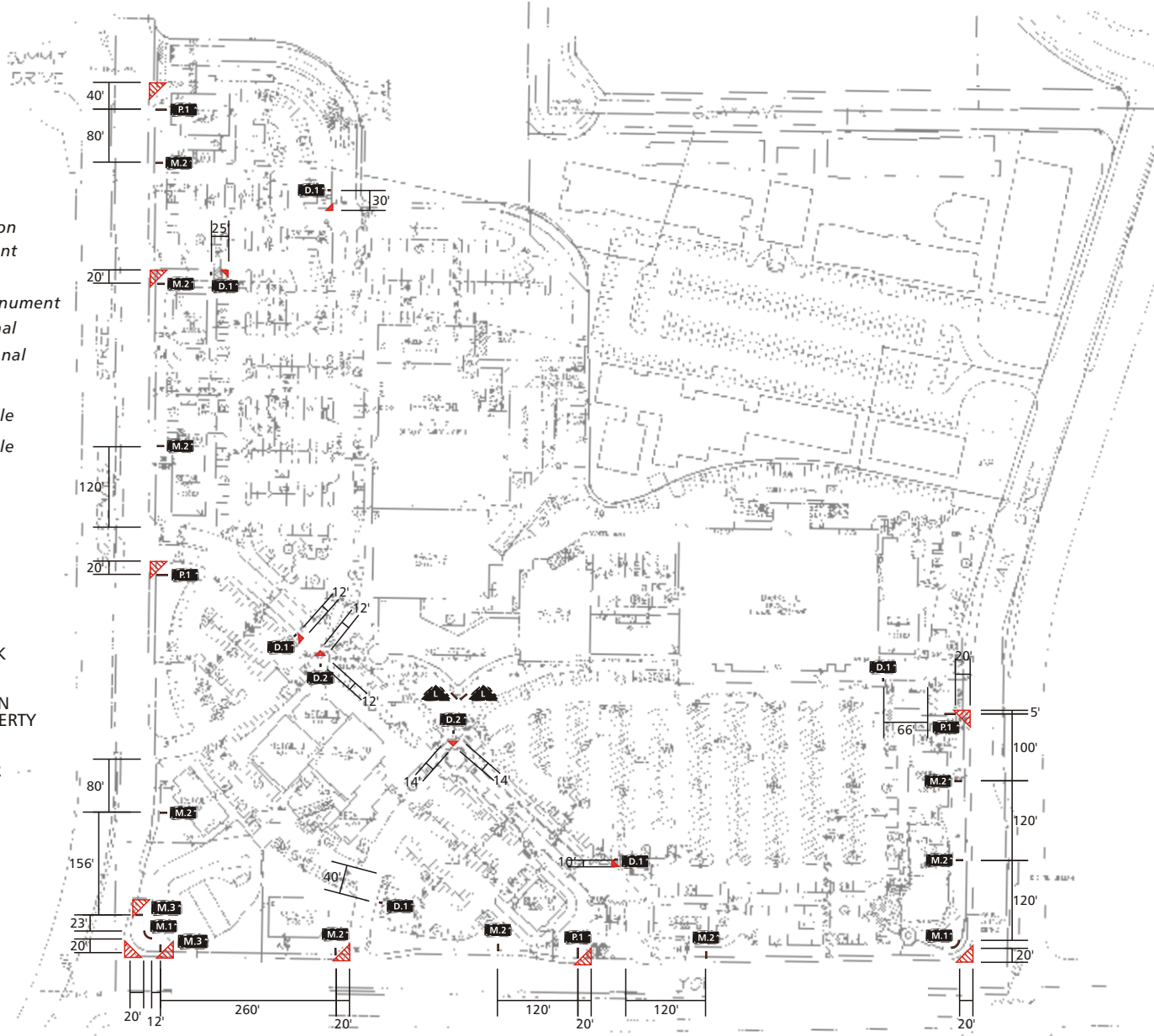
1336 ALLEC STREET
 ANAHEIM, CA. 92805
 714 - 491 - 0299
 FAX 491 - 0439

LEGEND

- P.1** Project/ Tenant Pylon
- M.1** Corner ID Monument
- M.2** Pad Monument ID
- M.3** Service Station Monument
- D.1** Vehicular Directional
- D.2** Pedestrian Directional
- L** Project Logo I.D.
- 25' Visibility Triangle
- 10' Visibility Triangle

NOTES:

1. P1 & M2 SIGNS ARE SETBACK 10' FROM CURB EXCEPT AS OTHERWISE NOTED.
2. D1 SIGNS ARE SETBACK 4' FROM CURBS.
3. M2 SIGNS MAY VARY IN PLACEMENT ALONG PROPERTY LINES BY UP TO 20 FEET IF VISIBILITY IS IMPEDED BY BERMS, LANDSCAPING OR OTHER CONDITIONS.



EXHIBIT

A