



3601 South 2700 West St. West Valley City, Utah 84119

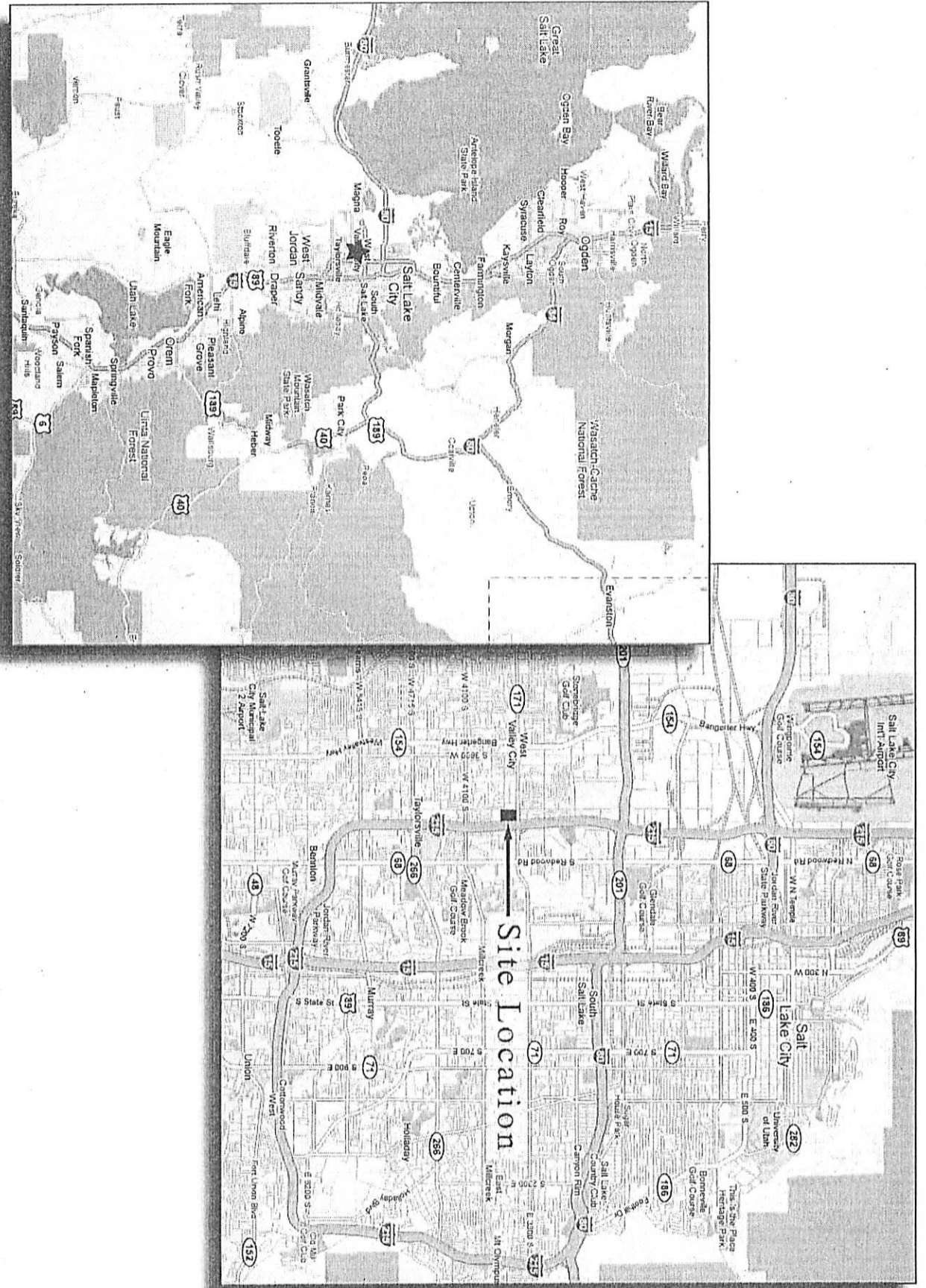
TENANT DESIGN CRITERIA

January 2009

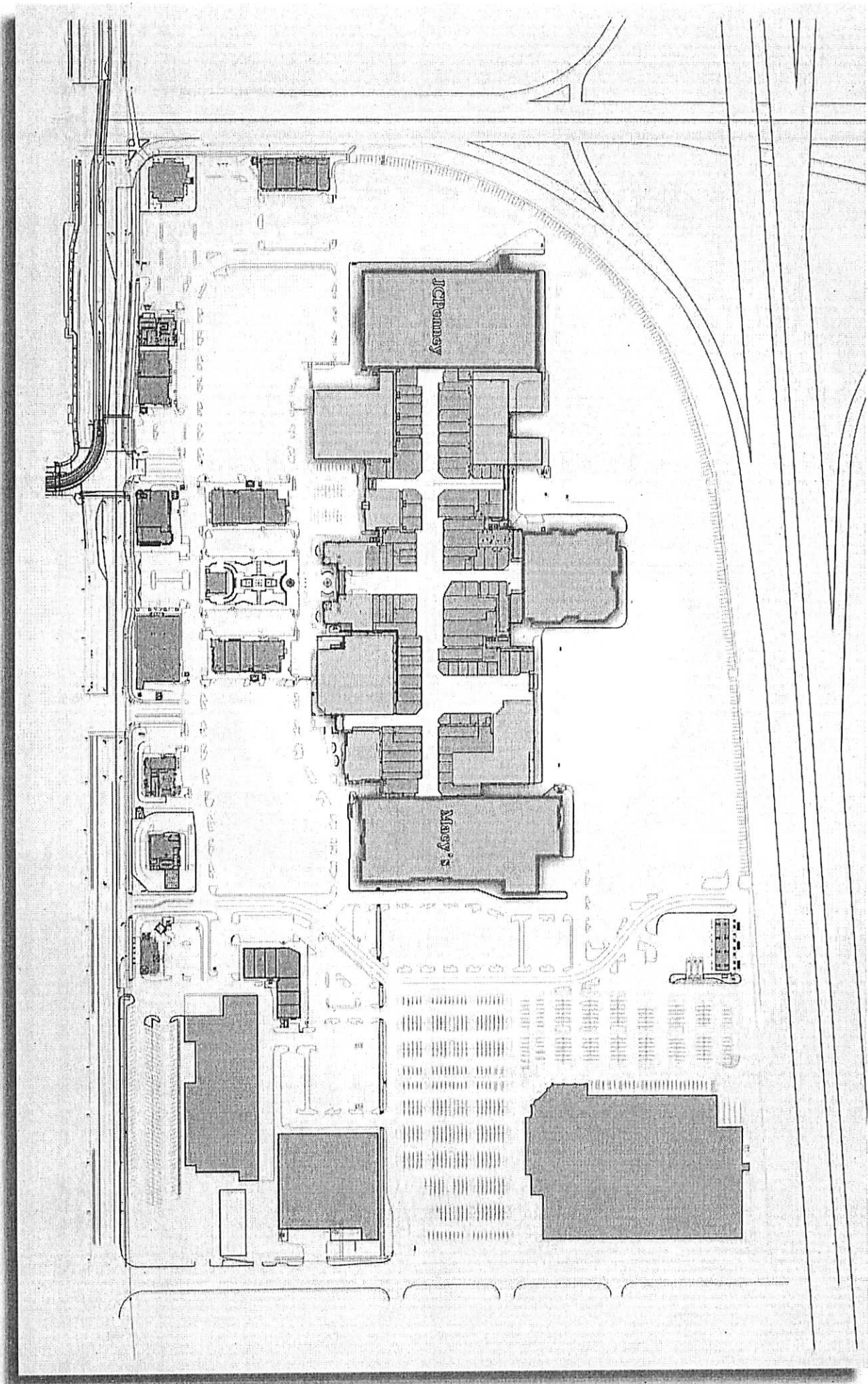
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# LOCATION MAPS



# SITE PLAN

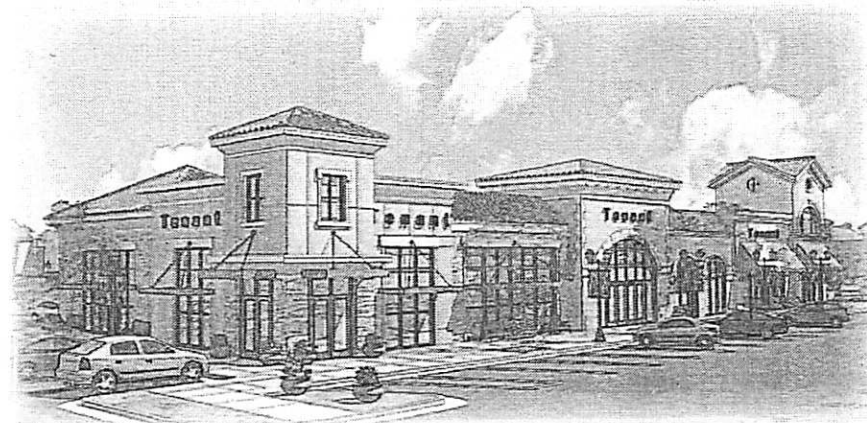


# INTRODUCTION

Valley Fair Mall is undergoing a new rebirth consisting of new exterior tenants, a new town center, new mid-box tenants, a new food court and a new mall interior. The design intent is to create the atmosphere of a shopping street. This will be a unique shopping destination for the Salt Lake City Area.

