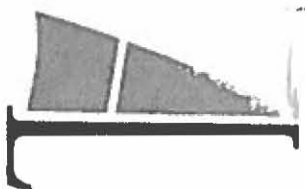


**EXHIBIT D**  
**SIGN CRITERIA**  
**[see attached]**



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# ALAMEDA LANDING

**Tenant Signing Criteria  
September, 2013**



**CATELLUS**  
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## Alameda Landing Tenant Signage Design Criteria

### Landlord's Objective

The objective of the Signage Design Criteria guidelines is to provide standards and specifications that assure consistent quality, size, variety and placement for Tenant signs throughout the project. The criteria are intended to stimulate creative invention and achieve the highest standard of excellence in environmental graphic communication. Such excellence can best be achieved through open and frequent dialogue between Tenant, Landlord and the project's graphic design consultant. Signage at Alameda Landing is an integral part of the center's image and appeal, so signs shall be carefully placed and proportioned to the individual architectural facade on which they are located. Care in the design and installation of store signs will enhance the customer's appreciation of individual Tenants and contribute to the project's overall success.

### Landlord's Work

- Provide base building design and construction information requested by Tenant's sign design consultant.
- Expedite the review, revision and approval of the Tenant's sign design submissions.

### Tenant's Work

- Design, fabrication, permitting and installation of signs, including any structural support, time-clocks, connection to photocells, and electrical service from Tenant's panel and any special installation requiring addition or modification to the shell building approved by the Landlord.
- Signs shall be powered through concealed conduit from Tenant's electrical panel.
- Maintenance of the sign.
- The Tenant shall employ sign fabricators and installers who are well qualified in the techniques and procedures required to implement the sign design concept and approved by the Landlord.
- The Tenant shall abide by all provisions, guidelines and criteria contained within Alameda Landing and these Signage Design Criteria
- Only those sign types provided for and specifically approved by the Landlord in Tenants' sign submission documents will be allowed. The Landlord may, at their discretion and at the Tenant's expense, correct, replace or remove any sign that is installed without Landlord's written consent or that is not executed in conformance with the approved submission.
- The sign shall be maintained in like-new condition. The Landlord may, at their discretion, and with two weeks written notification, replace, remove, or refurbish, at the Tenant's expense, any sign that has become deteriorated. The Landlord may, at their discretion, maintain a service contract for Tenant's sign subject to reimburse-

ment by the Tenant.

- Tenant shall furnish the Landlord with a copy of all sign fabrication and installation permits prior to installation.
- Sign illumination shall be turned on by means of a photocell and turned off by means of a time clock set to center hours of operation determined by the Landlord.

### Submission and Review Process

The Landlord may engage the services of a sign consultant for the entire project that will assist in the review and approval of Tenant sign submissions and insure their conformance to the Project's overall Signage Criteria.

At least thirty (30) days prior to the Landlord's scheduled delivery of the Premises, Tenant shall have provided the following information to the Landlord for review. This information is separate from sign approval submission (and may be in addition to store design and drawing submissions), and will be used to begin the sign design process.

- Store name
  - Store logo (in color with colors identified)
  - Store interior theme, including material and color palette
- Tenants may also submit rendered elevations or photographs of similar interiors recently executed.

### Final Design Submission

Allowing reasonable time for Landlord's review and Tenant's revision of submissions in advance of sign fabrication (but not less than 30 days), Tenant shall submit to the Landlord for approval three (3) sets of complete and fully dimensioned shop drawings of the Tenant's sign. Shop drawings shall include at least the following:

- Tenant's entire building facade elevation, showing the proposed sign, in color, drawn to a scale of 1/8" = 1'-0".
- Storefront (partial building) elevation at 1/4" = 1'-0" scale, showing the location, size, color and construction and installation details (brackets, braces, etc.) of the Tenant's proposed sign.
- Typical section through letter and/or sign panel showing the dimensioned projection of the letter or panel face and the illumination method. Specify neon color and intensity (if applicable).
- Color and material samples together with a photograph (if possible) of a similar installation.

Within fourteen (14) days of receipt of the final sign shop drawings, the Landlord will approve, approve as noted, or disapprove with comments the Tenant's sign design. Tenant shall respond to the Landlord's comments and re-submit within five (5) calendar days, repeating this process until all sign design, fabrication and installation issues are resolved to the Landlord's and Tenant's satisfaction. Upon receipt of final sign approval, Tenant shall submit the proposed sign to the City of Alameda Planning Department for the required fabrication and installation permits.

Note: All Tenant signs shall bear the UL or equivalent testing laboratory label, and shall be fabricated by a qualified shop.

### Sign Contractor Responsibilities

The Tenant shall insure that their sign fabricator and installer understand their responsibilities before they begin sign fabrication. The Tenant's sign contractor(s) are responsible for the following:

- Prior to beginning installation, provide the Landlord with an original certificate of insurance naming the Landlord as an additional insured for liability coverage.
- Obtain all required sign permits from the City of Alameda and deliver copies to the Landlord.
- Keep a Landlord approved set of sign shop drawings on site when installing the sign.

### Sign Design and Placement Criteria

There are many acceptable sign treatments and a mixed media approach of several different elements and lighting techniques is allowed. Tenants are strongly encouraged to consider the architectural style of their facade, the overall concept of the project, the scale of the proposed sign and the critical viewing angles and sight lines when designing graphics and signs for the storefront.

