

Building Signage
Major Retail

Desert Ridge Marketplace

Major Retail Hard Goods District - Building Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT MAX.	SIZE	ILLUMINATION	MATERIALS
Tenant Signs for occupancy greater than 50000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Unrestricted Letter Height	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Tenant Signs for occupancy greater than 15000 SF but less than 50000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Letter Height: 72" Maximum	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Tenant Signs for occupancy less than 15000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Letter Height: 48" Maximum	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material

NOTE: 1) All items indicated as "To Be Determined" (TBD) shall be submitted to the Zoning Administrator and/or his designated representative for review and approval prior to permit issuance.

2) Signage placed on wall surfaces not visible beyond property boundaries may be exempt from sign area and placement restrictions regulated by sign ordinance and this Comprehensive Sign Plan. The City of Phoenix shall make a determination on an individual case basis.

3) Signage placed on the rear elevation (south) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

Building Sign Criteria

Hard Goods District

All tenant building signage shall conform to specifications established in the "Comprehensive Sign Plan" for Desert Ridge Marketplace. Specifications include size, placement, methods of illumination, colors, and materials that are utilized in the construction and installation of tenant's signage.

Sign Area: The maximum aggregate sign area per building elevation for each tenant within this district shall be calculated by multiplying one and one-quarter (1.25) times the length of the storefront and/or elevation occupied by the tenant.

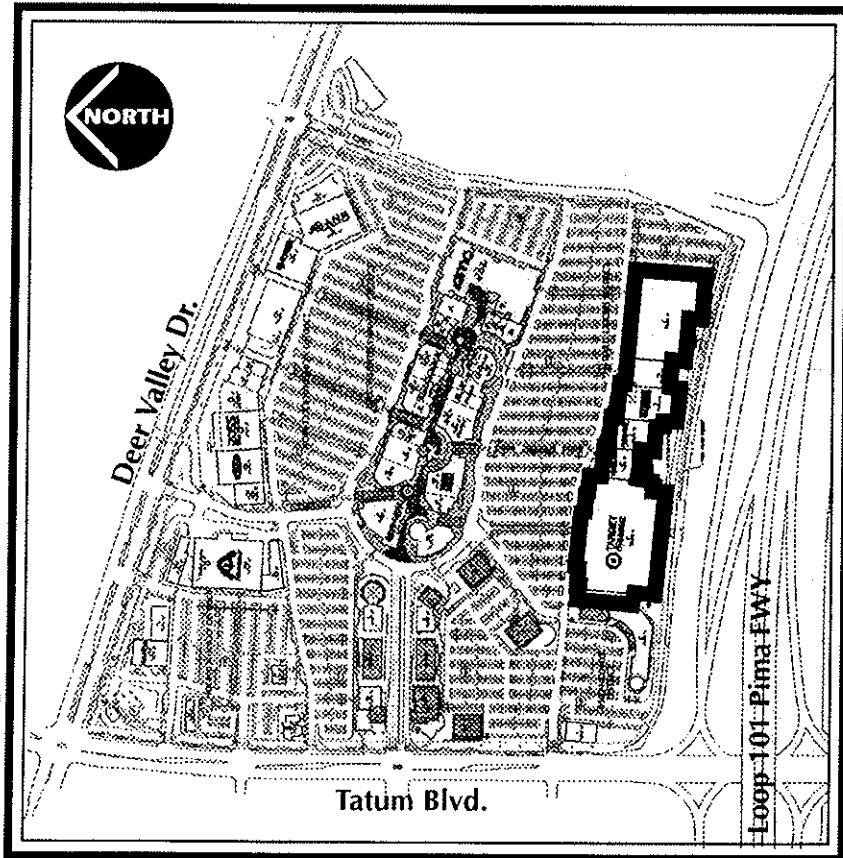
Placement: Each tenant may place its signage on wall surfaces specifically designated for such use. No sign element shall be placed closer to the roofline than one-half (1/2) the vertical dimension of the sign nor shall any sign be permitted to break the silhouette of the building upon which it is located unless specifically approved as part of the Comprehensive Sign Plan.

Typestyle: Tenant building signage shall consist of individual letters and logos consistent with tenant's corporate identity program. Sign cabinets may be permitted subject to developer's sole and discretionary review.

Illumination: Tenant building signage may be internally illuminated, backlit to create a silhouette, exposed neon and/or combination of lighting methods mentioned herein.

Letter Size: Tenants occupying less than 15000 SF shall be limited to a maximum letter height of forty-eight (48") inches. Tenants occupying 15001 SF through 50000 SF shall be limited to a maximum letter height of seventy-two (72") inches. Tenants occupying greater than 50000 SF shall not be restricted to a specified letter height. All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Desert Ridge Marketplace.

Length of Sign on Wall Surface: In no event shall any sign exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed.

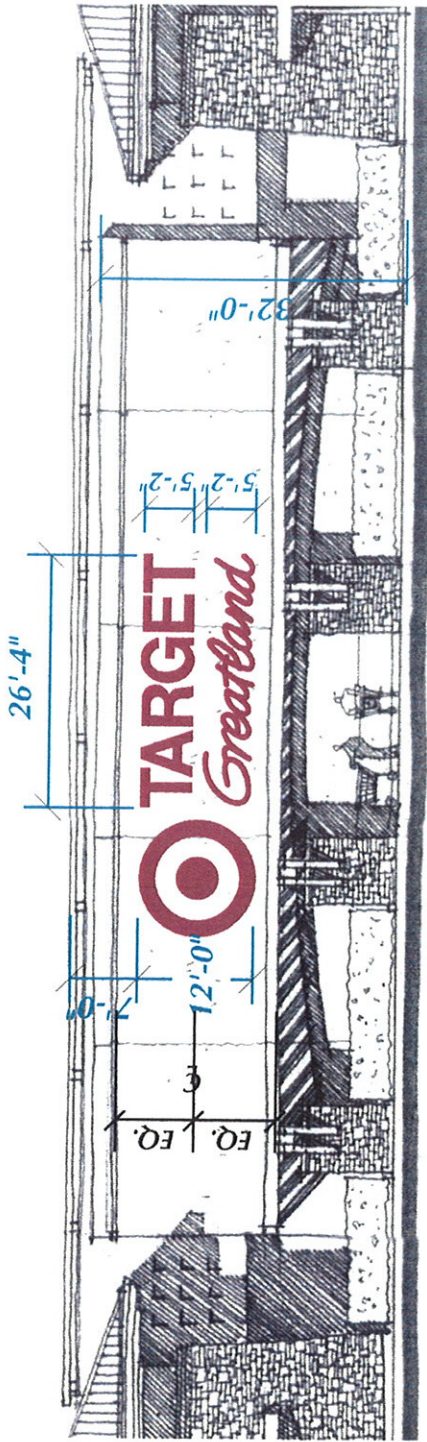


NOTE: Signage placed on the rear elevation (south) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

91
V 2.0 - April, 2000

DESERT RIDGE
MARKETPLACE

Sheet: Target-1



Partial Front Elevation (North)


TARGET Greatland — 5'-2" x 26'-4" = 136.06 Sq Ft
 12'-0" dia. = 113.0 Sq Ft —

PHARMACY
 2'-6" x 19'-8" = 49.2 Sq Ft

GARDEN CENTER
 2'-6" x 28'-0" = 72.8 Sq Ft

507.12 SQUARE FEET TOTAL

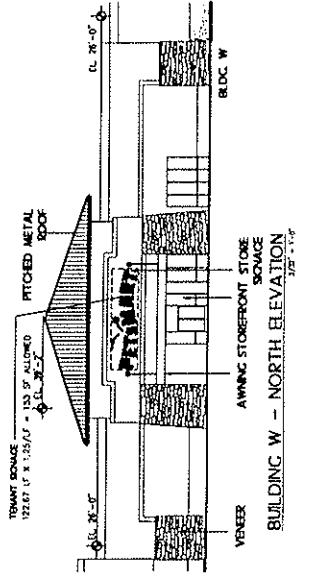
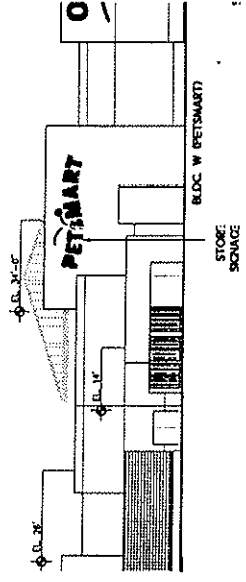
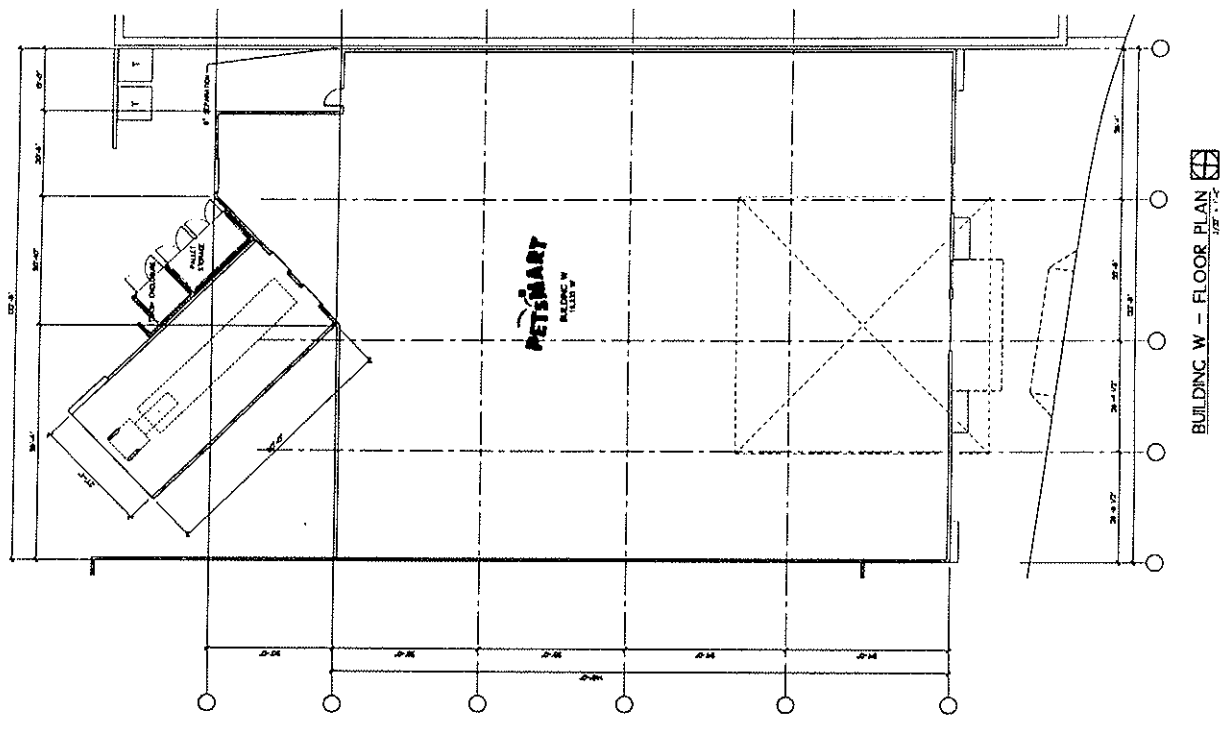
464'-0"