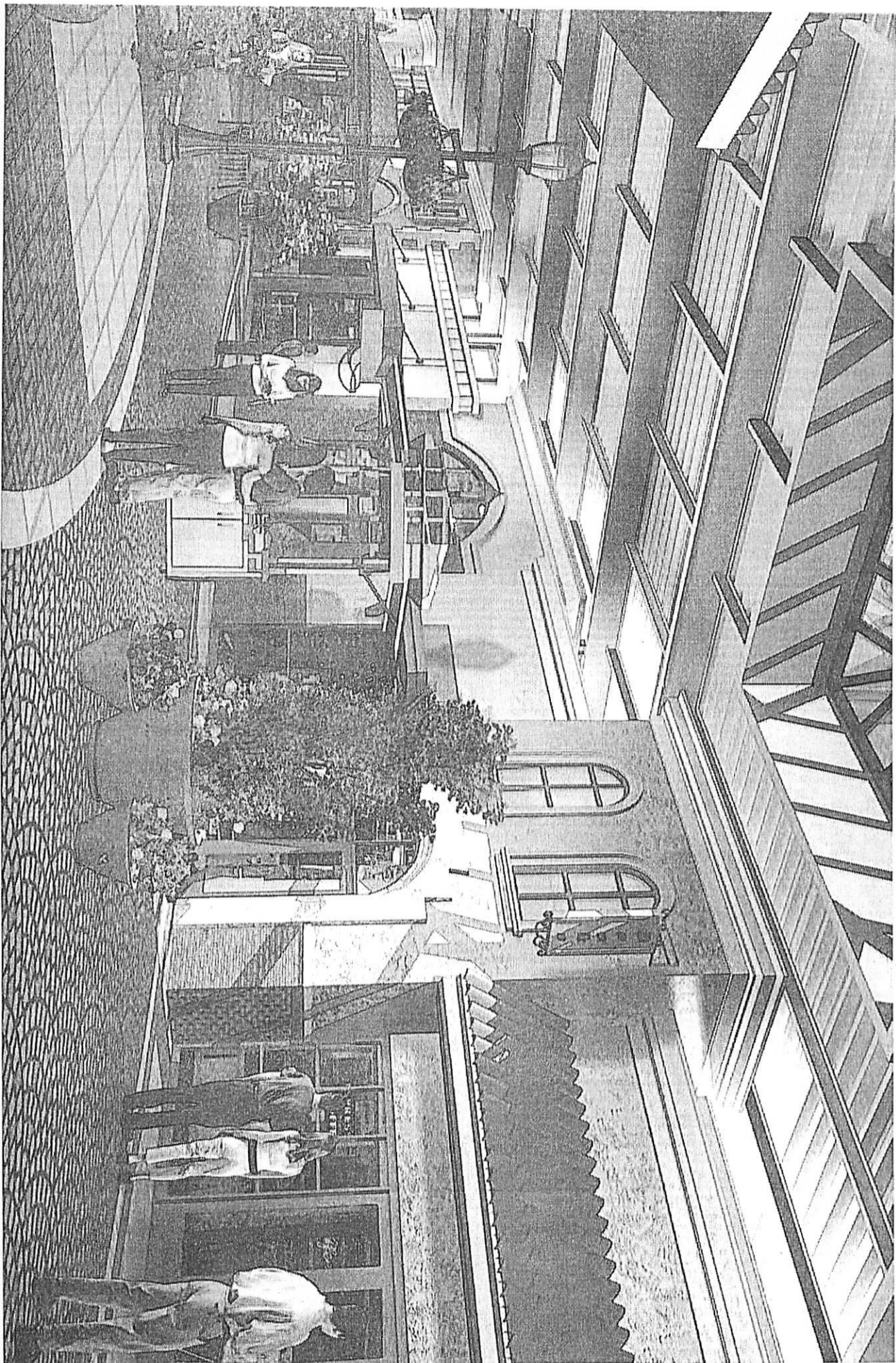
Valley Fair Mall is located at the very highly visible intersection of Interstate 215 and 3500 South in West Valley City, UT.

The enclosed mall will feature tenant storefronts with the look and feel of exterior tenant facades creating a true indoor/outdoor continuity. Tenants will construct their facades with typical exterior building materials and features. A base, middle and decorative top cornice will be required. Storefronts will feature typically smaller openings and a greater concentration on the design of show windows. Exterior type entry canopies and signage will be utilized to further enhance the look of the storefronts.



MALL DESIGN CONCEPT RENDERINGS



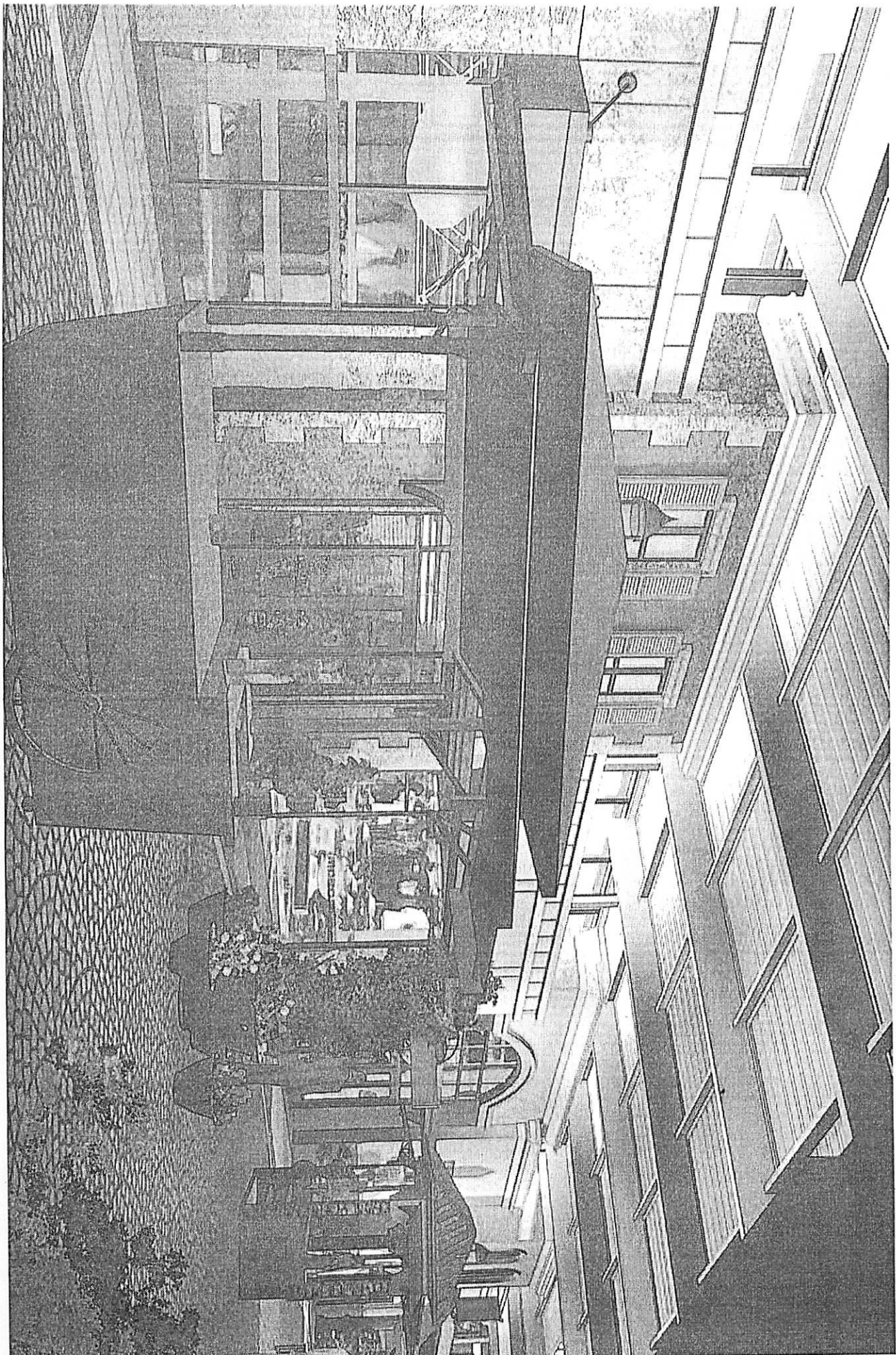


# MALL DESIGN CONCEPT RENDERINGS





MALL DESIGN CONCEPT RENDERINGS



# PROJECT DIRECTORY

## Mall Address

Valley Fair Mall Mgmt Office  
3601 South 2700 West Ste G128  
West Valley City, UT 84119  
Phone: 801-969-6211  
Fax: 801-969-6233

## Landlord's Tenant Coordination

Gary Hall  
C/O Valley Fair Mall Mgmt Office  
3601 South 2700 West Ste G128  
West Valley City, UT 84119  
Phone: 801 969-6211 Ext.113  
Fax: 801 969-6233

## Landlord's Architect

Glen Bailey  
Dennis D. Smith AIA Architects  
345 Riverview  
Suite 200  
Wichita, KS 67203  
Phone: 316 268-0230  
Fax: 316 268-0205

## Landlord's Structural Engineer

Matt Jackson / Paul Nelson  
Dunn Engineering  
380 West 800 South, Suite 100  
Salt Lake City, UT 84101  
Phone: 801 575-8877  
Fax: 801 575-8875

## Landlord's Mechanical, Electrical and Plumbing Engineer

Jim Carlisle  
Dennis D. Smith AIA Architects  
345 Riverview  
Suite 200  
Wichita, KS 67203  
Phone: 316 268-0230  
Fax: 316 268-0205

## Landlord's Civil Engineer

Rob Sunderlage  
Horrocks  
One West Main  
American Fork, UT 84003  
Phone: 801 763-5100  
Fax: 801 763-5101

## Landlord's Base Building General Contractor

Matt Perkins, Project Superinten-  
dent  
R & O Construction  
933 Wall Ave  
Ogden, UT 84404  
Phone: 801 627-1403  
Fax: 866 349-0650

## Building Department

Bill Green, Plans Examiner  
West Valley City  
3600 South Constitution Blvd.  
#220  
West Valley City, UT 84119-3720  
Phone: 801 963-3284  
Fax: 801 963-3402