### Permitted Sign Types

Acceptable sign treatments include:

- Front and halo illuminated channel letters, white neon halo only.
- Note: acrylic face, internally illuminated channel letters which are not also halo lit will not be permitted unless successfully used as a part of an approved mixed media sign.
- Mixed media, three-dimensional signs painted gold, silver or copper leaf.
  - Three inch (3") deep halo illuminated letters, white neon halo only.
  - Two inch (2") deep channel letter with exposed neon. Exposed neon will be approved at the sole discretion of the Landlord and should be proposed only if a part of the overall Tenant design concept.
  - Dimensional, geometric shapes.
  - Screens, grids, or mesh.
  - Etched, polished, patina or abraded metals and materials.
  - Sand blasted, textured, and/or burnished metal-leaf faced dimensional letters, pin mounted from facade.
  - Prismatic face letter forms with full faceted strokes.
  - Rounded face letter forms with radius faces and eased edges.
  - Layered letterforms with face and liner. Letter face shall be at least one inch (1") thick, and the liner shall be a minimum of two inches (2") thick.
  - Exposed neon as a graphic accent.
  - Signs mounted to hard canopies, eyebrows or other projecting architectural elements.
  - Awning signs and logos.



- Signs mounted to canopies and marquees.

Note: Mixed media signs employ two or more illumination and fabrication methods (for example, halo lit, reverse channel, letters with fiber optic accents). Although simple rectangular cabinet signs are generally not allowed, mixed media signs may be composed of several elements, one of which may be a cabinet. However, the cabinet sign shall not exceed 50% of the total sign area. With the Landlord's approval, complex shaped (i.e. polyhedron) sign cabinets may be used as long as they incorporate dimensional elements such as push-through letters or exposed neon.

### Prohibited Sign Types

- Undorned rectangular cabinet signs with translucent or opaque faces.
- Temporary wall signs, pennants, banners, inflatable displays or sandwich boards, unless specifically approved by the Landlord.
- Window signs unless approved by the Landlord (Note: box signs hanging in display windows are not allowed and use of exposed neon in window displays may be allowed subject to Landlord approval)
- Exposed junction boxes, wires, transformers, lamps, tubing, conduits, raceways or neon crossovers of any type.
- Signs using thin-cap retainers that do not match the color of letter and logo returns (polished gold, silver or bronze trim caps are not permitted).
- Pre-manufactured signs, such as franchise signs, that have not been modified to meet these criteria.
- Paper, cardboard or styrofoam signs, stickers, or decals hung around or behind storefronts.
- Exposed fasteners, unless decorative fasteners are essential to the sign design concept.
- Simulated materials such as wood grained plastic laminates or wall coverings.
- Flashing, oscillating, animated lights or other moving sign components, except as specifically approved by the Landlord.
- Rooftop signs or signs projecting above roof lines or parapets.
- Signs on roofs or equipment screens.
- Advertising or promotional signs on parked vehicles.
- "Open" or "Closed" signs in storefront doors or display windows.
- Hours of operation signs in storefront doors or display windows.

### Tenant Signs

The following outline provides guidance for each tenant building or lease space sign allowance. In addition, building diagrams with possible sign placement follows this criteria. These elevations illustrate the various tenant spaces as:

- Major Tenant Single Occupant Building Example, Page 7
- Multi-Tenant Building Example, Interior space tenant, Pages 8 - 11
- Multi-Tenant Building Example, corner space tenant, Pages 8 - 11

### 1 Primary Identification Sign

The Alameda Landing Signage Design Criteria supersedes all less restrictive Sign Codes by the City of Alameda. If the Tenant can show good cause for a deviation from the size limitations outlined within, which does not violate any City of Alameda written Sign Code or regulation regarding the size and placement of storefront signs, the Landlord will consider such requests.

#### Major Tenant Single Occupant Buildings

- Tenants are allowed signage up to 5% of the area of each building face. Sign area allowance may be applied on any building face provided the sign area does not exceed 200 sq. ft. on primary tenant identification or 350 sq. ft. in total for primary building elevation subject to Landlord's review and approval.

#### Multi-Tenant Building

- Tenant is allowed one primary identification sign located in the designated sign zone just above the primary store entrance
- Specific suites with building elevations facing multiple exposures may incorporate one additional primary identification sign per active storefront exposure, subject to Landlord's approval.

- Sign size is based upon the Tenant's Leased frontage, as measured in a straight line from Lease line to Lease line for each elevation. Tenants are allowed 1.5 sq. ft. of primary sign area per linear foot of store frontage. Sign square footage is measured by drawing a simple rectangular box around the entire sign, whether upper and/or lower case letters are used.
- The overall width of any sign shall not exceed 80% of any uninter-rupted architectural treatment.

Note: Specific locations and surrounding architectural treatments can dictate the maximum sign height and length, which may differ from the general guidelines proposed above. The Landlord reserves the right to approve or reject any proposed sign on the basis of its size and placement.

- Tenants with exposed service rear elevations may have an additional secondary identification that is no more than 80% of primary identification.

- Signs may identify the business name and a minimum generic word description of the service. No product/identifiable or specific service descriptions may be displayed.

- Unless otherwise restricted by City Codes, treated as the primary identification sign. Blade signs, flags, banners, and window/text signs shall not count against the Tenant's overall sign square footage allowance.

### 2 Projecting Signs

The Landlord may require that the Tenant's primary identification sign be a projecting sign. The size and placement of these projecting signs will vary depending upon the store frontage and location, and will be determined at the sole discretion of the Landlord. Projecting signs will be sized to complement the architectural elements on which they are placed. However, the ultimate size of the

individual sign will be determined during the design and submission process, and will be subject to the Landlord's sole discretion and approval.