Entire Front Elevation (North)

Sheet: Target-1
Scale: NTS

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PROJECT NAME	DESERT RIDGE MARKETPLACE
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DESIGNED BY	J. GIBSON
CHECKED BY	J. GIBSON
DATE	4/1/00
SCALE	AS SHOWN
PROJECT NO.	00000000
PROJECT NAME	DESERT RIDGE MARKETPLACE
DATE	4/1/00
DESIGNED BY	J. GIBSON
CHECKED BY	J. GIBSON
DATE	4/1/00
SCALE	AS SHOWN

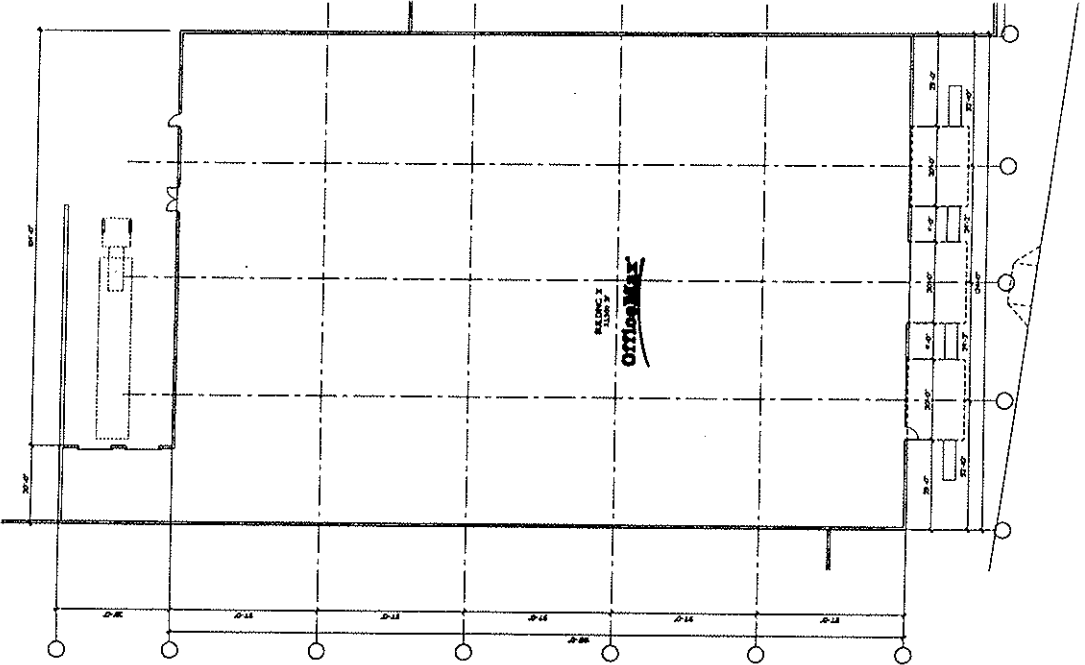


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BY	JL
CHECKED	JL
APPROVED	JL
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PHASE	ARCHITECTURAL
LOCATION	PHOENIX, ARIZONA
CLIENT	VESTAR DEVELOPMENT CO.

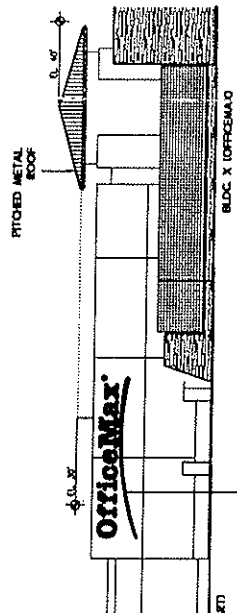
SCPA
STRUCTURE AND PLANNING

Vestar Development Co.
Phoenix, Arizona

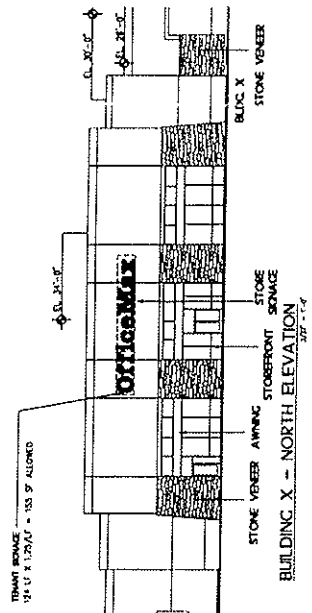
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DESERT RIDGE MARKETPLACE



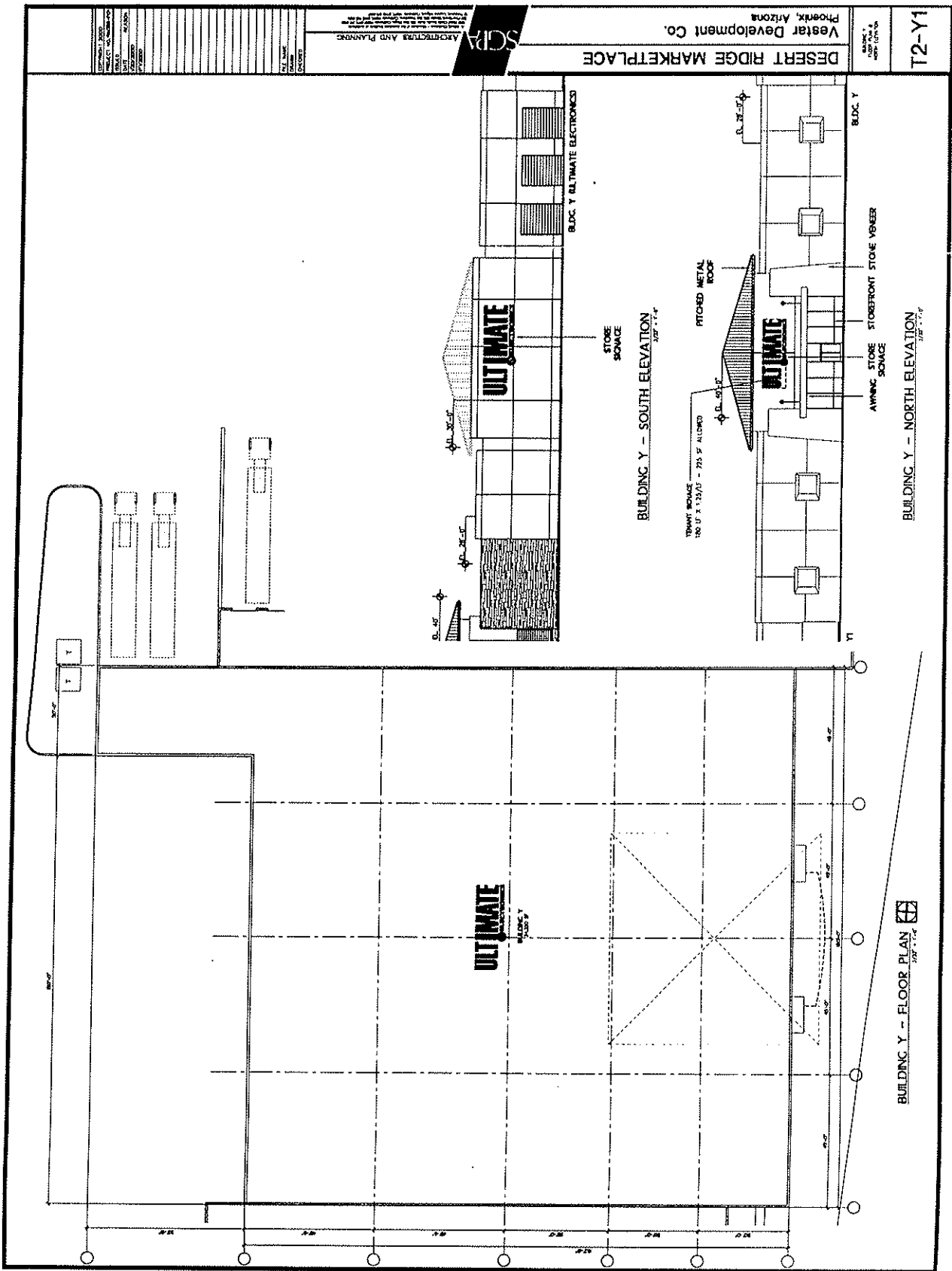
BUILDING X - FLOOR PLAN
12/12/11



BUILDING X - SOUTH ELEVATION
12/12/11

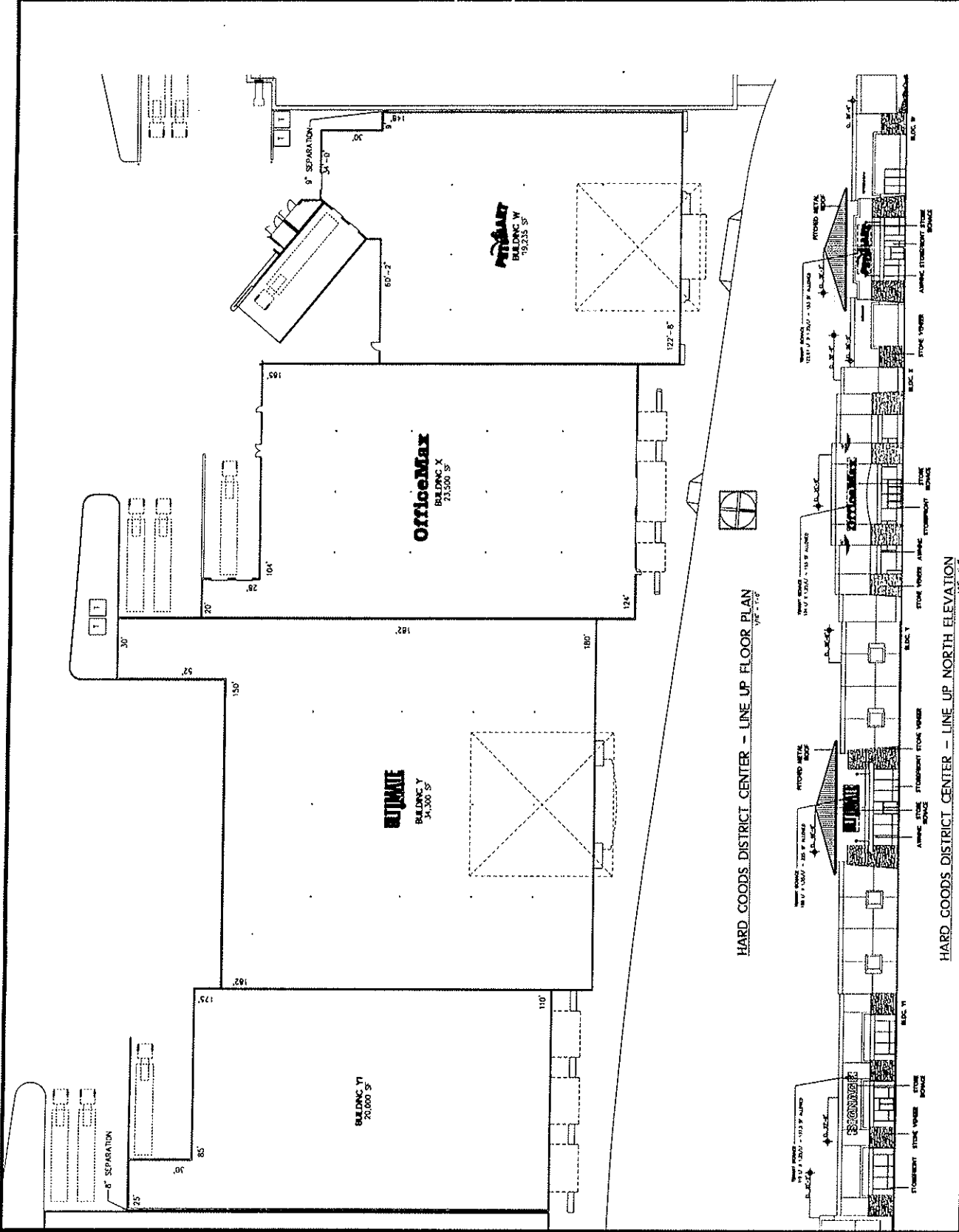


BUILDING X - NORTH ELEVATION
12/12/11



DESERT RIDGE MARKETPLACE
 Vestar Development Co.
 Phoenix, Arizona
SCPA ARCHITECTURE AND PLANNING
 PROJECT NO. 03-001
 DATE 03/2000
 SHEET NO. T2-Y1
 SCALE 1/8" = 1'-0"