## Fire Department

Carl Andreasen, Fire Inspector  
West Valley City Fire Department  
3600 Constitution Blvd.  
West Valley City, UT 84119-3720  
Phone: 801 963-3551  
Fax: 801 963-3335

## Health Department

SLVHD  
Bureau of Food Protection  
788 East Woodoak Lane  
Murray, UT 84107  
Phone: 801 313-6620  
Fax: 801313-6609

## Electric Utility

Ken Bean  
Rocky Mountain Power  
1569 West North Temple  
Salt Lake City UT 84116  
Phone: 801 220-7460  
Fax: 801 220-7318

## Telephone

Larry Buhler  
Quest  
42 South Main  
P.O. Box 331  
Nephi, UT 84648  
Phone: 435 623-4252  
Fax: 435 623-4351

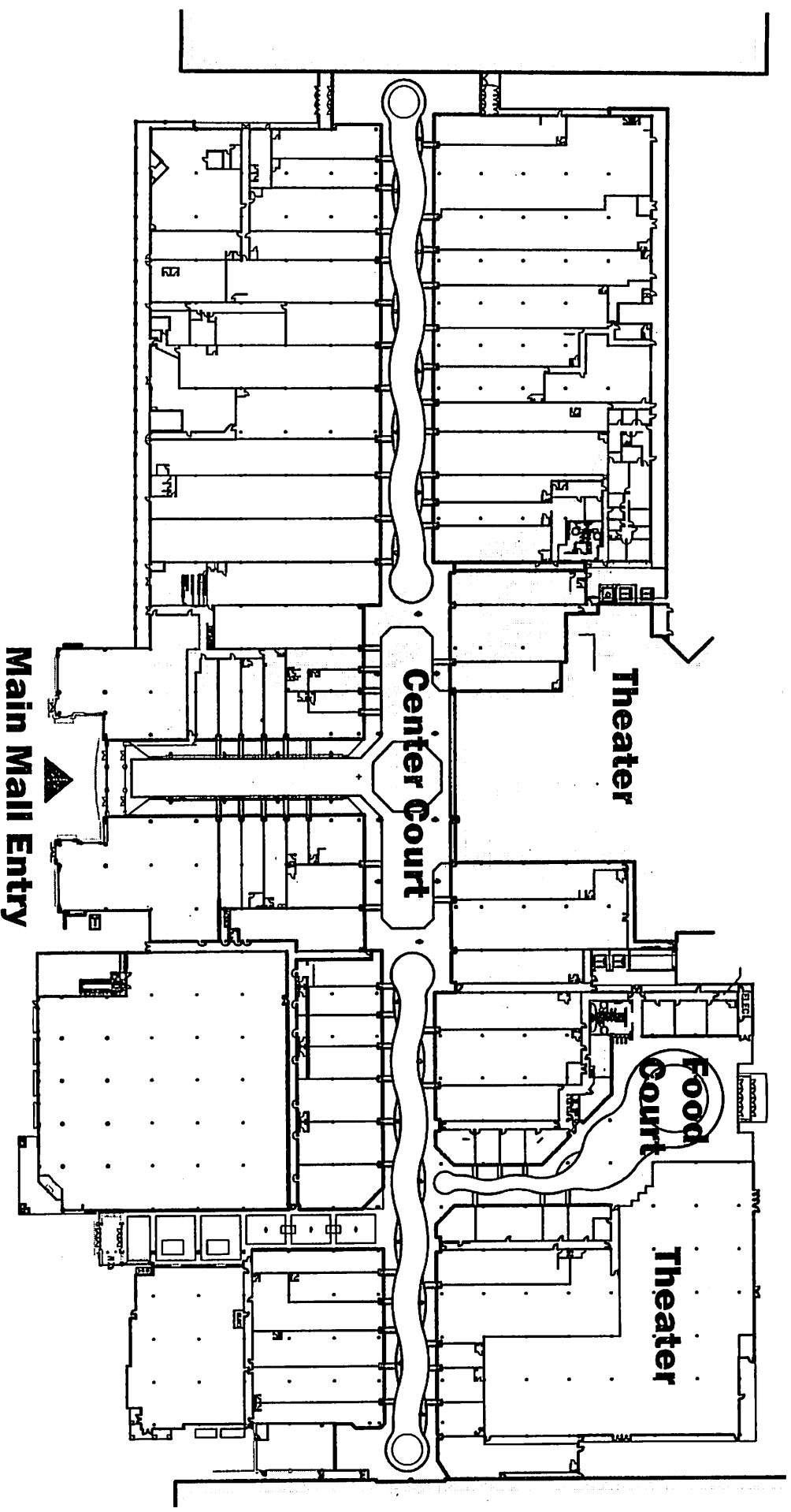
## Natural Gas

Questar  
Phone: 801 324-3150  
Mark Miltenberger

## Water and Sewer

Verdun Hartin  
Granger Hunter Improvement  
District  
2888 Southwest  
P.O. Box 701110  
West Valley City, UT 84170-1110  
Phone: 801 968-3551  
Fax: 801 982-2070

CONCOURSE PLAN



LawKingdonArchitecture

VALLEYFAIR

# TENANT SUBMISSIONS AND PERMIT REQUIREMENTS

## Landlord's Address for Document Submission

Valley Fair Mall Mgmt Office  
3601 South 2700 West Ste G128  
West Valley City, UT 84119

Phone: 801-969-6211  
Fax: 801-969-6233

Permits required by West Valley City must be submitted to the Landlord before any work is started. It is the Tenant's responsibility to obtain approved construction documents from the City before the work is begun.

It is the Tenant's responsibility to verify and schedule all of the field inspections required by the City.

# DOCUMENT SUBMISSION

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## Document Submission

### •Preliminary Drawings

Tenant shall submit to Landlord:

After the Tenant receives the Lease Outline Drawing, the Tenant shall submit to the Landlord, (2) two sets of Architectural and Engineering scaleable prints of the following drawings:

Floor Plans  
Storefront and Interior Elevations  
Sections through storefront  
Reflected Ceiling Plan  
Color Rendering of Storefront  
Material Sample Board  
Sign Design, size and location

Upon receipt of Tenant's Preliminary Drawings, the Landlord will review and return (1) one set of Drawings marked either "Approved", "Approved as noted", "Approved as noted, Revise and Resubmit", or "Disapproved, Revise and Resubmit."

If the Preliminary Drawings are returned to the Tenant without Landlord Approval, then the drawings must be revised by the Tenant and resubmitted within (2) two weeks of the date returned. The same procedure as listed above will then be followed until Landlord's approval is received.

### •Working Drawings

Tenant shall submit to Landlord:

(2) two sets of Architectural and Engineering scaleable prints of the Tenant's Working Drawings per the time set forth in the lease agreement. If none is specified, the Tenant shall provide these drawings within (4) four weeks of the date of approval of Preliminary Drawings.

Upon receipt of Tenant's Working Drawings, the Landlord will review and return (1) one set of Drawings marked either "Approved", "Approved as noted", "Approved as noted, Revise and Resubmit", or "Disapproved, Revise and Resubmit."

If the Working Drawings are returned to the Tenant without Landlord Approval, then the drawings must be revised by the Tenant and resubmitted within (3) three weeks of the date returned. The same procedure as listed above will then be followed until Landlord's approval is received.

Tenants are responsible for submission of their drawings to West Valley City for their approval. Tenants shall bear sole and exclusive responsibility for compliance with all codes.

Tenant's Working Drawings shall be prepared in strict compliance with the Landlord's Design Criteria and Exhibit B to the Tenant's Lease and shall adhere to the drawings approved by the Landlord.

Required Working Drawings include: Minimum Scale

Cover sheet	
Floor plan and Fixture Layout	1/8"=1'-0"
Overall Store Sections	1/8"=1'-0"
Reflected Ceiling Plan	1/8"=1'-0"
Storefront Plan, Elevations and Sections	1-1/2"=1'-0"
Storefront Details	1-1/2"=1'-0"
Store Interior Elevations	1/8"=1'-0"
Wall Partition Sections	1/2"=1'-0"
Door and Hardware Schedule	
Sample Board of Store finishes	
HVAC, Plumbing and Sprinkler plans	1/8"=1'-0"
Electrical Plans	1/8"=1'-0"
Electrical and Mechanical details	1/4"=1'-0"
Landlord's LOD	

The cover sheet shall show the Tenant's name, a location plan, square footage, space number, building code information, occupancy load and construction type.

Floor plans shall show all demising and interior partitions with appropriate dimensions, base building columns with centerlines,

locations of all fixtures and equipment, service door, restroom, door types and room schedules, typical wall sections and ADA path of egress shown.

Reflected Ceiling Plans shall show all ceiling heights, have materials noted, exit lights, emergency lighting, general illumination fixtures, sprinkler heads, speakers, air diffusers and any access panels. All ceiling systems are to be constructed with a class "A" fire rating. All support wires must be connected only to the top cord of the joists.

Storefront Details and Elevations shall show dimensioned elevations with materials and finishes identified. Signage shall be dimensioned and located showing mounting method, type of lighting, color of lighting, wiring method and individual letter heights.

Sample boards of finishes must be submitted for approval and included in submission materials.

# REQUIRED PERMITS AND INSPECTIONS

## Jurisdictional Authorities

Building Department  
Fire Department  
Health Department (when required)  
Landlord's Fire Insurance Underwriter

## Building Code Compliance

All Tenant Construction is to comply with the requirements of applicable codes and laws, including accessibility requirements. The Landlord does not review Tenant Drawings for compliance with building code or accessibility requirements. It is solely the Tenant's responsibility to ensure compliance with all applicable building codes.