### Projecting Sign Placement

Other Tenants may propose projecting signs if essential for visibility or to complement the building architectural style. Projecting signs for other Tenants, if approved by the Landlord, may be limited to a maximum projection of three feet eight inches (3'-8") from the building and have a maximum height of ten feet (10'-0"). The final size of the sign will be determined during the design and submission process and shall complement the architectural style and scale of the area receiving the sign subject to the sole discretion of the Landlord. Where a projecting sign becomes the Tenant's primary identification sign, the Landlord may permit a secondary storefront facade sign or marquee sign visible to pedestrians at the level of entry.

### 3 Blade Signs

Tenants with awnings or fixed canopies are allowed one blade sign per store front exposure. The blade sign program has been established to work with each Tenant's graphic identity and transform it into a three dimensional double-faced sign. The Landlord encourages the Tenant to propose blade sign designs that enrich the pedestrian environment with creative use of colors and materials combined with strong store name identification. Blade signs may be illuminated or non-illuminated. Illuminated signs shall have an internal light source, or a decorative external light source that is well integrated into the sign design. Blade signs shall project no more than three feet six inches (3'-6") from the building face, and shall be no more than three feet 3'-0" in overall height, with a maximum of six (6) square feet of area for each face. Blade signs are generally intended to have a horizontal proportion. Clearance from the underside of the blade sign to the finished common area paving shall be a minimum of seven feet six inches (7'-6").

Proposals for blade sign designs will be reviewed at the time of the Tenant's overall sign design submission. It is the responsibility of the Tenant to ensure that the fabrication and installation by their contractor includes adequate support for the blade sign.

### 4 Wall Plaque Signs

There may be conditions where a building plaque sign may be substituted in place of a blade sign. The Tenant plaque sign will be placed flush to the building surface adjacent to the Tenant's entry. Plaques shall project no more than the material depth or no more than 1" from wall surface. Plaques are non-illuminated and will have a maximum of 6 sq. ft. in area. Plaques can be flat or have limited dimensional design. Plaques can be painted, silk screened, etched or carved. No vinyl letters. Content is limited to Tenant name, logo or brand. No other graphic content shall be allowed unless specifically requested and approved by the Landlord.

## Window Signs

Window applied signs are allowed on second surface of glass. Window signs may not be larger than 5% of each window area. Signs may be decal, hand painted or gilded presenting the Tenant name, logo or brand. No other graphic content shall be allowed unless specifically requested and approved by the Landlord.

## Suite Identification Signs

Suite identification signs shall be provided by the Landlord at the Tenant's expense. Signs shall be centered on the window panel immediately above the primary entrance door. Alternatively, signs may be placed in the lower right hand corner of the storefront adjacent to the primary entrance. Numerals shall be gold or silver Mylar, four inches (4") in height, Univers 57 Condensed font.

## Service Door Signs

Rear door signs shall be provided by the Landlord at the Tenant's expense. Tenants shall be required to identify their service door for delivery and emergency purposes. Tenants shall provide dark brown die cut vinyl transfer letters indicating the suite letter or number affixed to service door centered at five feet (5'-0") above the threshold. Letter height shall not exceed three inches (3"), Univers 57 Condensed font.

## Other Required Storefront Signs

Most Tenant suites will include the primary storefront entry doors as a legal means of egress from the interior. If required by code, Tenants shall provide a sign at storefront entrance doors identifying "these doors are to remain unlocked during business hours" in an upgraded surface mounted panel matching the storefront finish. Vinyl letters or tape will not be permitted. If required by code, Tenants shall also provide an upgraded surface mounted accessibility plaque in a material compatible with the storefront finish. Vinyl letters will not be permitted. Tenants shall provide a suite address number at a size, design material and location designated by the Landlord.

## Sign Lighting Recommendations

Tenant signs shall be creatively illuminated using a variety of lighting techniques. One or more of the following are allowed:

- Internally illuminated acrylic faced channel letters, pin mounted, with halo illumination.
- Opaque faced reverse channel letter with silhouette illumination (neon or other).
- Open channel with exposed neon.
- Fiber optics.
- Incandescent light bulbs.
- Front lighting (including custom decorative light fixtures approved by the Landlord).
- Internally illuminated signs with seamless opaque cabinets and push-through lettering and/or neon.

- Neon shall be white and 3500k. Use of colored neon is subject to Landlord approval.

- LED's shall substitute for neon, but will be warm white in color. All front lighting fixtures and light sources shall be baffled and/or obscured from direct visibility with recessed channels that are fully integrated into the building facade elements. Alternatively, decorative shrouds or housings custom designed and fabricated to maintain or enhance the architectural integrity of the building may be used to conceal "off-the-shelf" standard fixtures subject to Landlord's approval. Visible standard (Non-custom) "gooseneck" lamps and similar fixtures will not be approved. All housings and posts for exposed neon signs shall be painted to match or compliment the building facade color immediately behind and adjacent to the sign.

## Type Styles and Logos

The use of logos and distinctive type styles is encouraged for all Tenants' signs. Sign lettering should be combined with other graphic and/or dimensional elements denoting the type of business. The Tenant may adapt established type styles, logos and/or images that are in use on similar buildings operated by the Tenant in other locations, provided that these images are architecturally compatible and approved by the Landlord. The typeface may be arranged in one or two lines of copy and may consist of upper and/or lower case letters. The Tenant shall identify trademark protected type and marks in their sign submission to assist the Landlord in the review process.