12-1

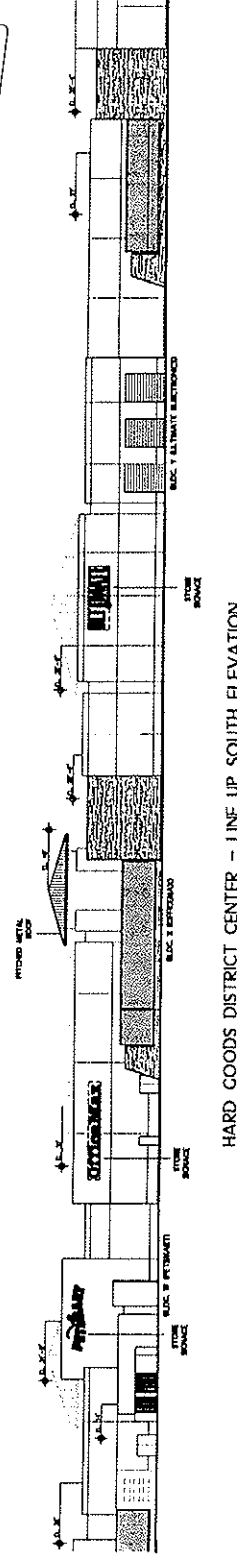
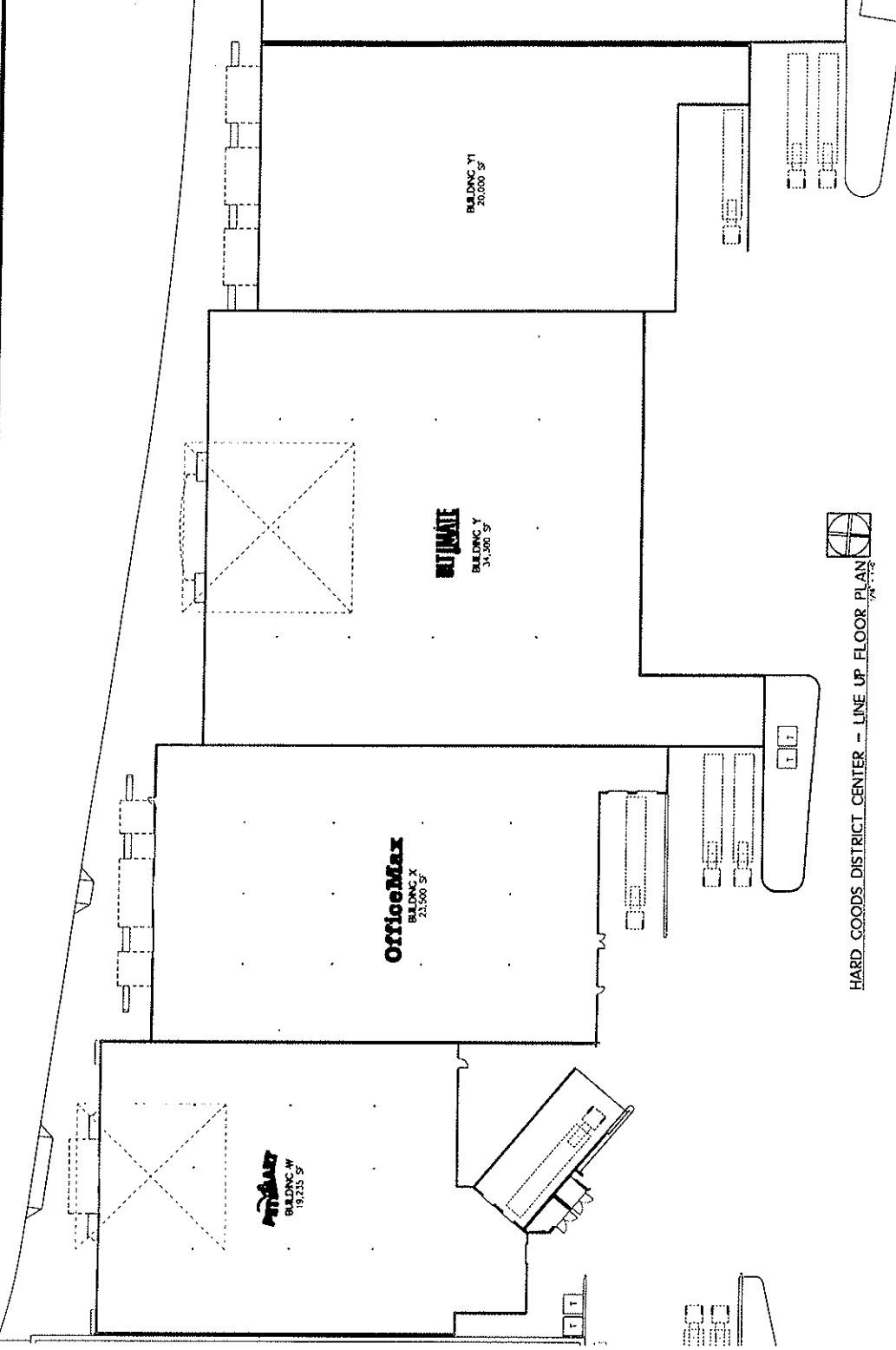


DATE	12/15/00
PROJECT	DESERT RIDGE MARKET PLACE
CLIENT	VESTAR DEVELOPMENT CO.
ARCHITECT	SCIP ARCHITECTURE AND PLANNING
SCALE	AS SHOWN
DRAWN	...
CHECKED	...

SCIP ARCHITECTURE AND PLANNING
 1000 N. CENTRAL AVENUE, SUITE 100
 PHOENIX, ARIZONA 85004
 PHONE: (602) 254-1100
 FAX: (602) 254-1101
 WWW.SCIPARCH.COM

DESERT RIDGE MARKETPLACE
 Vestar Development Co.
 Phoenix, Arizona

L2-1A
 1000 N. CENTRAL AVENUE, SUITE 100
 PHOENIX, ARIZONA 85004
 PHONE: (602) 254-1100
 FAX: (602) 254-1101
 WWW.SCIPARCH.COM



Desert Ridge Marketplace

Major Retail Soft Goods District - Building Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT MAX.	SIZE	ILLUMINATION	MATERIALS
Tenant Signs for occupancy greater than 50000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Unrestricted Letter Height	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
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3) Signage placed on the rear elevation (north) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

Building Sign Criteria

Soft Goods / Fashion District

All tenant building signage shall conform to specifications established in the "Comprehensive Sign Plan" for Desert Ridge Marketplace. Specifications include size, placement, methods of illumination, colors, and materials that are utilized in the construction and installation of tenant's signage.

Sign Area: The maximum aggregate sign area per building elevation for each tenant within this district shall be calculated by multiplying one and one-quarter (1.25) times the length of the storefront and/or elevation occupied by the tenant.

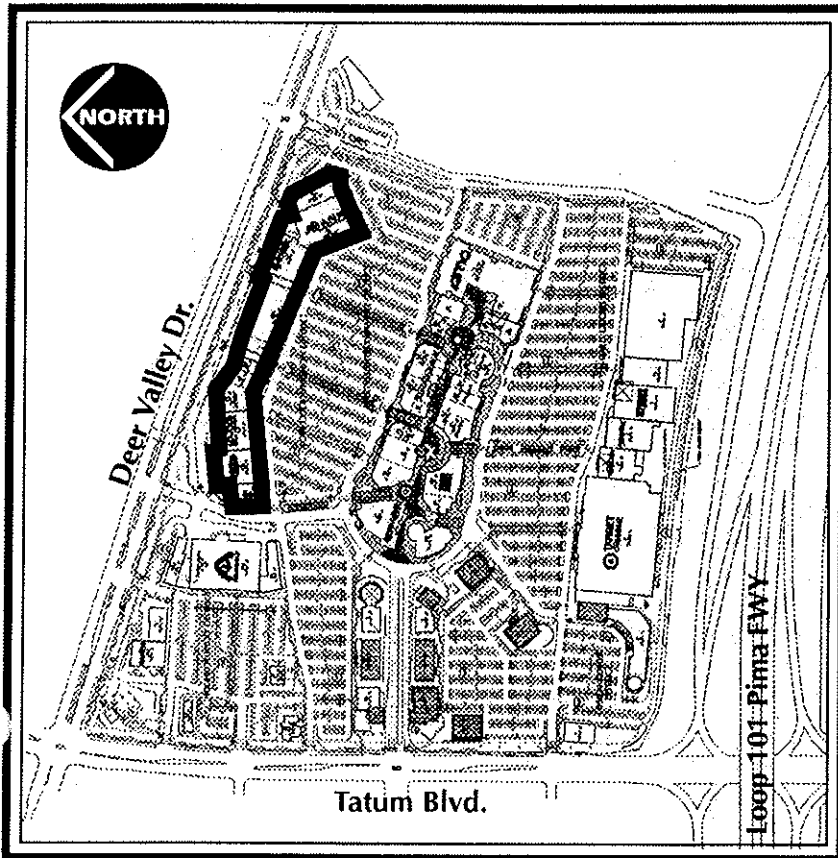
Placement: Each tenant may place its signage on wall surfaces specifically designated for such use. No sign element shall be placed closer to the roofline than one-half (1/2) the vertical dimension of the sign nor shall any sign be permitted to break the silhouette of the building upon which it is located unless specifically approved as part of the Comprehensive Sign Plan.

Typestyle: Tenant building signage shall consist of individual letters and logos consistent with tenant's corporate identity program. Sign cabinets may be permitted subject to developer's sole and discretionary review.