# BUILDING CODE INFORMATION

Valley Fair Mall has been designed and constructed according to 2006 IBC International Building Code. The building construction type is 2B and the occupancy classification is A2. Valley Fair Mall is located in Seismic Zone 3.

(As of Jan 2009) the following codes are in affect:

2006 IBC	International Building Code
2006 IMC	International Mechanical Code
2006 IPC	International Plumbing Code
2006 IFC	International Fire Code
2005 NEC	National Electrical Code
2006 IEC	International Energy Code
2006 ADA Federal Code	
2006 Life Safety Code	



# ARCHITECTURAL DESIGN CRITERIA

The goal of this criteria, is to create unique 3-dimensional storefronts for each tenant. The design elements, materials, signage, details and cornice need to be used to create the appearance of an exterior façade.

We have not established a particular style of architecture as a theme, but traditional street front designs are preferred. Wide open storefronts with roll down grills like those that are found in typical malls are not acceptable. (Some special cases may be approved through mall management) The desire is for exterior looking storefronts that would appear typically in main street retail shops.

## All Tenants

Architectural Drawing Requirements

All Tenant storefronts shall be self-supporting with loads carried by the Landlord's slab. Lateral bracing should be back to the Landlord's building columns.

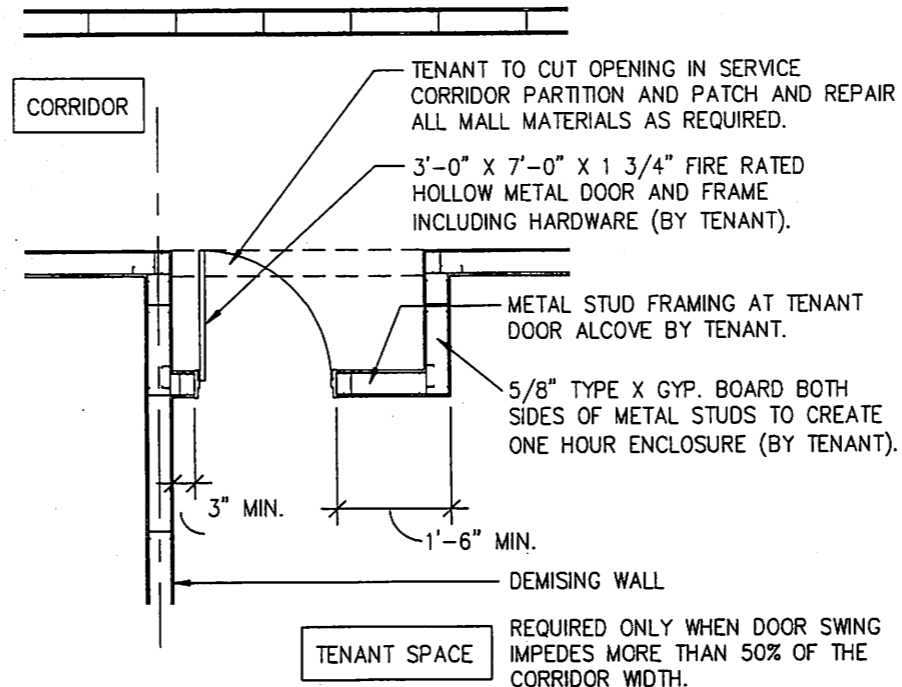
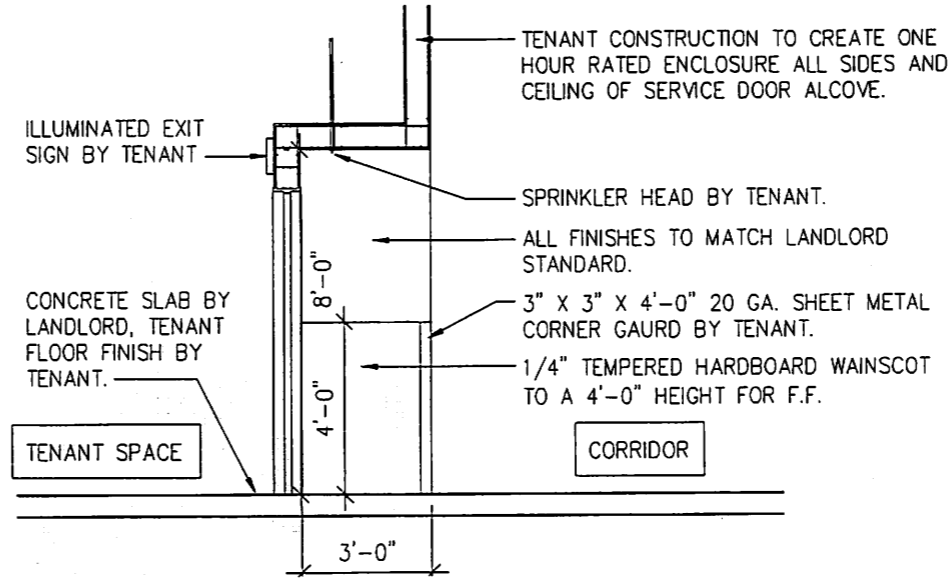
### •Rear Access Doors

Tenants with exterior rear access doors shall provide commercial grade hardware required to secure their space. The Landlord will provide the hollow metal 3'-0" x 7'-0" door. Door locations shall

not be changed without written permission from the Landlord and at the expense of the Tenant.

Tenants with rear access doors into service corridors shall provide a commercial grade hollow metal 3'-0" x 7'-0" door with hardware required to secure their space. Door locations shall not be changed without written permission from the Landlord and at the expense of the Tenant. Doors shall be recessed so that the swing of the door does not penetrate into the corridor. The door and recessed alcove shall be designed in accordance to Landlord's standards.

Tenants shall install a standard service door sign on the corridor side of the door to identify their individual space name and address.



## IN-LINE TENANTS

### Storefront Design Criteria

#### • Storefront Height

In the main concourse the desire is for Tenant Storefronts to utilize the height of the concourse to create Architectural Character. The desire is for each Tenant to create a unique storefront design with varied parapet heights. A flat parapet across the entire storefront is not permitted. The maximum height for flat parapet lines is 21'-0".

#### • Parapet and Roof Line Details

Peaks, arches and Towers are encouraged will be allowed to exceed that height, but must be less than 20% of the Tenant's Storefront to allow for natural light from the clerestory to come into the mall concourse. Each parapet shall be returned back a minimum of 36" toward the clerestory to the column line to avoid having the feeling of a "western storefront." Where taller Tenant storefronts tie into shorter adjacent Tenants, the higher storefront will be required to finish their returns to meet the lower storefront.

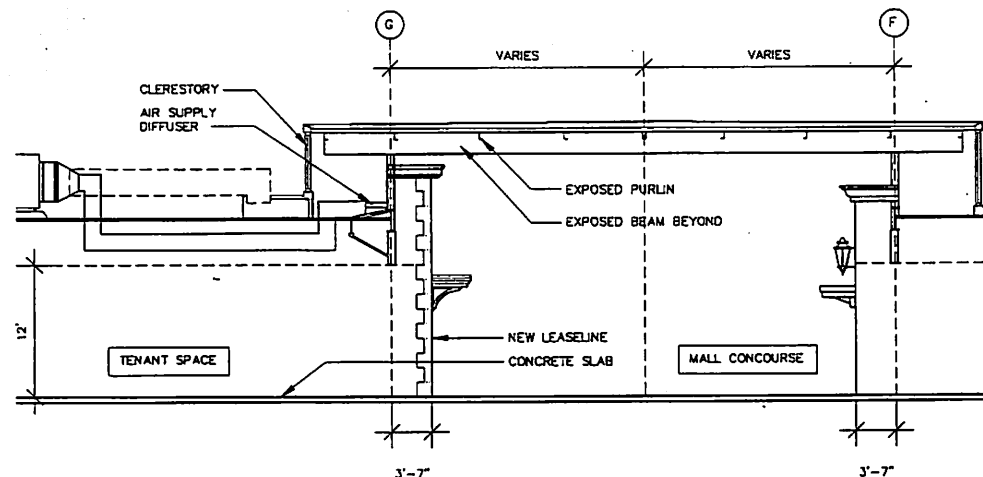
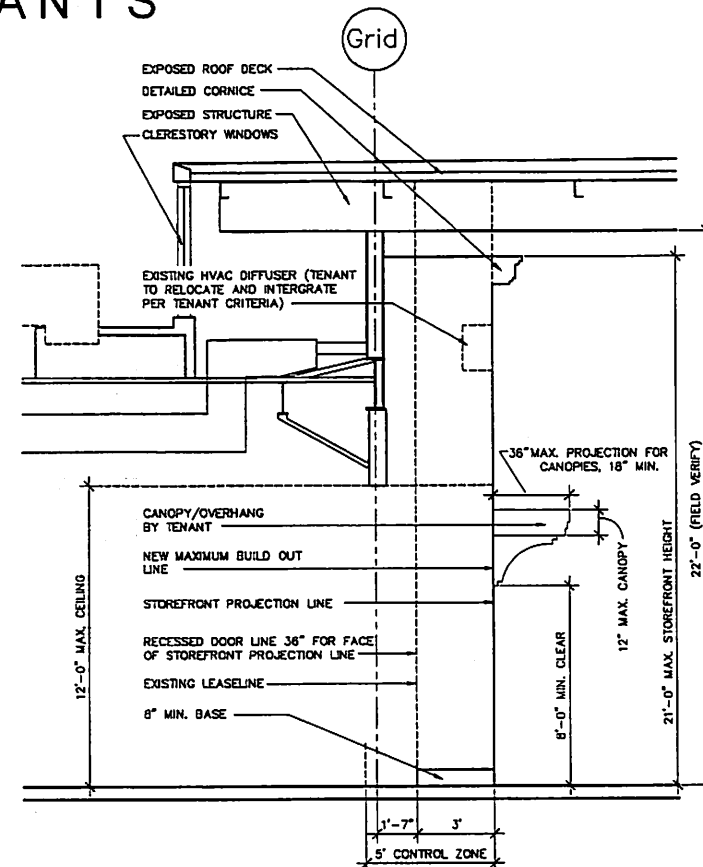
The side mall concourses have