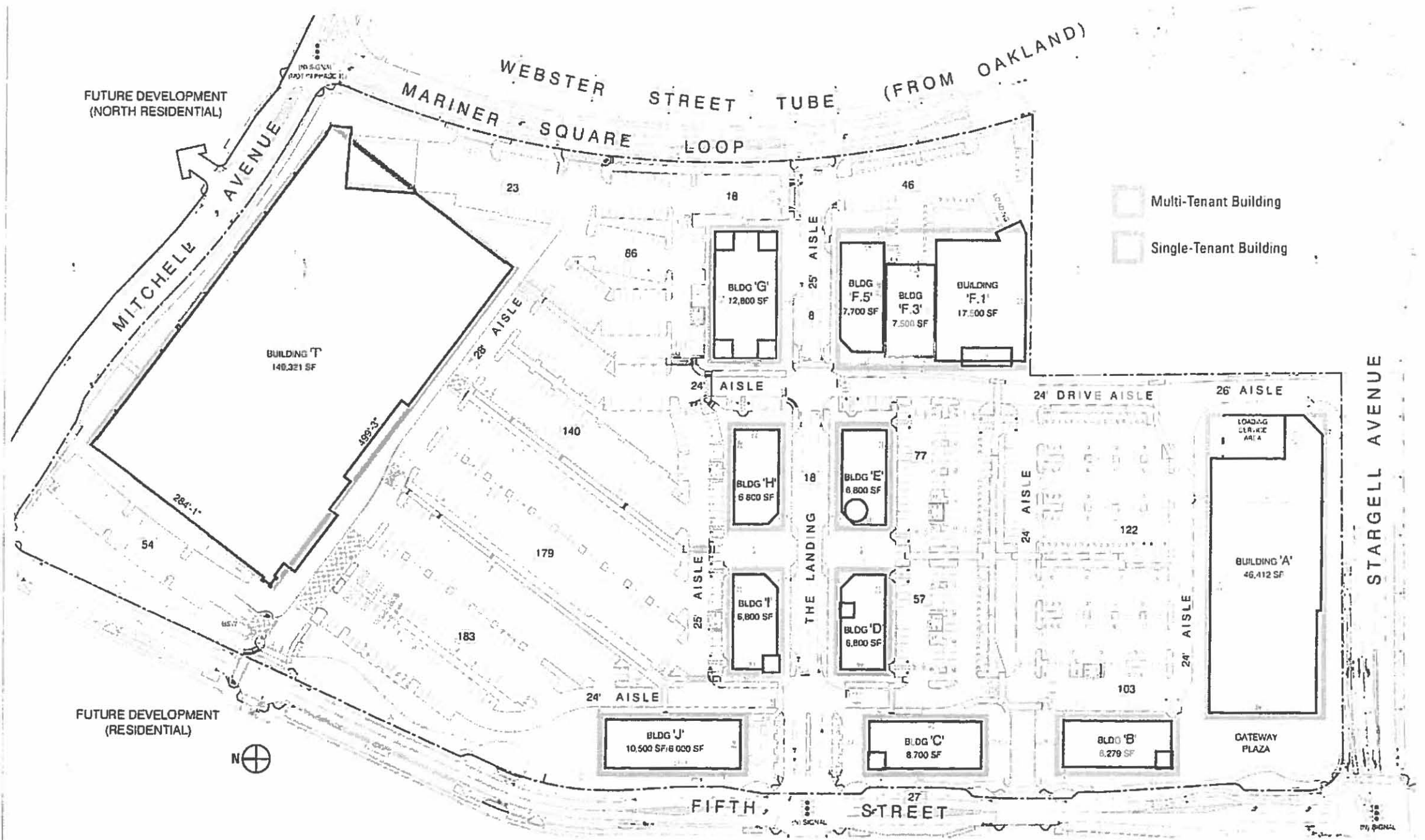
## Colors

The following guidelines are for selecting colors for Tenants' signing. The Project and the individual building facade will consist of a variety of colors and materials. The Landlord encourages the Tenant to consider these colors when choosing their sign colors, and where feasible the Landlord will consider the Tenant's color scheme when making final building color and material choices. Tenants are requested to make early color submissions for review by the Landlord, although final determination of building colors will follow from on site mock-ups and draw downs reviewed and approved during construction of the base building shell.

- Signs may incorporate regionally and nationally recognized logo colors.
- Sign colors shall be selected to provide sufficient contrast against building background colors.
- Sign colors shall be compatible with and compliment building background colors.
- Sign colors shall provide variety, sophistication and excitement.
- Color of letter returns shall match the face of the letter or be a contrasting dark bronze for good daytime readability (black returns are generally not permitted).
- Interior of open channel letters shall be painted dark when placed against light backgrounds.
- Neon colors shall compliment related signing elements.

## General Sign Fabrication Criteria

- Signs shall be fabricated of durable appropriate weather resistant materials complimentary to the base building materials.
- Dissimilar metals used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally, stainless steel fasteners shall be used to attach dissimilar metals.
- Threaded rods or anchor bolts shall be used to mount sign letters, which are held off the background panel. Angle clips attached to letter sides will not be permitted.
- Colors, materials and finishes shall exactly match those submitted to and approved by the Landlord.
- Visible welds and seams shall be filled with auto body compound and ground smooth before painting. No fasteners, rivets, screws or other attachment device shall be visible from any public vantage point.
- Finished metal surfaces shall be free from oil canning and warping. All sign finishes shall be free of dust, orange peel, drips and runs and shall have a uniform surface conforming to the highest industry standards.
- Reverse channel letters shall be pinned two inches (2") off the wall. The letter return depth shall be three inches (3"), and letters shall have a clear Lexan backing. LED or neon light as required for even light distribution.