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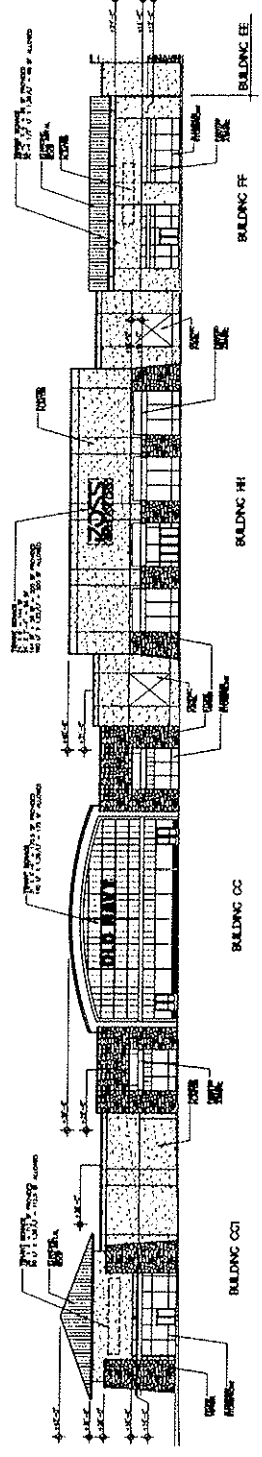
Length of Sign on Wall Surface: In no event shall any sign exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed.



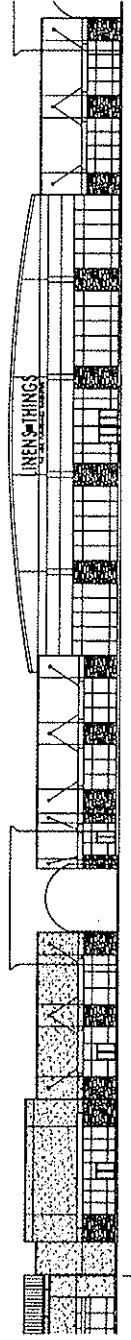
NOTE: Signage placed on the rear elevation (north) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

99
V 2.0 – April, 2000

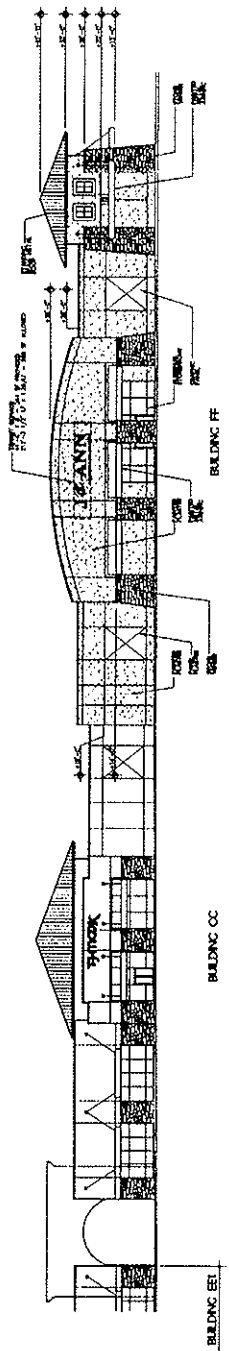
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DRAWN BY	SCPA ARCHITECTURE AND PLANNING
CHECKED BY	SCPA ARCHITECTURE AND PLANNING
APPROVED BY	SCPA ARCHITECTURE AND PLANNING



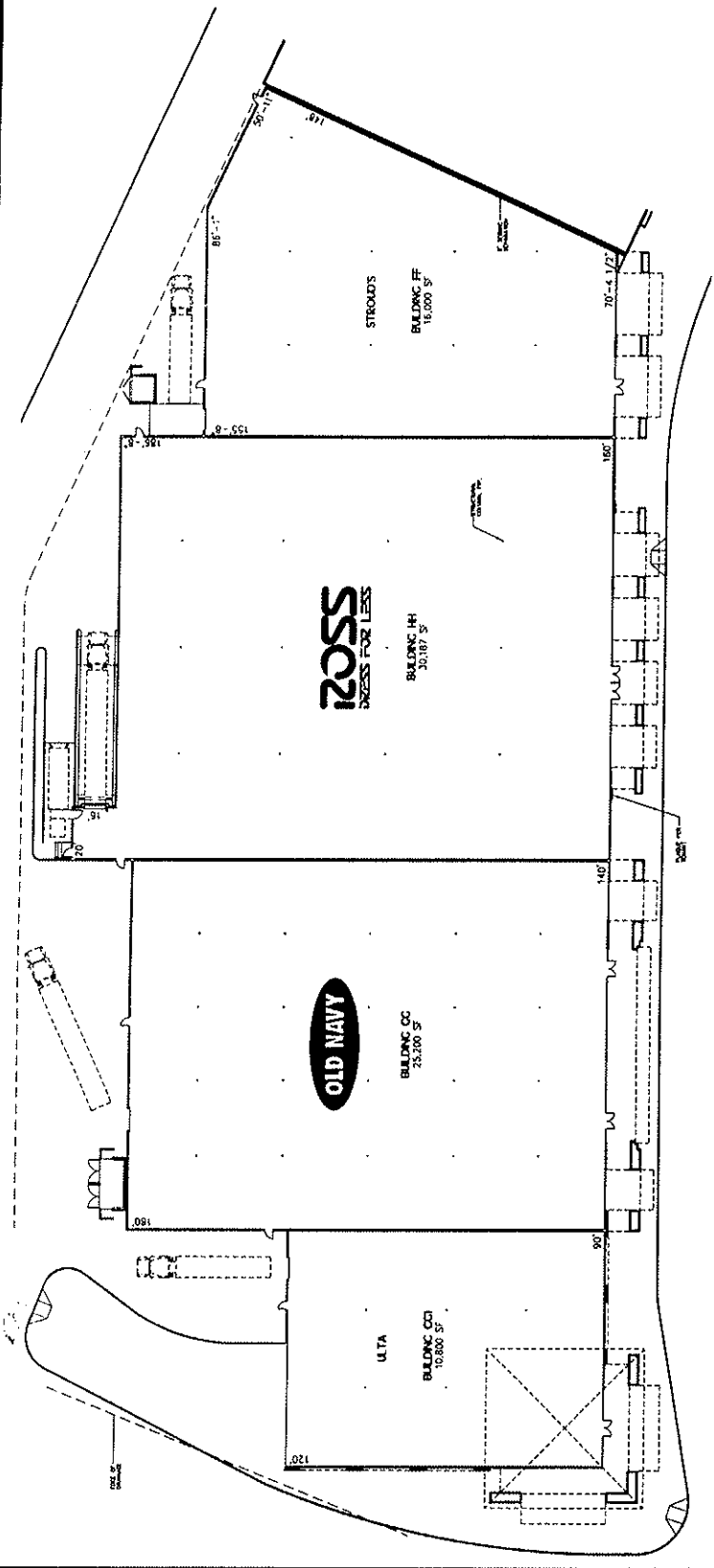
SOFT GOODS DISTRICT WEST - NEIGHBORHOOD SOUTH ELEVATION
 1/8" = 1'-0"



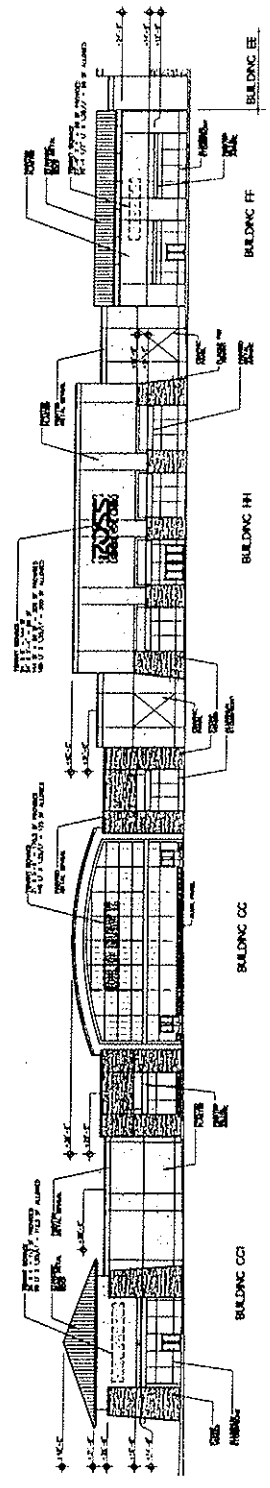
SOFT GOODS DISTRICT CENTER - NEIGHBORHOOD SOUTH ELEVATION
 1/8" = 1'-0"



SOFT GOODS DISTRICT EAST - NEIGHBORHOOD SOUTHWEST ELEVATION
 1/8" = 1'-0"