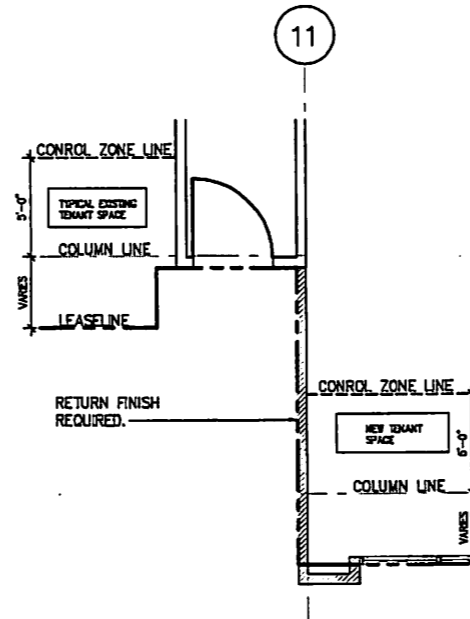
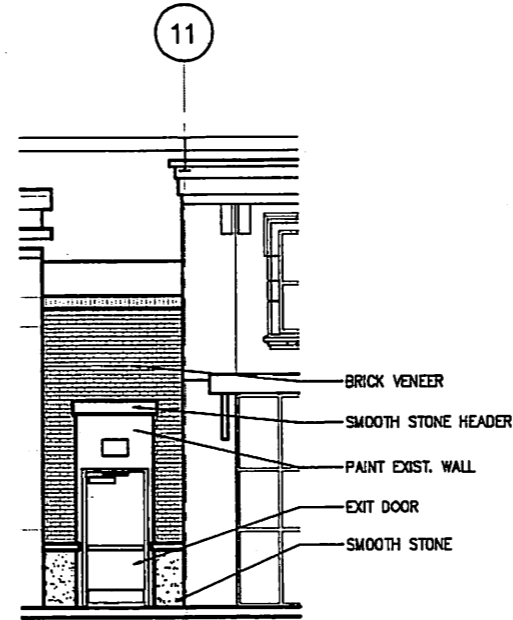
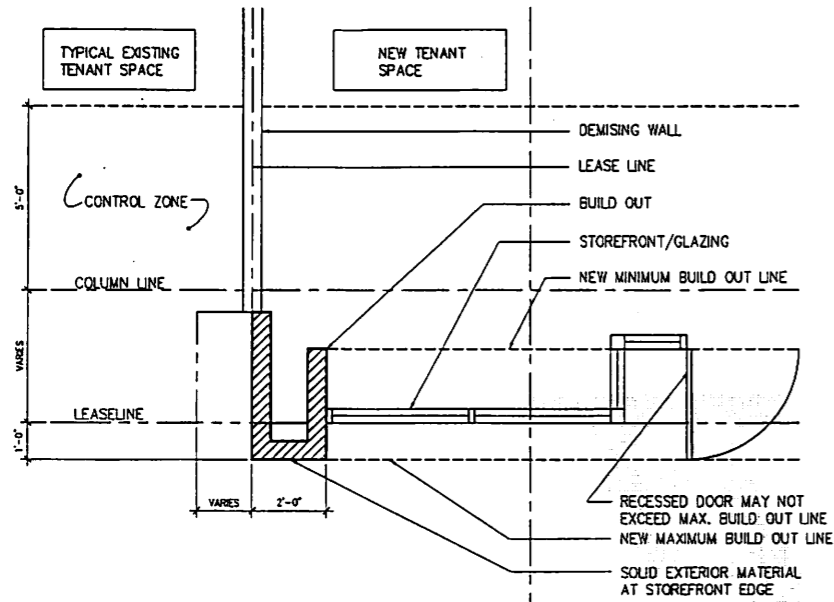
much less ceiling height to work with so the storefronts in these areas will be much shorter. With the lack of clerestory in these areas, the storefronts will be allowed to go to the roof deck with cornices falling below the joists.

#### • Storefront Projection Line

Storefronts shall be built out from the lease line to the storefront projection line with awnings, canopies and cornices projecting beyond that. Canopy designs should project no more than 36" but not less than 18" past the lease line and have a thickness profile no more than 12" for solid canopies. The thickness shall be appropriate to the scale of the canopy. Sloping canopies and awnings shall also be considered. Canopies and awnings shall maintain a minimum height above the floor of 9'-0".

Projecting elements shall be designed and located in such a way that they do not create a significant visual barrier to adjacent Tenant storefronts. The Landlord shall have final determination regarding clearance and sight line issues.





**• Facade Detail Requirements**

Changes in plane shall be incorporated into the storefront design to create additional character. Flat, straight storefronts across the entire facade will not be allowed.

Each Tenant shall provide a minimum of 18" width of solid material (un-glazed) at each edge of their storefront with a finished return to the standard lease line.

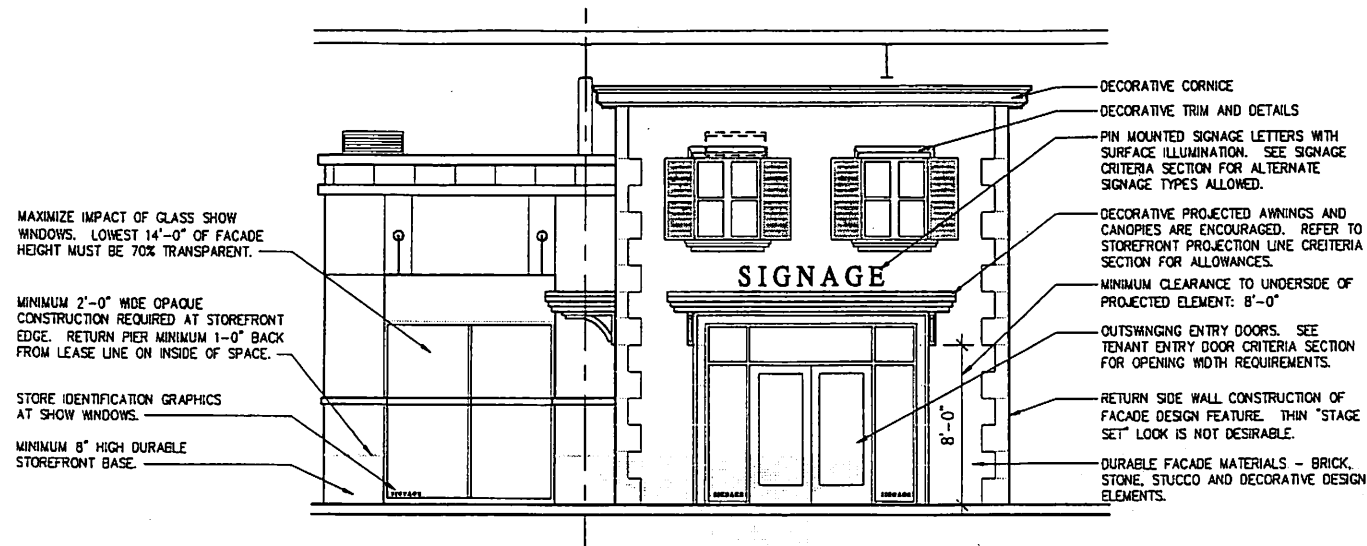
Where Tenant is adjacent to a Mall exit corridor, the Tenant must finish and return his storefront to the face of the Landlord's exit corridor wall enclosure.

**• Show Window Design**

Tenants shall adopt a "show window" design motif and shall maximize the use of glass in their storefront below the 12'-0" height. Opaque wall areas shall not exceed 8'-0" in width.

**• Mall Existing Conditions**

Tenants on the East side of the mall will have Mall HVAC registers that will have to be incorporated into their storefronts. Tenants will have to work with the Tenant Coordinator to design a solution that works well aesthetically.



•Storefront Entry Design

The intent of the design is for Tenants to use an exterior type entry system to add to the appearance of a street front theme. Storefront design shall be a minimum of 50% transparent.

• Lighting

To accent the exterior character of the storefronts, exterior type lighting should be considered.