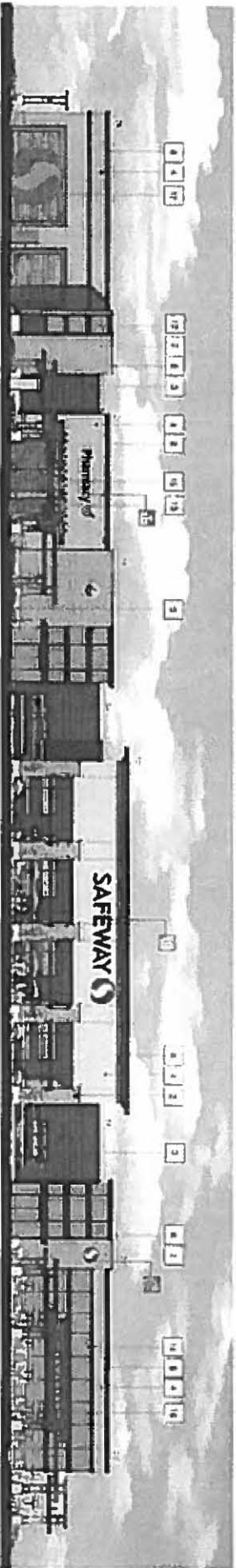
- Multi-Tenant Building
- Single-Tenant Building

FUTURE DEVELOPMENT  
(NORTH RESIDENTIAL)

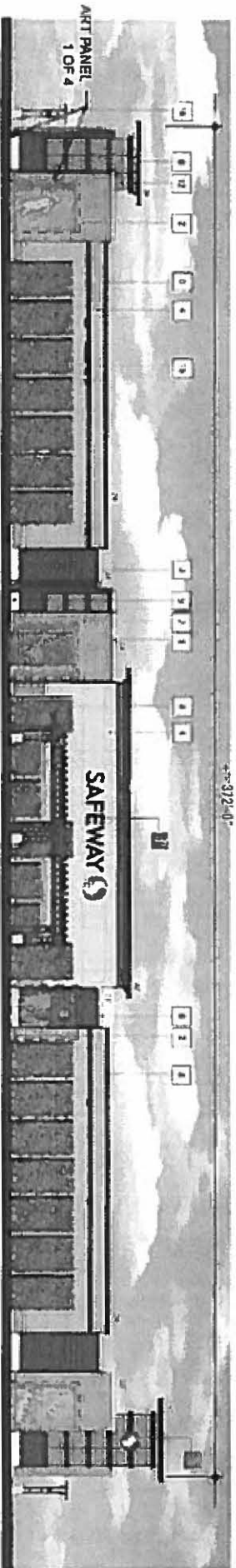
FUTURE DEVELOPMENT  
(RESIDENTIAL)



1 SITE PLAN



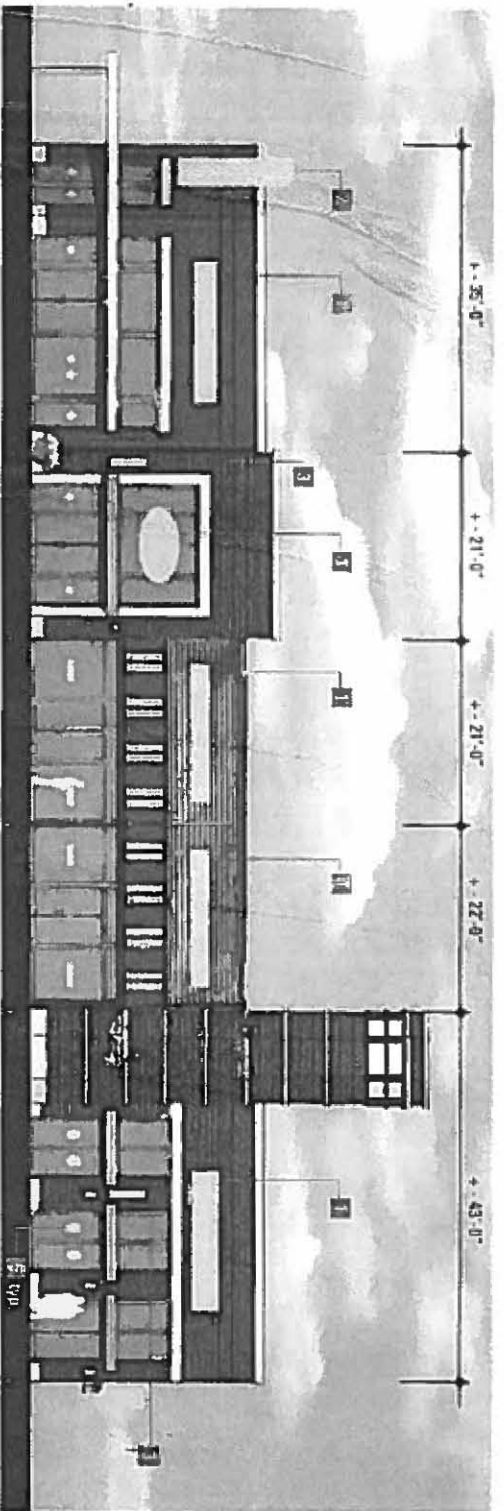
Building A, Major Tenant Front Elevation (North), Exhibit A, Single Tenant Building (1/22' = 1'-0")