SOFT GOODS DISTRICT WEST - LINE UP FLOOR PLAN
 100-0000-100

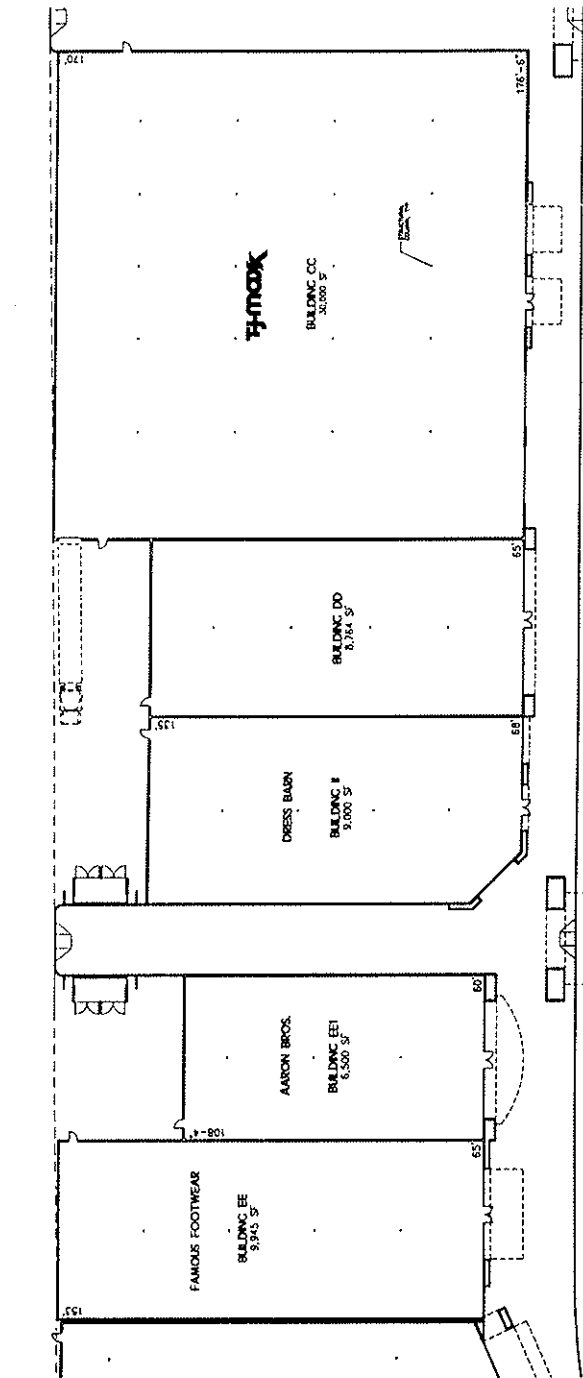


SOFT GOODS DISTRICT WEST - LINE UP SOUTH ELEVATION
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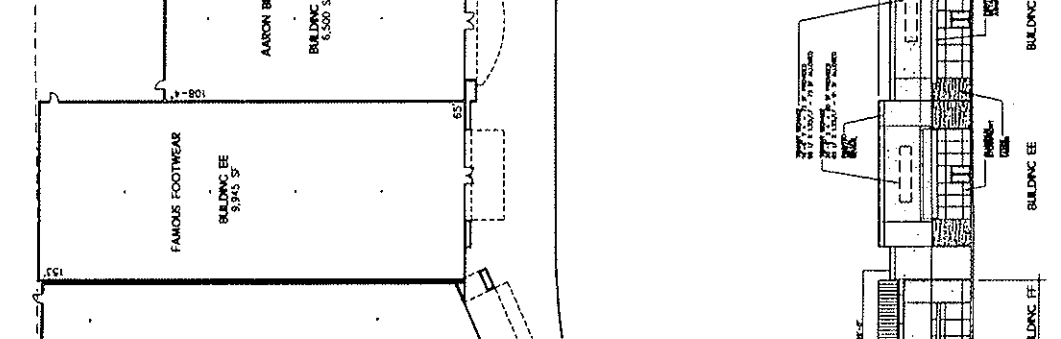
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DRAWN BY: J. B. HARRIS
CHECKED BY: J. B. HARRIS
DATE: 01/01/00
PROJECT NO. 0000000000
DATE: 01/01/00
SCALE: 1/8" = 1'-0"
DRAWN BY: J. B. HARRIS
CHECKED BY: J. B. HARRIS
DATE: 01/01/00

SCPA ARCHITECTURE AND PLANNING
Phoenix, Arizona
VESTAR Development Co.
DESERT RIDGE MARKET PLACE