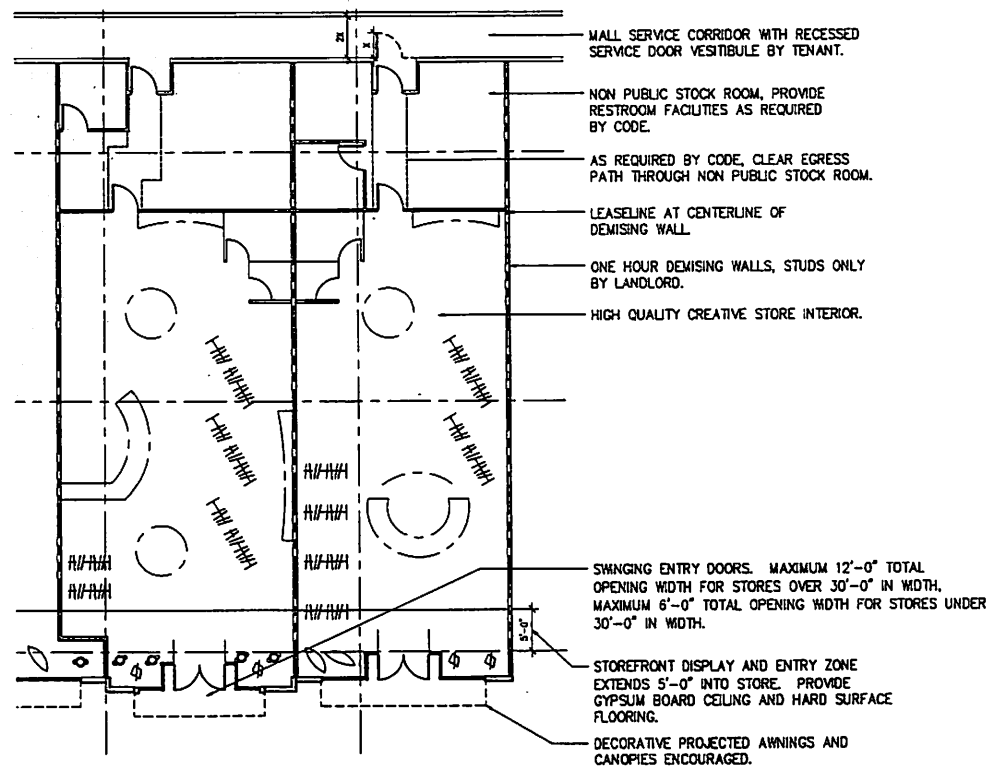
• Opening Widths

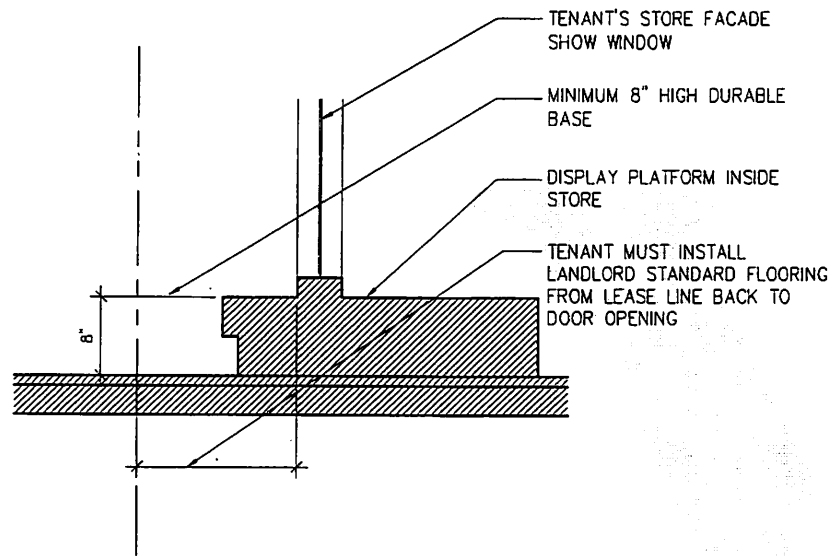
Tenants with storefront widths exceeding 30'-0" may have openings of a maximum of 12'-0" in width. Tenants with storefronts less than 30'-0" in width shall limit their openings to a maximum of 6'-0" in width. Storefronts with more than one façade in the concourse may have entries on both facades

as long as they abide by the rules stated above for each elevation.

• Tenant Entry Doors

Tenants are encouraged to use outward swinging 36" door pairs to create 6'-0" openings. The doors shall be a minimum of 8'-0" in height and mostly glass. All doors must be placed at the lease line and not project past the storefront projection line. Doors should remain open during times of business. Doors and door hardware shall be in compliance with all applicable codes.





#### • Storefront Base

Tenant storefronts shall provide a solid base of a minimum of 8" below the show windows. Exterior type materials are required for the storefront façade. All materials shall be high quality and durable and installed over adequate substrates. Storefronts shall comply with code requirements for flame spread.

#### • Storefront Materials

The store facade materials are very important in creating the street scene design aesthetic which is desired for the mall. Exterior type materials are encouraged to create the character for the façade. Details including cornices, lintels, arches, dentils, and other trim fabricated out of metal, pre-cast concrete, brick, GFRG or GFRC are encouraged.

Exterior type roofing materials such as clay tile shingles are encouraged to create the look of an exterior facade.

All materials are to be durable, high quality and be long lasting with minimal required maintenance. All exposed faces of materials will be finished. The method

of attachment will be hidden unless it is part of the storefront design.

Full height R19 batt insulation is required at exterior perimeter walls with 5/8" gypsum board.

All storefront materials shall be fire retardant and comply with all applicable code requirements.

#### • Storefront Materials

##### Allowed

Stone  
Brick  
Cast Stone  
GFRG and GFRC  
Stucco  
Glass  
Metal

#### • Storefront Materials

##### Non-Allowed

Mirror Finishes  
Plexiglass  
Vinyl or Fabric Wall coverings  
Plastic Laminate  
Slat Wall  
Artificial finishes  
Wood, vinyl or aluminum siding  
Painted Drywall  
Simulated materials  
Vinyl Wall Covering or wallpaper

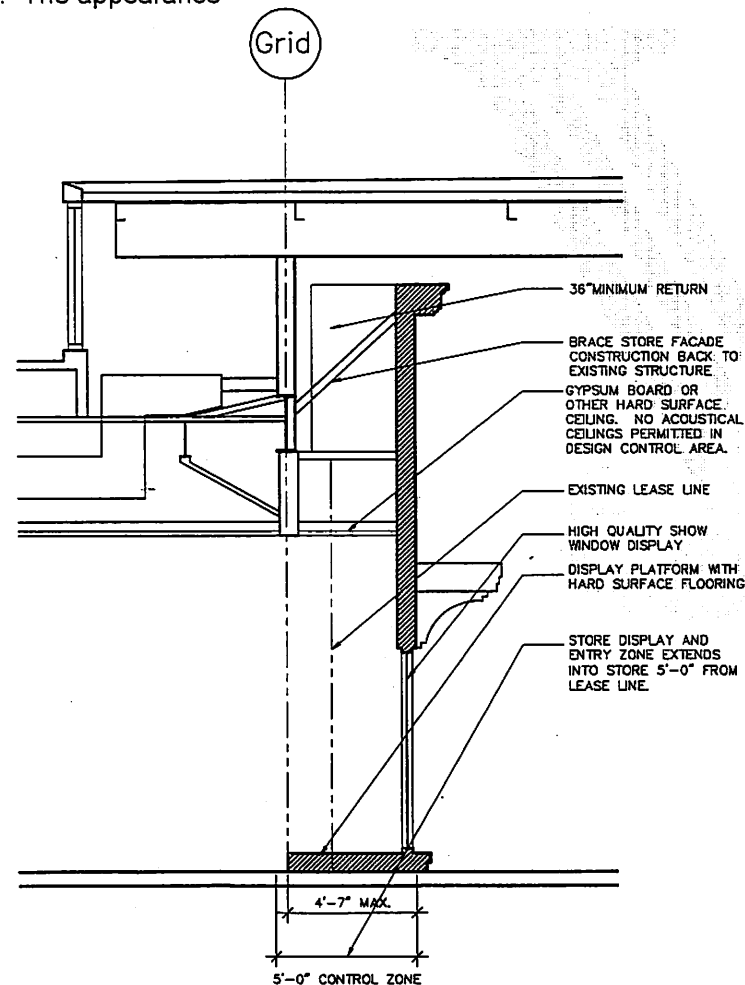
## Control Zone Criteria

### • Flooring

Tenants shall install the standard mall flooring between the lease-line and the entry doors. The finish floor elevations shall match exactly with the mall concourse floor. No reducer strips or thresholds will be allowed. The appearance

of this area of the store is very important therefore, high quality floor materials are required.

High quality hard surface flooring is required in this Control Zone. Materials such as stone, tile, etc. Carpeting will not be permitted within this Zone.



### • Control Zone Area

The Control Zone extends into the Tenant Store 5'-0" in depth across the entire width of the Store-front from the lease-line. A 11'-0" minimum ceiling height must be maintained in this Zone.

### • Fire Sprinkler Heads

Sprinkler heads in this area are to be fully recessed, cover plates are to match the adjacent ceiling color.

### • Lighting

Recessed incandescent down lights shall be used in this area. All track lighting or pendant type track lighting in this Zone shall have recessed track. Lighting fixtures shall not exceed 5" in length. Lighting should be carefully considered and be fully integrated into all show windows.

### • Ceiling

The appearance of this area of the store is very important, therefore, high quality ceiling materials are required. Ceilings shall be gypsum board, wood or other types of hard surfaces. Lay-in acoustical ceiling tile is not allowed within this Zone.

### • Walls

Any wall that falls within 5'-0" of the lease line shall be of high quality finish materials. No slat wall or slatted fixtures for hanging or displaying merchandise shall be used in the Control Zone Area.

### • Show Windows

Tenant show windows shall be maintained with high quality displays. No standard merchandising racks will be permitted in these areas. Displays can be held on decorative tables or on raised platforms. Sales counters cannot be located at the storefront lease line and must be behind the Control Zone.

Show Windows should be creative in their presentation whether full height glass or smaller windows. The use of tempered glass is mandatory where required by code.

### • Security Systems

Storefront security systems must be designed to be unobtrusive and incorporated into the design of the storefront. Free standing systems are not permitted. The proposed system must be shown on drawings submitted to the Landlord for his approval and not installed without that written approval.

## Store Interior Design Criteria

Handicapped Accessibility Standards as defined by local, state and national codes must be followed within the store footprint.

Interior finishes are to be high quality, long lasting and durable. All finishes shall comply with building code and insurance underwriter requirements for appropriate fire resistance and flame spread ratings.

### •Floor Finishes

All floor transitions between various floor finishes shall be of equal thickness. In the case of unequal thickness, the transitions must be accomplished by a gradual transi-

tion with floor leveling compound to create a smooth and level walking surface. Carpet trim strips and reducer strips will not be allowed.

### •Flooring Materials Allowed

Carpeting - must be of high quality commercial grade cut pile or loop/cut pile combination.