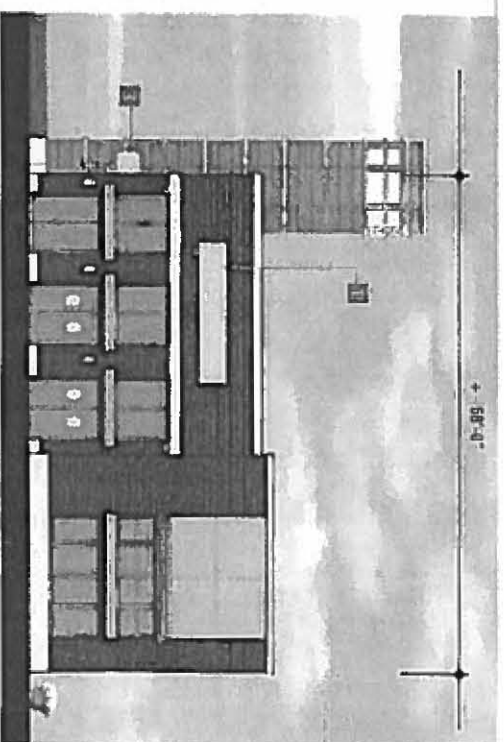
Building A, Major Tenant Rear Elevation (South), Exhibit A, Single Tenant Building (1/22' = 1'-0")

Exhibits for example of tenant sign placement and estimated sign area based on linear footage. Refer to written tenant sign criteria when designing actual tenant signs for estimating square footage, quantity and placement.

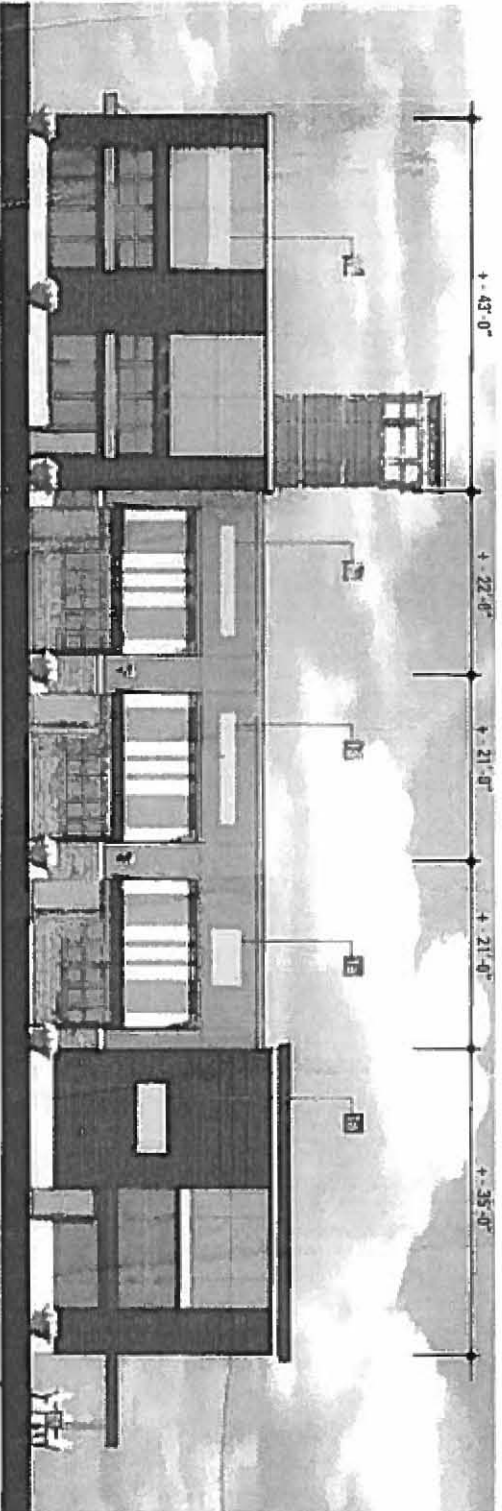




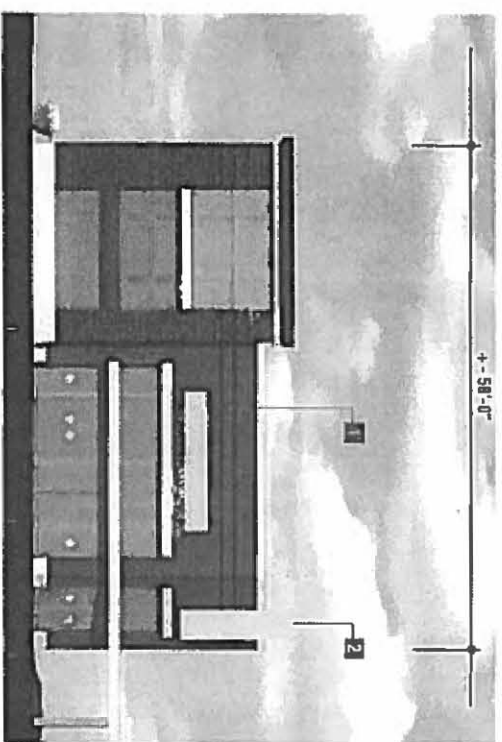
Building D, Front Elevation (North), Option A, Multi-Tenant Building (1/16" = 1'-0")



Building D, Side Elevation (West), Option A, Multi-Tenant Building (1/16" = 1'-0")