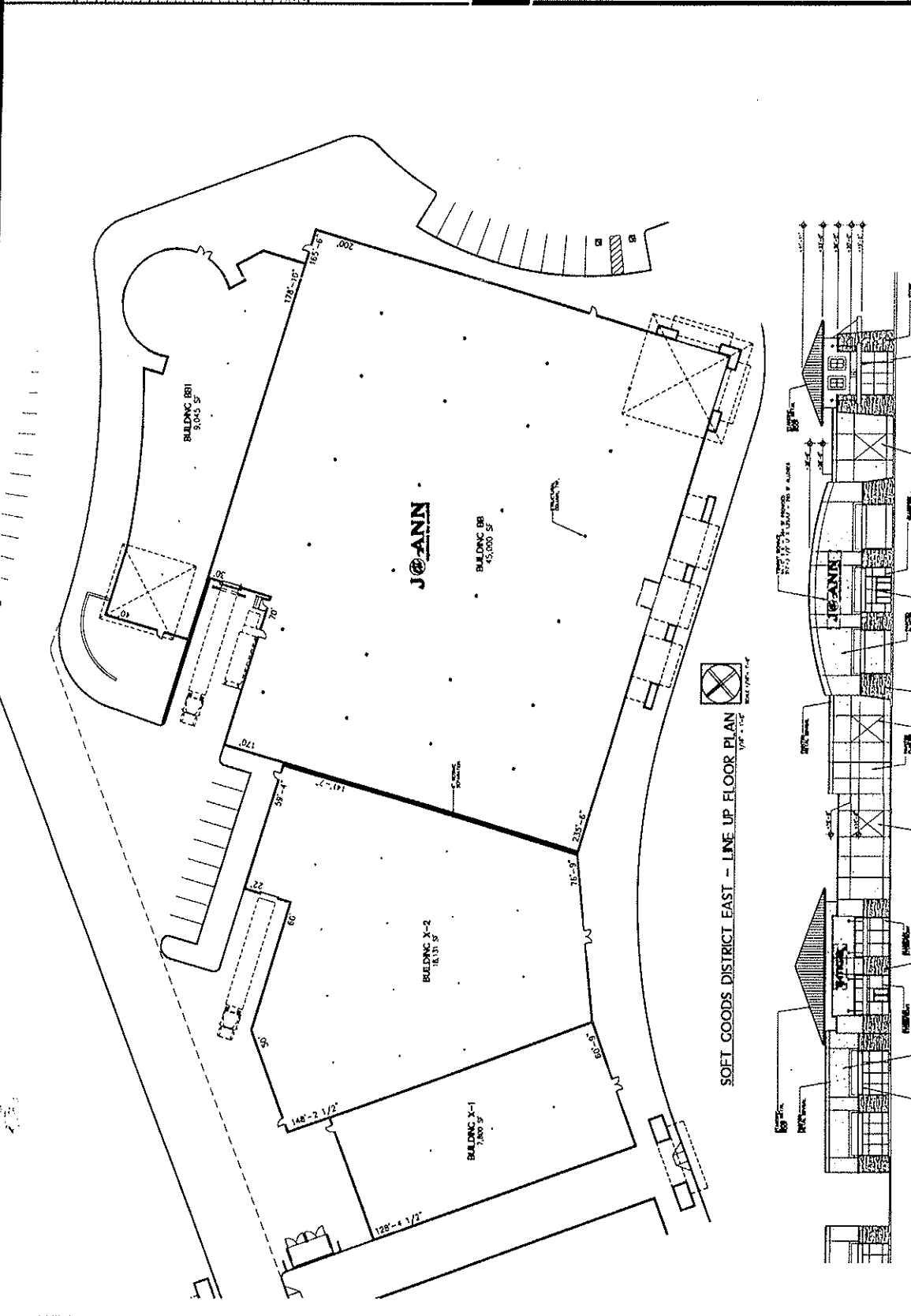
L3-2

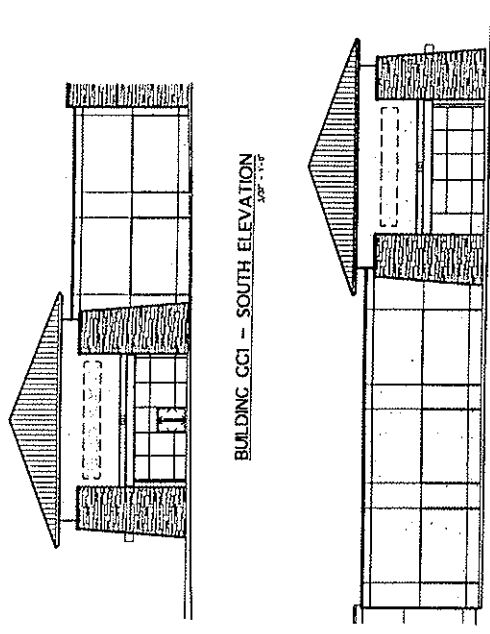


SOFT GOODS DISTRICT CENTER - LINE UP FLOOR PLAN
V2 - 11/2

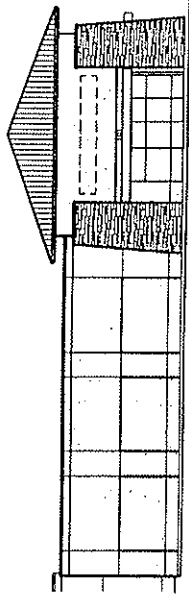


SOFT GOODS DISTRICT CENTER - LINE UP SOUTH ELEVATION
V2 - 11/2



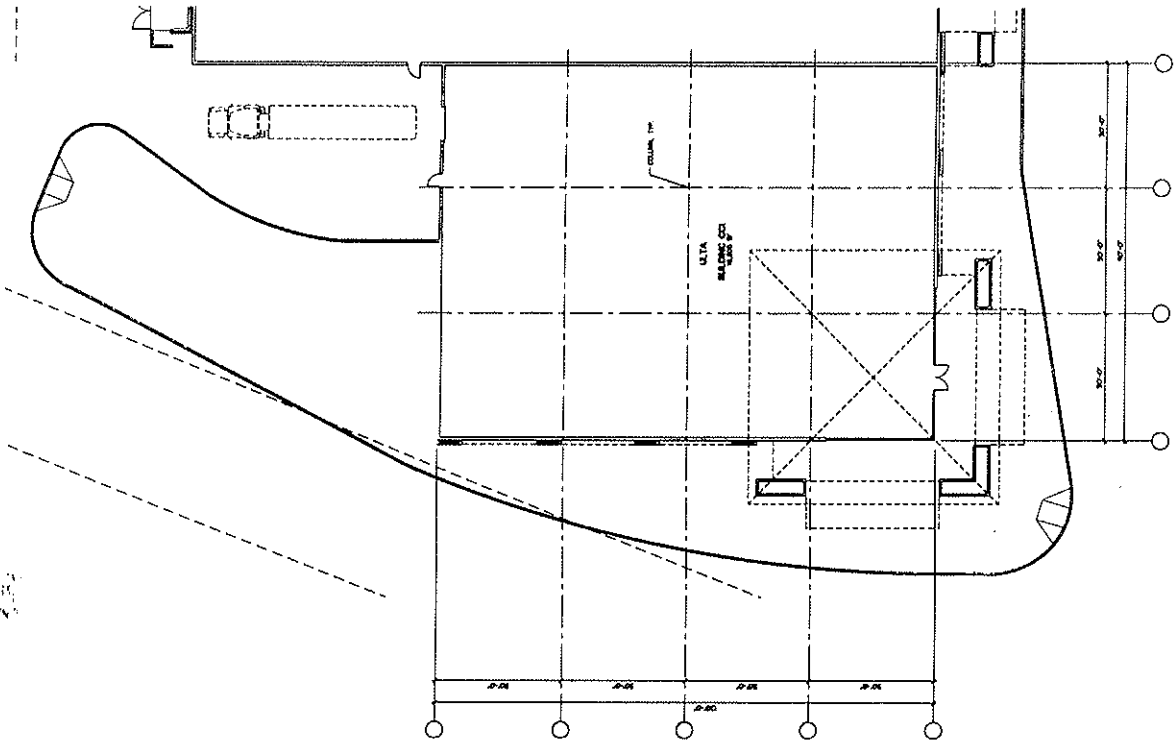


BUILDING_GG1 - SOUTH ELEVATION
1/2\"/>



BUILDING_GG1 - WEST ELEVATION
1/2\"/>

BUILDING_GG1 - NORTH ELEVATION
1/2\"/>



BUILDING_GG1 - FLOOR PLAN
1/2\"/>

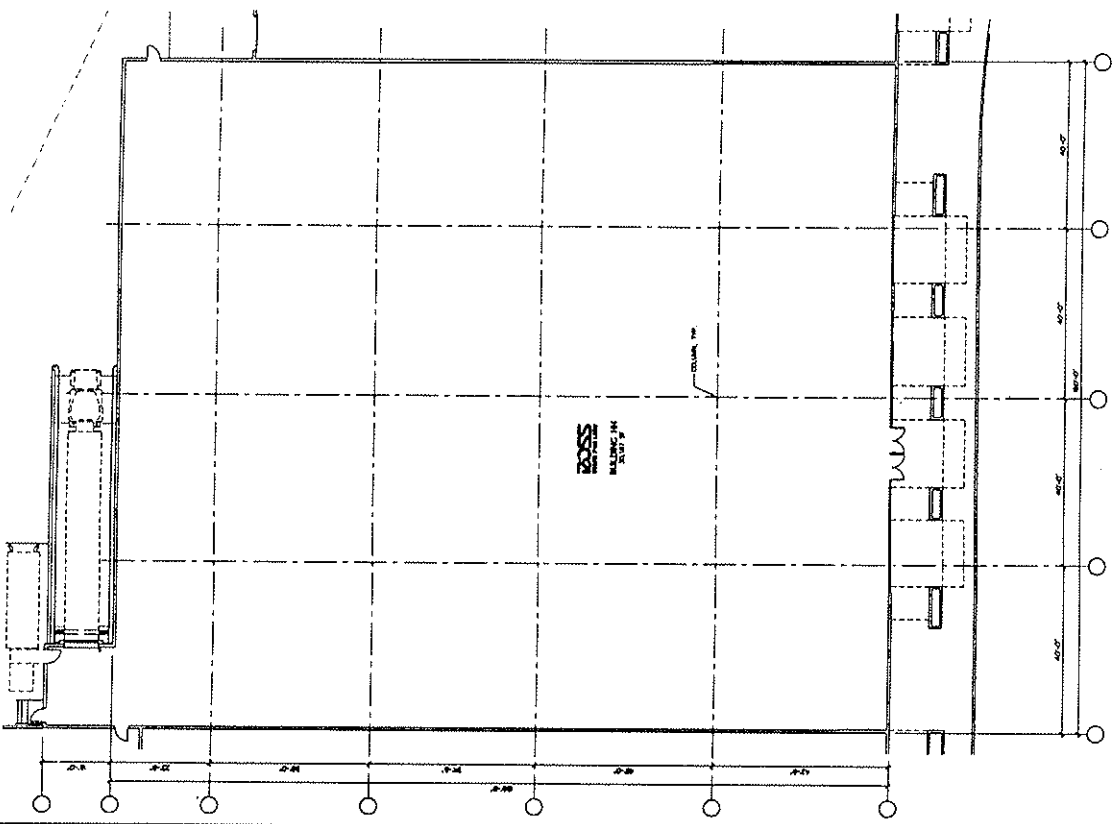
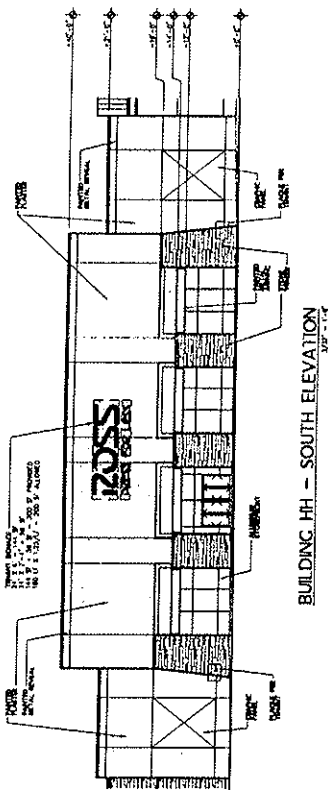
HH-1

DESIGN: 10/11/00
DATE: 10/11/00

DESERT RIDGE MARKETPLACE
Phoenix, Arizona
Yestar Development Co.

SCPA
ARCHITECTURE AND PLANNING

NO.	DESCRIPTION
1	REVISION
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION
8	REVISION
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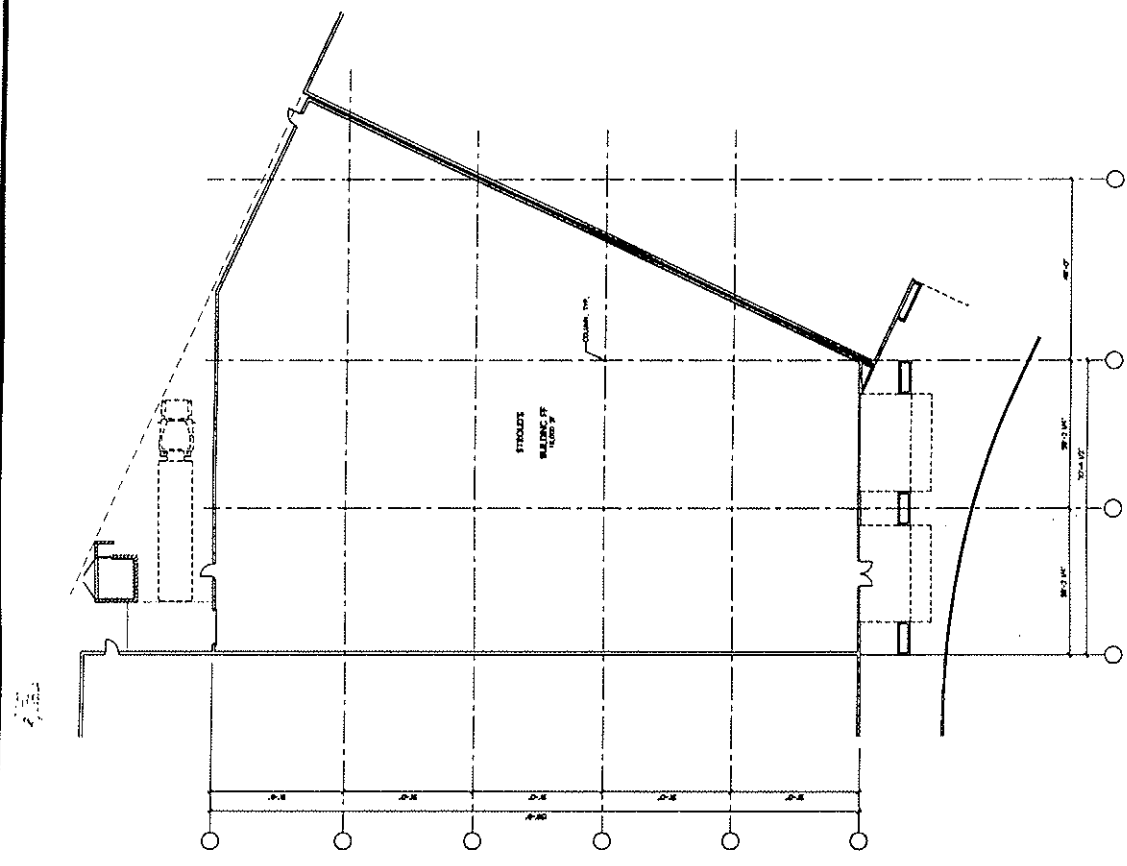
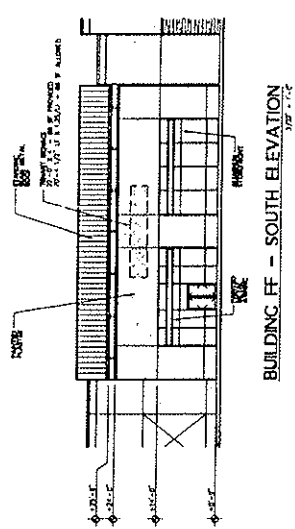
BUILDING HH - FLOOR PLAN

T-FF

Desert Ridge Market Place
Vestar Development Co.
Phoenix, Arizona

SCPA
ARCHITECTURE AND PLANNING

DATE:	12/1/99
DESIGNED BY:	SCPA
CHECKED BY:	SCPA
DATE:	
DESIGNED BY:	
CHECKED BY:	
DATE:	
DESIGNED BY:	
CHECKED BY:	
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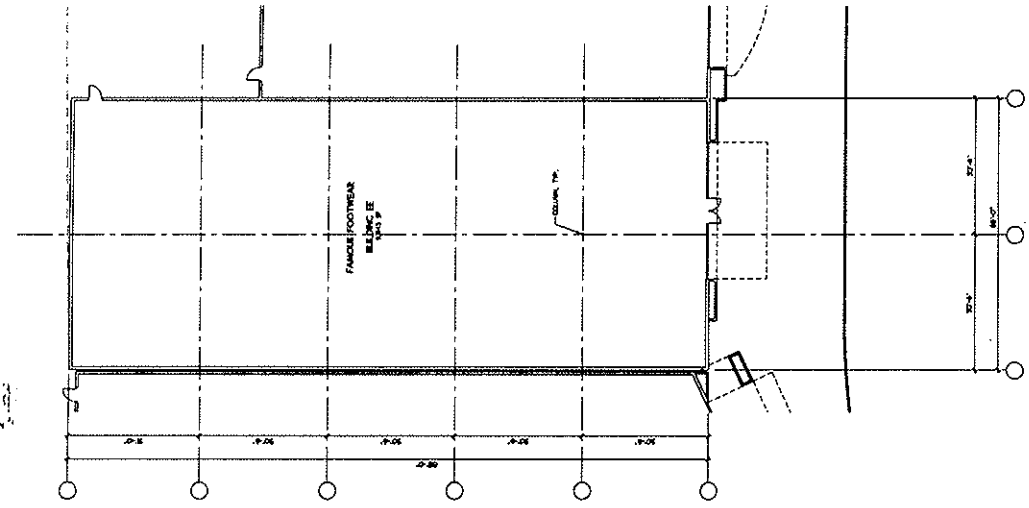
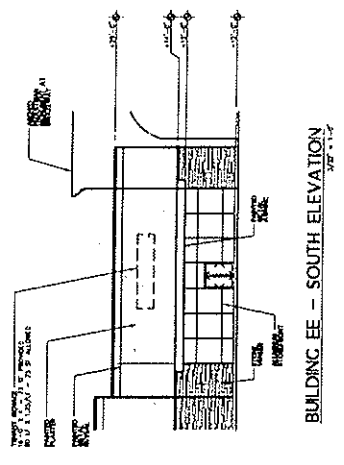
SCIPA
ARCHITECTURE AND PLANNING

Vestar Development Co.
Phoenix, Arizona

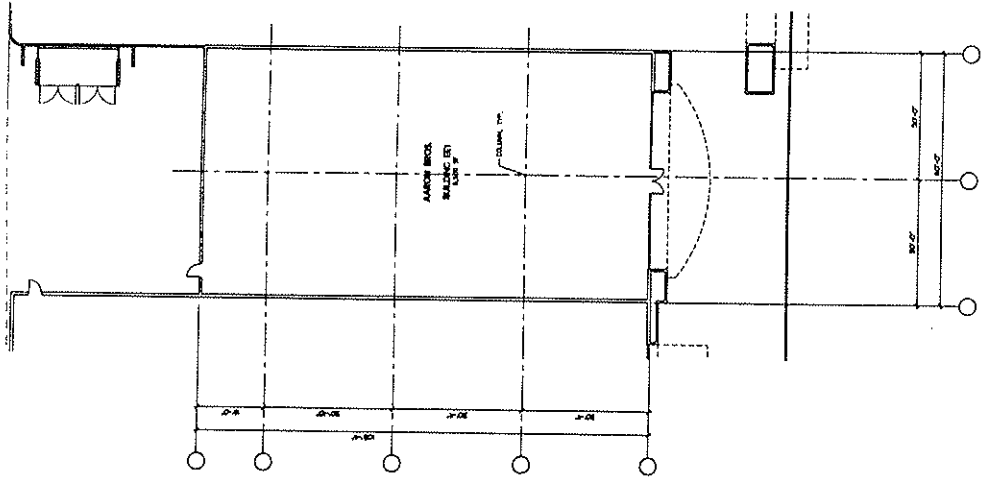
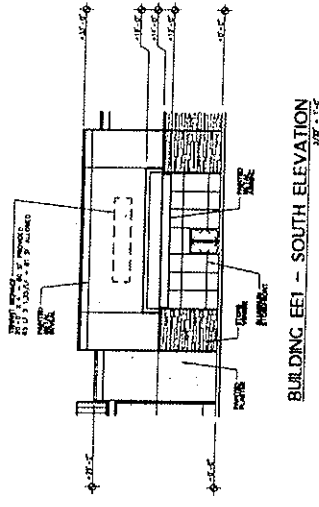
DESERT RIDGE MARKETPLACE