Ceramic Tile  
Stone Pavers  
Wood

### •Floor Materials Not-Allowed on Sales Floor

Sheet goods vinyl flooring  
Exposed Unfinished Concrete

### •Ceilings

Tenant ceilings behind the 5'-0" control zone shall be designed to be accessible to allow for access to Landlord's or Tenant's equipment. All support framing, furring and blocking shall be non-combustible. No wood will be permitted above any ceiling.

All ceilings are to be properly installed and supported. Soffits and bulkheads shall be properly supported and braced to the Landlord's structure.

Ceiling heights within the Tenant space will depend upon field conditions. The roof is generally sloping away from the centerline

of the mall and getting closer to the ground toward the rear of the Tenant space. A minimum of 12'-0" ceiling heights are available within the entire space with additional height available towards the front of the store.

Ceilings shall be of the accessible type, or individual access panels shall be provided to allow access to Landlord's or Tenant's pull boxes, damper controls, junction boxes, valves or other equipment.

### •Ceilings Allowed

Open sales area ceilings where all structural, electrical, and mechanical elements are painted and in compliance with building codes.

High quality 2'x 2' lay-in acoustical ceiling tiles featuring a tegular edge and matching grid color.

Painted gypsum board ceiling drops and bulkheads built with non-combustible materials.

Other high quality non combustible ceiling materials

### •Ceilings Not-Allowed

2'x 4' acoustical lay-in ceilings in the sales area.

Any wood ceiling except where it is fire-retardant.

**•Demising Walls**

Demising walls which separate adjacent tenants, or walls adjacent to a mall service corridor are required to provide a one-hour rating in compliance with code. At corridor walls, the Landlord will install gypsum board on the corridor side of the wall only.

The Tenant shall provide one layer of 5/8" fire rated gypsum board, taped, spackled, sanded and finished on the Tenant side of the metal studs. The Tenant must install full height gypsum board to underside of metal deck and all firesafing. New demising partitions shall consist of 6", 22 gage metal studs at 1'-4" on center.

At locations where concrete block demising walls occur, the Tenant shall install metal stud framing or furring and gypsum board on the Tenant's side of the wall.

If in the Landlord's opinion sound insulation is required to insure sound transmission between two Tenants is minimized, the Tenant shall provide and install such insulation at the Landlord's direction at the Tenant's expense. Tenants with above average sound levels with their lease space must sound insulate demising walls to achieve a minimum STC rating of 50.

**•Interior Tenant Walls**

All interior wall structures must be constructed to code requirements and Lease Exhibits.

Typical interior wall construction is to be composed on noncombustible metal stud framing with 5/8" gypsum board, taped, spackled, sanded and finished on both sides. Metal stud framing shall extend up to the structure above as required to brace the walls.

**•Wall Construction  
Not-Allowed**

Wood stud construction

**•Wall Construction  
Additional Criteria**

Tenant shall be responsible for maintaining the code required fire rating at all demising wall penetrations such as ductwork, piping and conduit. This work shall include the installation of fire stops and fire rated penetrations seals as required by code.



## Signage Criteria

Any required permits are the responsibility of the Tenant.

### •Design Aesthetic

The appearance of signage on the storefronts is a very critical component in the design character of the storefront. Signage must be an integral feature of the storefront and must be designed to compliment the design of the overall façade. All signs must be approved in writing by the Landlord. Signage is limited to the Tenant's trade name as described in the lease. Logo's shall be permitted only if approved by the Landlord.

Three-dimensional signage with unique designs and positioning is encouraged.

### •Quality Construction

All signage is to be constructed in a high quality manner with shop fabrication and painting. Mounting attachments, wiring, clips, transformers, labels, fasteners and other attachments shall be concealed from view. Light leaks are not permitted. All electrical penetrations through the storefront fascia for signage shall use PK housing or approved equal. Raceways connecting letter forms must be

concealed within the storefront construction. No visible screws or rivets can be visible from underneath signage. All enclosed mall storefront signs fabricated with plastic materials shall be fabricated of material with a matte finish. Acrycap retainers used at the perimeter of sign letter faces shall match in color and finish the face of the sides of the sign.

### •Size of Signage

Tenants shall be allowed one primary sign per façade and should be used to accent the entry to the Tenant space. The sign shall be proportional to the scale of the storefront. The Landlord will carefully review any sign submitted to see if the scale is correct for the size of the Tenant storefront. Signage shall never exceed 70% of the width of the storefront. Maximum height of letter is 18", or a maximum height of 24" for capital letters, using upper and lower case letters. Tenants having corner locations with frontage on two or more elevations will be allowed to use signage on each elevation.

### •Signage Illumination

The sign must work well with the architectural character of the façade. Signage must be individual internally illuminated box letters

and mounted on the tenant façade in an appropriate way on the wall or canopy. Access must be provided for transformer and local disconnect. Maximum brightness shall not exceed 100 foot lamberts.

### •Blade Signage

Double-sided Blade signage mounted perpendicular to the storefront is encouraged only if it is appropriately scaled and located. Blades must be suspended on decorative brackets which complement the facade. Lowest point of the sign shall be a minimum of 8'-6" above finished floor.

Maximum sign area shall be 6 square feet and a minimum sign area of 4 square feet. Maximum thickness shall be 1-1/2". All

brackets shall be structurally designed to be mounted to the Tenant's storefront and not exceed more than 48" beyond lease line. Blade signs are permitted to have external light fixtures to illuminate their sign faces but must not cause glare to the mall concourse or adjacent tenants. Internal illumination is also permitted.

Blade signs may be fabricated from metal, wood and high-density foam. A 3-dimensional appearance is required with layered forms and letters. Tenant name and/or logo cannot be simply painted graphics or applied vinyl letters.

Materials, details and design for blade signs should display the unique character of each individual tenant.

**•Window Signage**

Appropriately designed window signs are permitted when they work well in the overall design in the opinion of the Landlord. Such signs shall be 6" or less in height and located in an appropriate manner on the Show Windows. The window graphic shall not exceed 15% of the glazed area.

These may include:

Screen-printed, gilding and cut vinyl

Logos, letter forms or other graphics that contribute to the tenant's identity.

Individual pin-mounted 3-dimensional letter forms.

**•Canopy Signage**

Signage mounted on projected canopies is allowed. The Tenant's name or logo must be individual 3-dimensional letters either mounted to the face of the canopy or resting on top of the canopy.

**•Awning Signage**

Awning signs will be considered by the Landlord when the Tenant can demonstrate that the Awning sign would add to the overall identity and design character of the Tenant's storefront.

**•Plaque Signage**

Plaque Signs are dimensional panels located on walls, pilasters

or columns which would display the Tenant's name or logo. Fabrication materials and methods include:

Etched or machined metal

Deep etched glass panels

Carved stone panels

Cast metal with polished letters

and dark filled backgrounds

**•Landlord's Approval**

Landlord's approval is required for all signage visible from the mall.

Tenants shall provide design details for each sign and show them on all drawings submitted to the Landlord.

Shop drawings for all signs are required to be submitted to the Landlord for his approval. Shop drawings shall show elevations of each sign with dimensions, sections thru each sign, materials identified and called out, illumination systems, mounting systems and a color rendering.

**•Signage Allowed**

Reverse channel letters with internal illumination

Internally lighted individual box letters with acrylic faces

3-dimensional letters illuminated with exterior lighting.

Decorative blade signage

Show Window graphics

Canopy Signage

Suspended Sign Panels

**•Signage Not-Allowed**

Surface mounted, exposed cabinet or box signs

Exposed tube neon signs Free-standing, rotating, moving, flashing or noise making signs.

Vinyl, paper, cardboard or cloth signs.

Vacuum formed luminous letters

Signs painted directly on the storefront

Signs which are not professional in appearance

A-frame signage boards

Signs painted on the exterior wall  
Any sign designed to be moved or relocated

Balloons and inflatable signs

Signs which emit sounds, odor or visible matter on which bear or contain statements, words or pictures of anything that could be considered obscene or pornographic.

Sign letters mounted on and exposed raceway

## Lighting Criteria

### •Façade Lighting

Storefront façade lighting is encouraged and must be integral to the design of the storefront and the style of the mall.

### •Show window lighting

Lighting within the Design Control Zone shall be incandescent, halogen, LED, or compact fluorescent with correct color rendering characteristics. No lamps within this Zone shall be permitted to shine out into the mall concourse.

Internally illuminated show cases must be adequately ventilated.

### •Sales Area Lighting

Lighting fixtures shall be high quality commercial grade fixtures. Fixtures should be glare free and shall comply with all applicable code requirements.

Lighting must be designed to accentuate the products for sale within the Tenant space. The fixtures must be high quality commercial fixtures and comply with all applicable building codes.

### •Emergency Lighting

Emergency lighting and exit signs shall be installed per building code while at the same time be as

inconspicuous as possible.

### •Lighting Allowed

Recessed fluorescent 2 x 2' fixtures with parabolic diffusers.  
Fluorescent lighting with color corrected light for retail uses  
Recessed incandescent can fixtures with specular or semi-specular reflectors or other baffles and glare shielding devices.

### •Lighting Not-Allowed

Any type of Flush mounted Fluorescent fixtures  
2'x 4' fluorescent fixtures  
Exposed fluorescent tube fixtures  
Exposed lamps unless in an approved track light or other decorative fixture  
Colored Lamps  
Any type of flashing or moving lights  
High Pressure Sodium lighting  
Mercury Vapor lighting  
Any type of Fluorescent fixtures with acrylic lenses.

# FOOD COURT TENANTS

The Food Court features specialty food tenants. Tenants are encouraged to develop unique and innovative designs that have the appearance of an open street market. The Tenant's design shall present a clean, uncluttered appearance. Open storage of packaging, paper goods and supplies will not be permitted. Napkins, condiments, utensils, straws, and trays must be contained behind the front counter or must be dispensed from permanent holders, recessed into the front counter.

All Food Court Tenants must comply with all local health regulations and applicable ordinances.