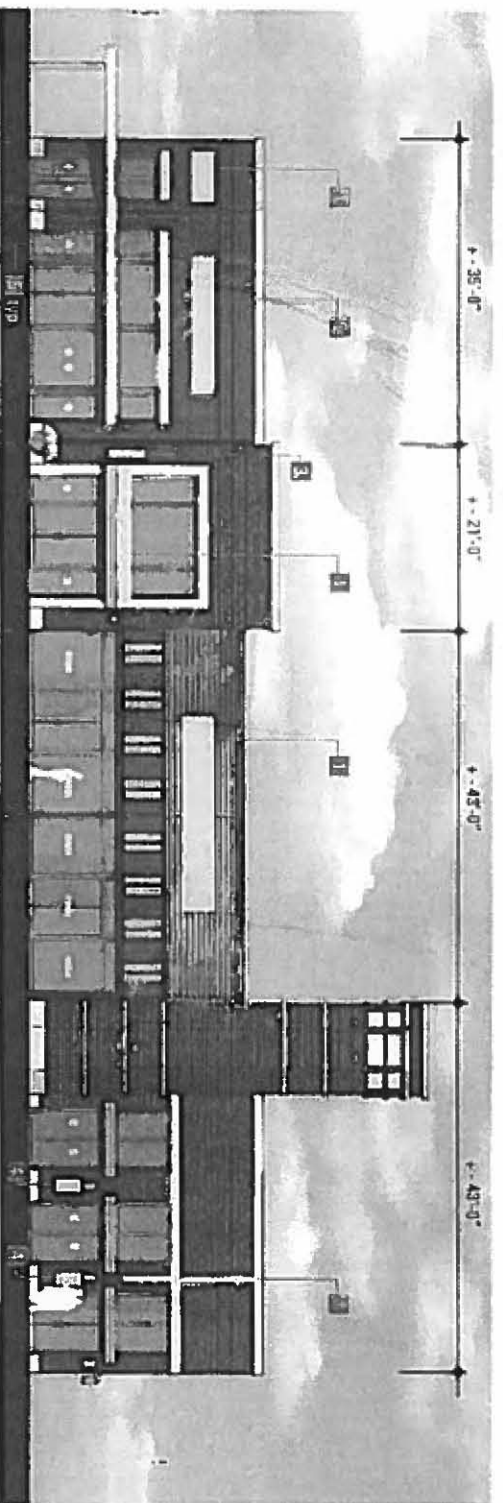


Building D, Rear Elevation (South), Option A, Multi-Tenant Building (1/16" = 1'-0")

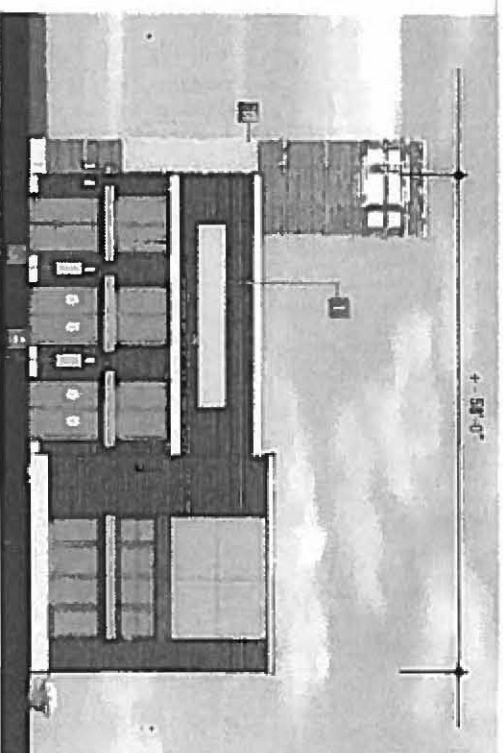


Building D, Side Elevation (East), Option A, Multi-Tenant Building (1/16" = 1'-0")

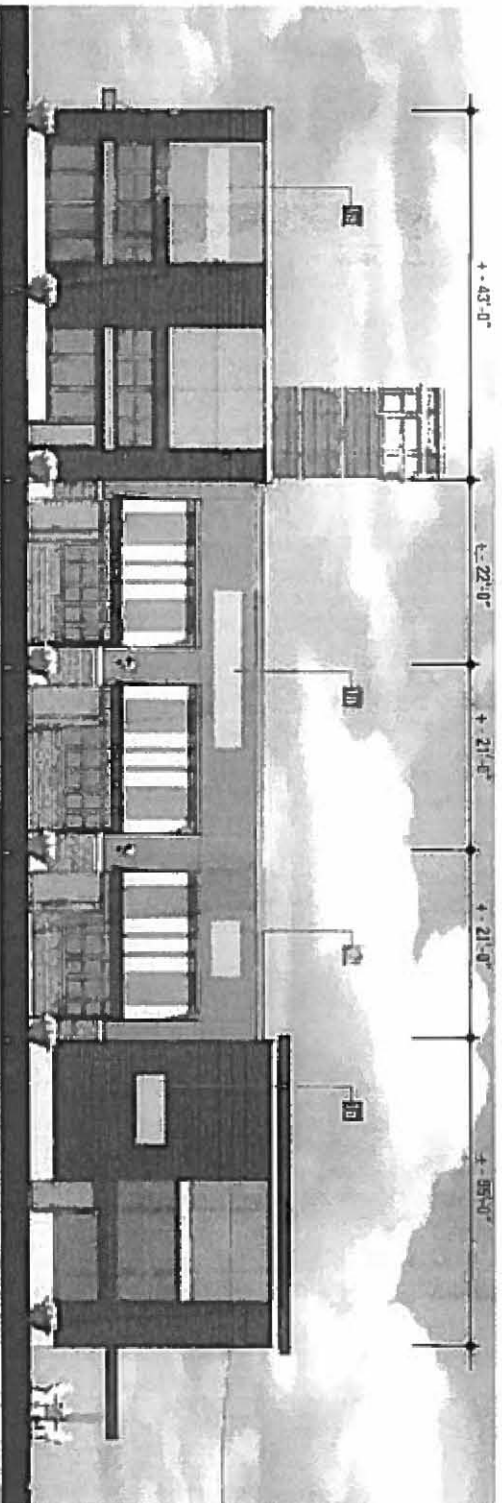
Exhibits for example of tenant sign placement and estimated sign area based on linear frontage. Refer to written tenant sign criteria when designing actual tenant signs for estimating square footage, quantity and placement.