T-EE

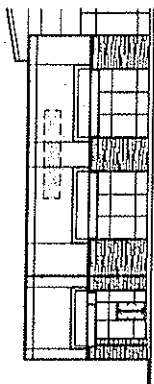
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DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES
SCALE: AS SHOWN
SHEET: T-EE



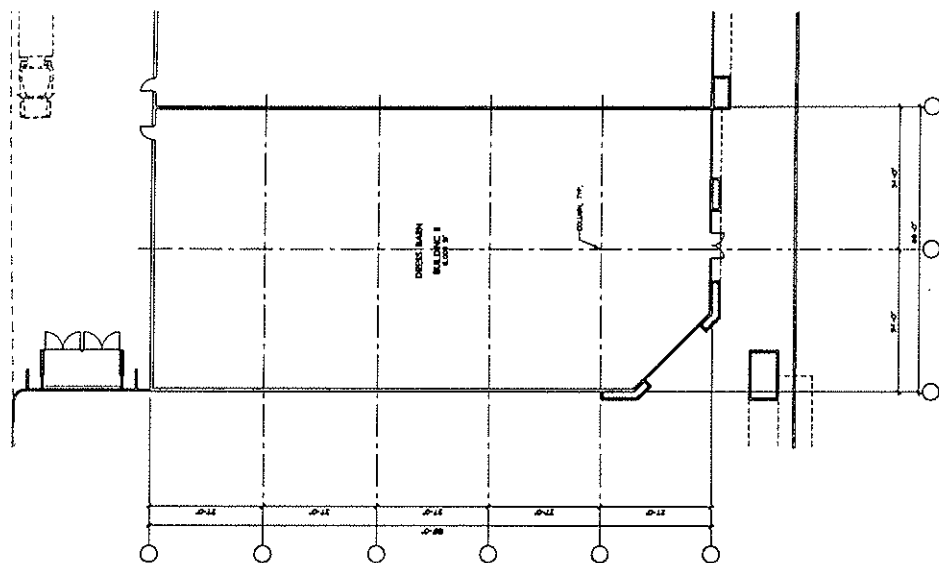
NO.	DATE	REVISION



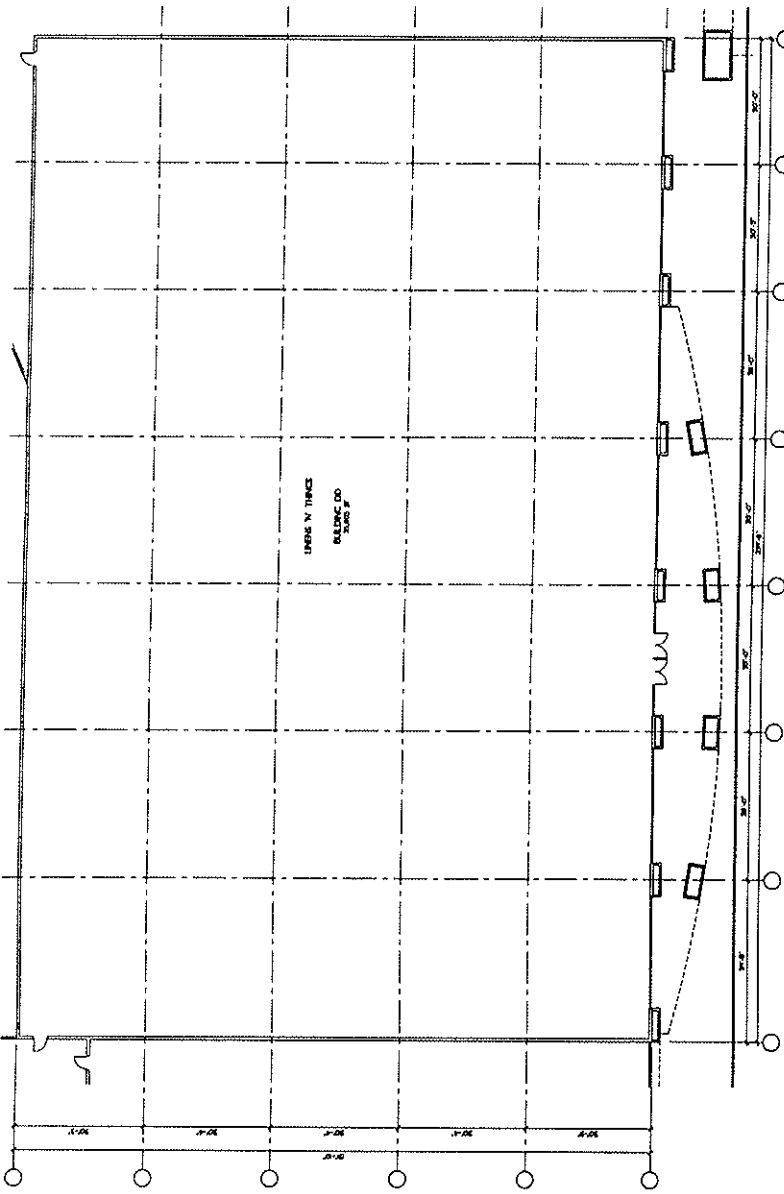
DATE: 04/01/00
PROJECT NO: 00-0000
CLIENT: VESTAR
LOCATION: DESERT RIDGE MARKETPLACE
PHASE: ARCHITECTURE AND PLANNING
SCALE: AS SHOWN
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 04/01/00



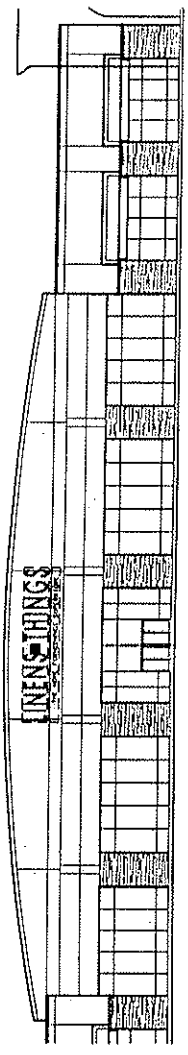
BUILDING II - SOUTH ELEVATION
APP. 11-12



BUILDING II - FLOOR PLAN
APP. 11-12

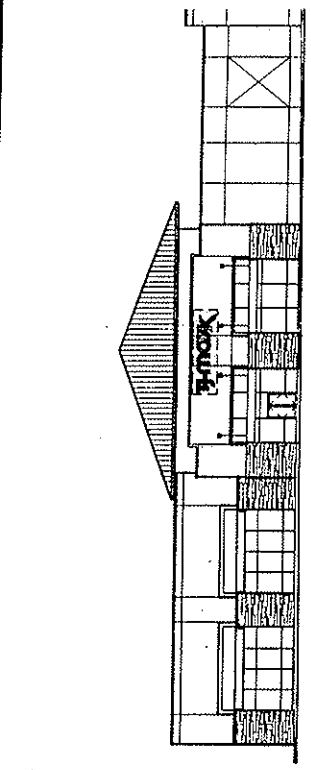


BUILDING DD - FLOOR PLAN
 1/2" = 1'-0"

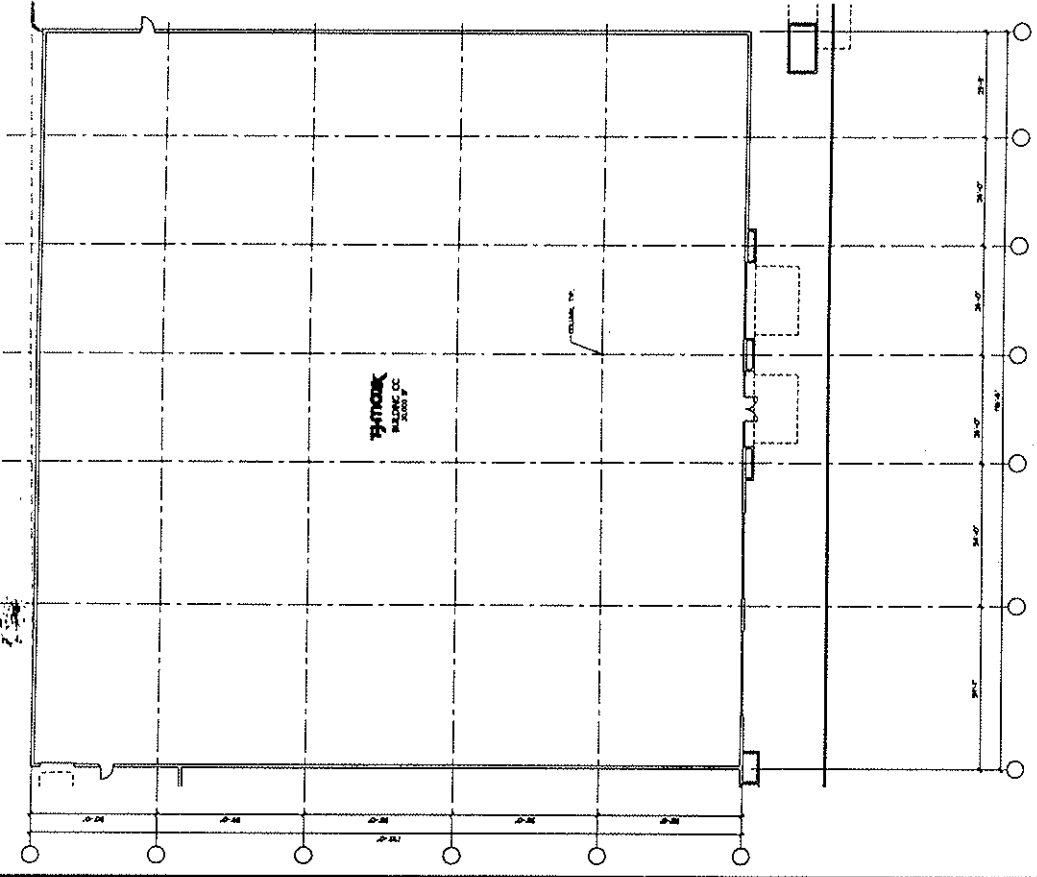


BUILDING DD - SOUTH ELEVATION
 1/2" = 1'-0"