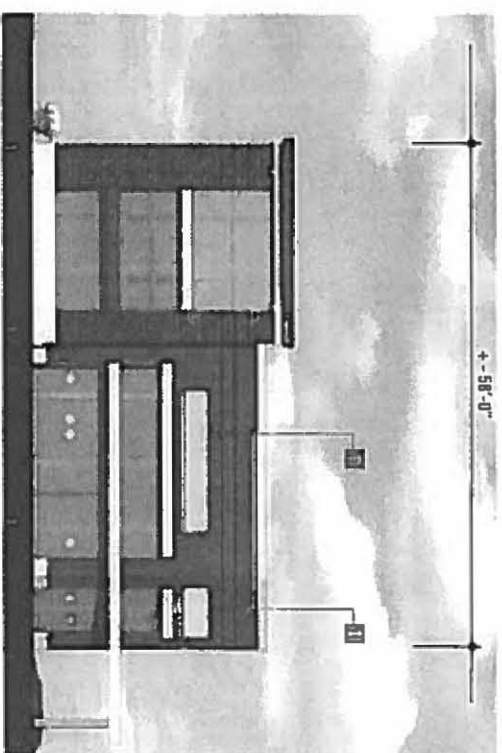
Building D, North Elevation, Option B, Multi-Tenant Building (1/16"=1'-0")



Building D, Side Elevation (West), Option B, Multi-Tenant Building (1/16"=1'-0")

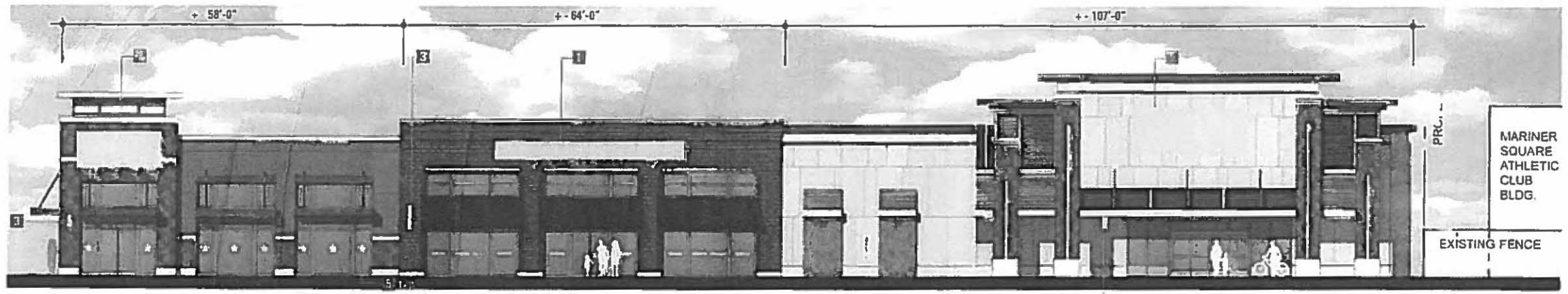


Building D, South Elevation, Option B, Multi-Tenant Building (1/16"=1'-0")



Building D, Side Elevation (East), Option B, Multi-Tenant Building (1/16"=1'-0")

Exhibits for example of tenant sign placement and estimated sign area based on linear footage. Refer to written tenant sign criteria when designing actual tenant signs for estimating square footage, quantity and placement.



Building F, Front Elevation (West), Exhibit A, Multi-Tenant Building (1/16"=1'-0")

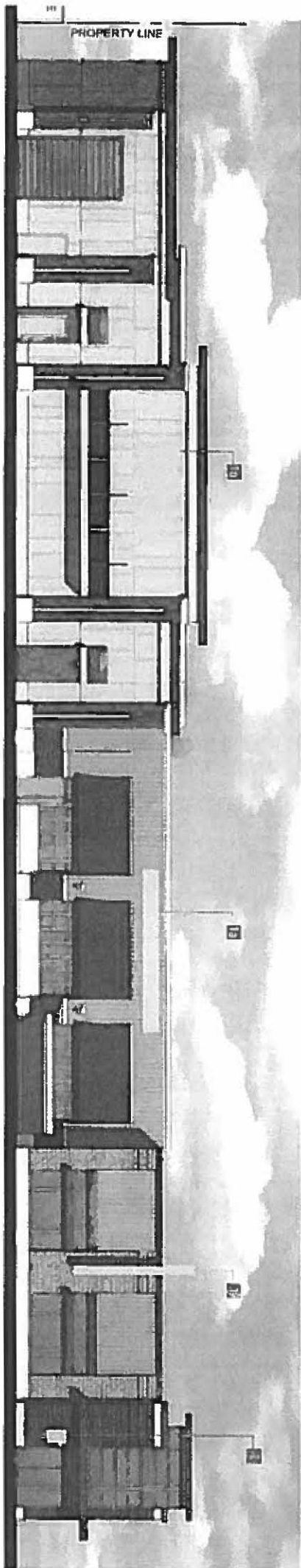


Building F, Side Elevation (North), Exhibit A, Multi-Tenant Building (1/16"=1'-0")

Note, Building F abuts Athletic Club to the south and does not require tenant signing.

Exhibits for example of tenant sign placement and estimated sign area based on linear frontage. Refer to written tenant sign criteria when designing actual tenant signs for estimating square footage, quantity and placement.





Building F, Rear Elevation (East), Exhibit A, Multi-Tenant Building (1/16" = 1'-0")

Exhibits for example of tenant sign placement and estimated sign area based on linear footage. Refer to written tenant sign criteria when designing actual tenant signs for estimating square footage, quantity and placement.