PROJECT NO.	00-0000
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SCALE	AS SHOWN
DRAWN BY	J. B. BROWN
CHECKED BY	J. B. BROWN
DATE	04/10/00
PROJECT NO.	00-0000
DATE	04/10/00
SCALE	AS SHOWN
DRAWN BY	J. B. BROWN
CHECKED BY	J. B. BROWN
DATE	04/10/00
PROJECT NO.	00-0000
DATE	04/10/00
SCALE	AS SHOWN
DRAWN BY	J. B. BROWN
CHECKED BY	J. B. BROWN
DATE	04/10/00



BUILDING CC - SOUTH ELEVATION
1/2" = 1'-0"



Market
BUILDING CC
2000 P



BUILDING CC - FLOOR PLAN
1/2" = 1'-0"

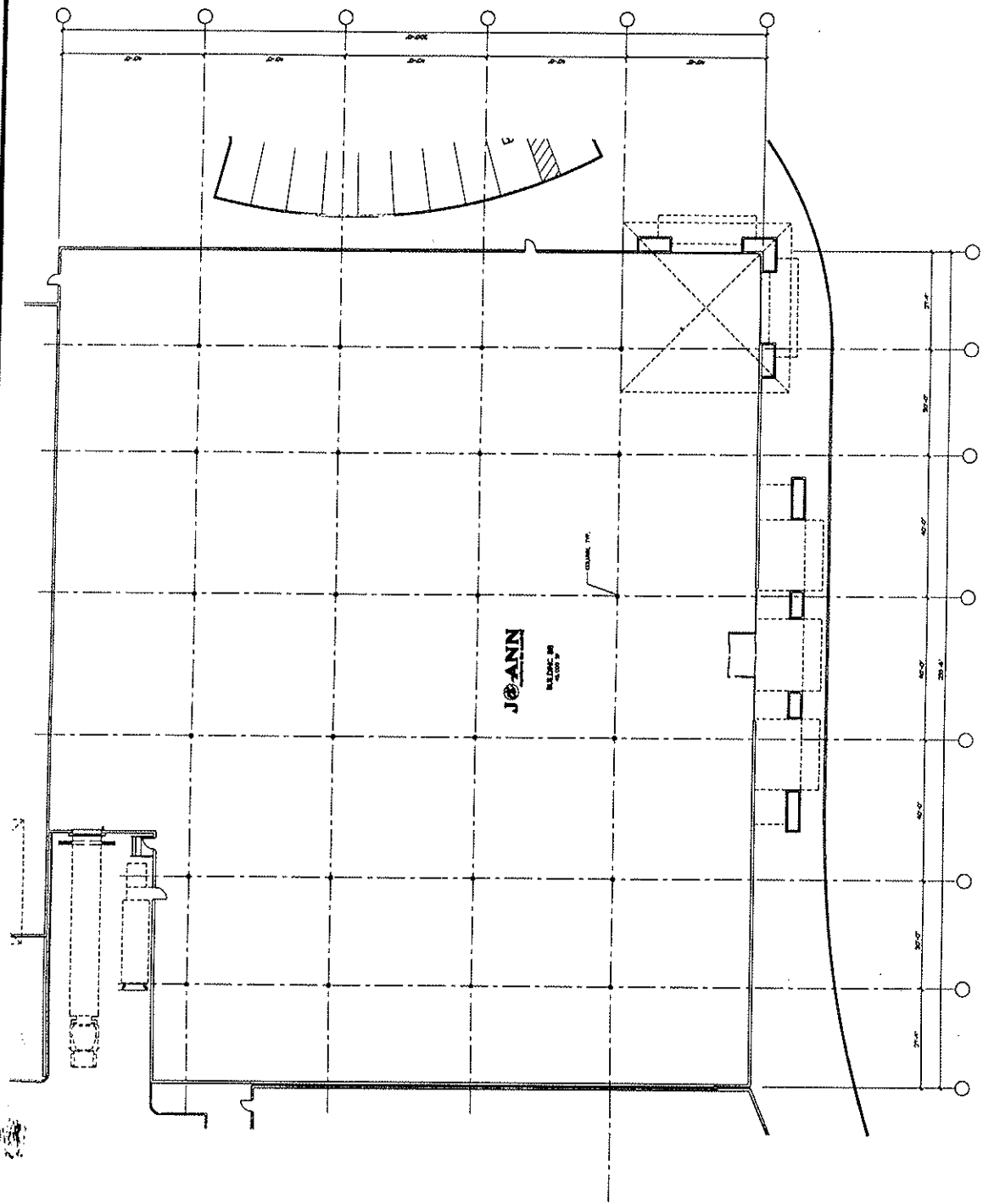


DATE	12/15/99
PROJECT NO.	12445
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CLIENT	VESTAR DEVELOPMENT CO.
SCALE	AS SHOWN
BY	SCOTT D. SMITH
CHECKED	
DATE	
PROJECT NO.	
PROJECT NAME	
CLIENT	
SCALE	
BY	
CHECKED	
DATE	

SCPA ARCHITECTURAL AND PLANNING
PHOENIX, ARIZONA

DESERT RIDGE MARKETPLACE
Vestar Development Co.
Phoenix, Arizona

T-BB
BY: SCOTT D. SMITH
DATE: 12/15/99



BUILDING BB - FLOOR PLAN
1/2" = 1'-0"

T-BB

DATE: 3/31/00
DRAWN BY: [blank]
CHECKED BY: [blank]

PROJECT NO: 001234

Veststar Development Co.
Phoenix, Arizona

DESERT RIDGE MARKETPLACE

SCIP ARCHITECTURE AND PLANNING

1234567890



DATE: 3/31/00
DRAWN BY: [blank]
CHECKED BY: [blank]

PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]

TOTAL SHEETS: [blank]

DATE: 3/31/00

DRAWN BY: [blank]

CHECKED BY: [blank]

PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]

TOTAL SHEETS: [blank]

DATE: 3/31/00

DRAWN BY: [blank]

CHECKED BY: [blank]

PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]

TOTAL SHEETS: [blank]

DATE: 3/31/00

DRAWN BY: [blank]

CHECKED BY: [blank]

PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]

TOTAL SHEETS: [blank]

DATE: 3/31/00

DRAWN BY: [blank]

CHECKED BY: [blank]

PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]

TOTAL SHEETS: [blank]

DATE: 3/31/00

DRAWN BY: [blank]

CHECKED BY: [blank]

PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]

TOTAL SHEETS: [blank]

DATE: 3/31/00

DRAWN BY: [blank]

CHECKED BY: [blank]

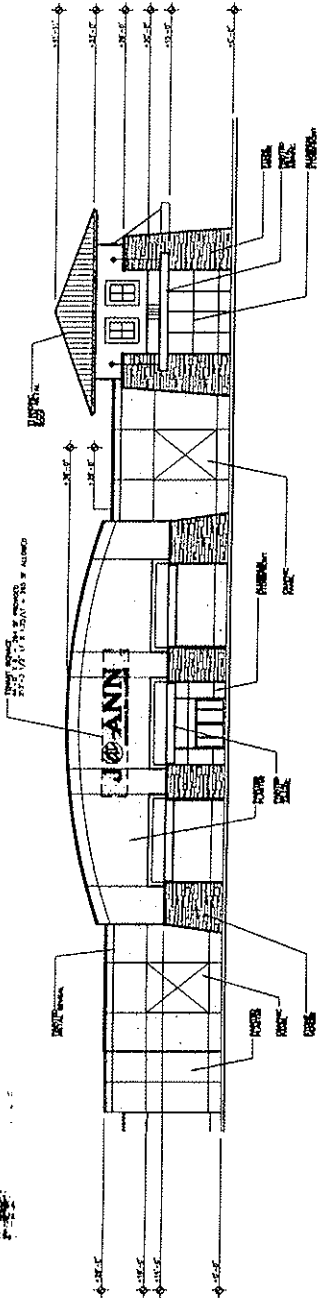
PROJECT NO: 001234

CLIENT: [blank]

CONTRACT NO: [blank]

SCALE: [blank]

SHEET NO: [blank]



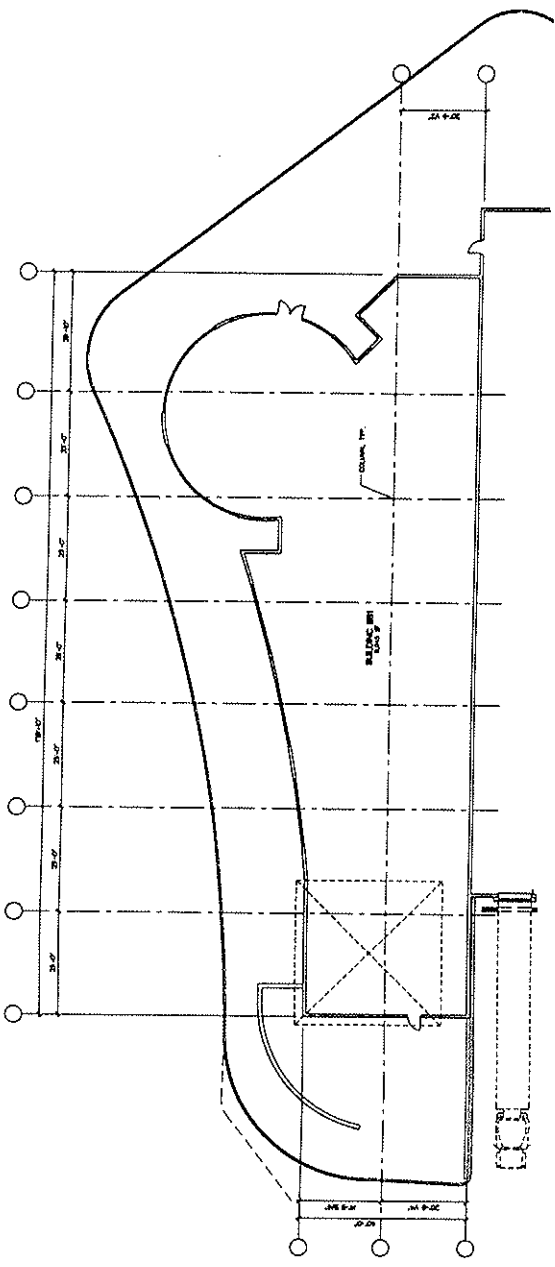
BUILDING BB -- WEST ELEVATION
SHEET T-BB

DATE	12/11/00
BY	SCG
CHECKED	SCG
APPROVED	SCG
SCALE	AS SHOWN
SHEET NO.	115
TOTAL SHEETS	118
PROJECT NO.	0000
PROJECT NAME	DESERT RIDGE MARKET PLACE
OWNER	VESTAR DEVELOPMENT CO.
ARCHITECT	SCG ARCHITECTURE AND PLANNING
PHYSICAL ADDRESS	1000 WEST WASHINGTON AVENUE, SUITE 200, PHOENIX, ARIZONA 85007
PHONE	(602) 998-8888
FAX	(602) 998-8889
WEBSITE	WWW.SCGARCHITECTS.COM

SCG ARCHITECTURE AND PLANNING
PHOENIX, ARIZONA

DESERT RIDGE MARKET PLACE
Vestar Development Co.
Phoenix, Arizona

T-BB1



BUILDING BB1 - FLOOR PLAN
3/8" = 1'-0"

BUILDING BB1 - SOUTH ELEVATION
3/8" = 1'-0"