## Control Zone Criteria

The front 10'-0" from the Tenant Lease Line has been designated as a Control Zone Area. Each Tenant should strive to present a unique character and personality in their designs.

Countertops and fronts must utilize materials that are upscale in quality, resistant to wear and can be easily maintained. Food service equipment, beverage towers, ice machines and cash registers should be completely shielded from view and not be over 48" above finished floor.

Particular attentions should be given to the visual organization of the rear and side walls. Equipment layouts along with catalog cuts, menu board designs and signage must be submitted for approval.

No equipment or case work placed along the common side demising walls shall be permitted to extend vertically above the height of the wall.

Each Tenant shall have a continuous counter front at their respective lease line. Each counter shall have a 4" high toe base and should be recessed 3".

## Store Interior Design Criteria

### •Ceiling

Tenant shall provide a nonporous washable ceiling in the food preparation and kitchen areas.

### •Flooring

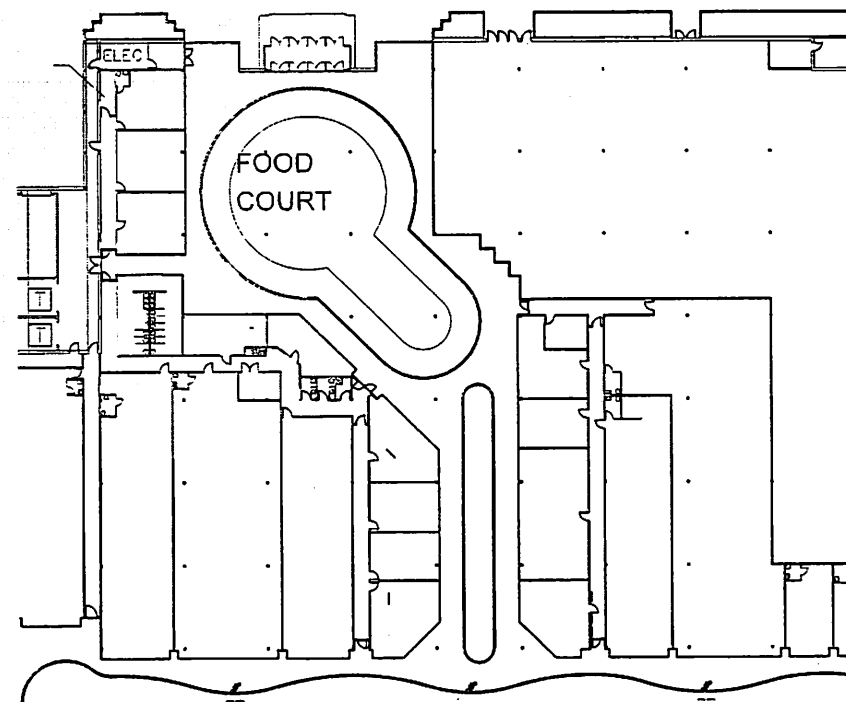
All flooring materials shall be washable and nonporous. Food preparation areas shall have ceramic or quarry tile.

### •Walls

All wall materials shall be washable and nonporous.

### •Lighting

Tenants may use either incandescent lighting or parahex lenses for lay-in fluorescent fixtures within their tenant area not visible to the public.



## Storefront Design Criteria

### •Countertop Materials Allowed

Brushed Stainless Steel  
Natural Stone  
Glazed Ceramic Tile  
Solid Surface products such as Corian  
Wood with Clear Finish  
Finished Concrete

### •Countertop Materials Not-Allowed

Plastic Laminate

### •Ceiling

The ceiling in the Control Zone will be open structure which is painted and maintained by the Landlord.

### •Flooring

Each Tenant shall provide a ceramic or quarry tile floor with base within the Control Zone area.

### •Walls

All wall materials shall be washable and nonporous. A screen wall with service door shall be provided by each Tenant between the customer service areas and the food preparation area. This screen wall shall be located 10'-0"

behind the Tenant Lease Line.

The service door shall be self-closing in order to shield the view to the public.

### •Product Display

Each Tenant shall provide a creative display of food and beverage products with high quality menu boards that can be easily modified when changes occur to the menu.

All menu boards are to be constructed of high quality materials and fabrication techniques. The finishes should reflect the character of the Tenant space. Professional quality drawings and renderings of menu boards are required to be submitted to the Landlord as part of the signage review process.

Menu boards shall be integrated into the design of the overall storefront concept. Menu boards are to be located at the Tenant service wall. Menu boards may be illuminated either internally or externally depending on the design character of the store.

### •Lighting

Tenants will provide their own accent lighting at the countertop using pendant type fixtures. Fluorescent lighting is not acceptable

in the Control Zone area.

### •Signage

Signage is of critical importance to the overall character of the Food Tenant Storefront. All signage is subject to Landlord's approval. The Landlord reserves the right to disapprove any signage that in his opinion does not comply to the intent of the Tenant design criteria.

All Food Court Tenant signs shall be individual internally lighted channel letters suspended from (the overhead structure provided by the Landlord) with the bottom of the letter at 10'-0" above finished floor and located 5'-0" back from the Tenant Lease Line. Letters shall be no taller than 18" in height.

Box signs and animated signs are not permitted.

All raceways, ballasts and transformers shall be concealed from view from the mall. Sign company names are not permitted on the installation.

All signage must be designed and installed per code.

# KIOSK TENANTS

## Design Intent

The Kiosk Tenants are an integral part of the design of the Mall. It is therefore very important that the Design Aesthetic of the Kiosk Tenants upholds the character of the In-Line Tenant Storefronts. Kiosk designs will be limited in appearance for that reason.

The design should be compatible with the look of open-air street retail vendors.

The interior and exterior of the kiosk must be finished with high quality durable materials and workmanship.

## Utilities

The Landlord will supply access to a 120 Volt 20 Amp receptacle for power and a telephone jack. All electrical distribution to the kiosk is to be fully concealed.

Any attachment to the mall floor is prohibited. Any repair of the mall floor will be at the Tenant's expense.

## Design Criteria

All Kiosk designs and materials are subject to the Landlord's approval. The Kiosk Tenant shall work within a pre-manufactured framework that has been selected

by the Landlord.

### •Casework

The Tenant's casework can be built to the leaseline but not beyond. The maximum counter height shall be 42". A portion of the main counter shall meet the guidelines of the American with Disabilities Act (ADA) Continuous single height counters around the entire kiosk are not permitted. A variety of presentation is required.

Acceptable finishes for the counter face and top include combinations of glass, stone, ceramic tile, hardwoods, solid core surfacing materials such as Corian or equal. Plywood and other similar composite materials are not-allowed.

Show cases must be internally illuminated with concealed light sources.

### •Merchandise Display

Counter merchandise displays shall not exceed 18" above the casework.

### •Lighting

Overall lighting will be mounted off of the Landlord provided Kiosk structure.

### •Signage

Signs will be mounted on the Landlord provided Kiosk structure and at the discretion of the Landlord.

Signage allowed:  
Individual box letters with concealed internal illumination.  
Object signs with the tenant logo or primary product fabricated or sculpted from suitable materials.  
Painted, screen printed or gilded sign panels

Color must be compatible with the overall design and approved by the Landlord.

### •Security

Kiosk merchandise shall be in lockable cases only. Gates, curtains or overhead grille closure systems are not-allowed.

## Kiosk Drawing Requirements

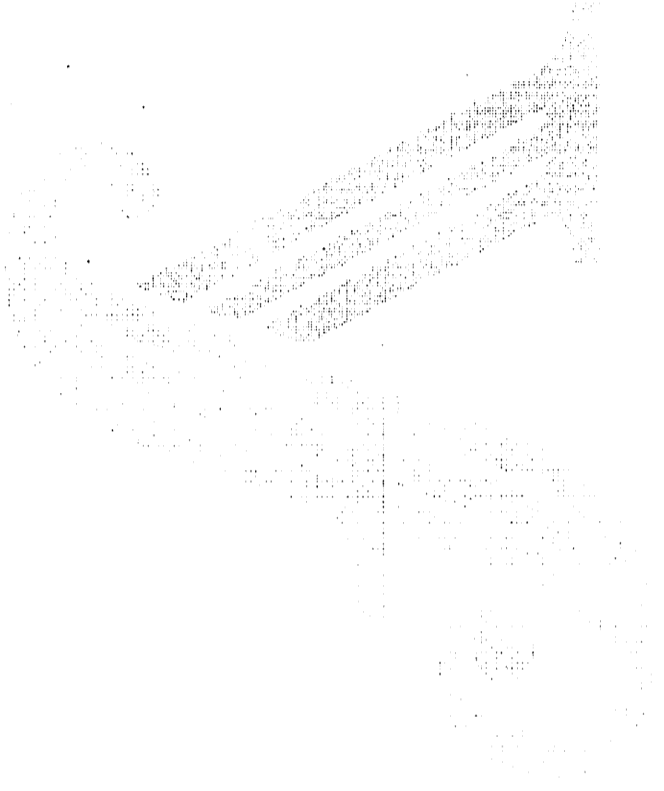
The following is a list of minimum design information that is required to obtain approval from the Landlord.

All sheets must have the Tenant Space Number and Tenant name shown in the title block.  
Dimensioned Floor Plans  
Locations of all fixtures and equipment  
Casework Details showing lighting

## Kiosk Elevations

Identification of finishes and colors  
Sections thru Kiosk showing each condition  
Kiosk Signage elevations, letter dimensions, sections, details, materials and colors.

PUSH-CART TENANTS



# UTILITY INFORMATION

## General

Location, characteristics, and size of each utility is marked on the Tenant's space drawings attached hereto.

Data concerning each utility service is listed below:

### •Telecommunications

#### Services

Tenant shall contact Quest, 1425 West 3100 South, Salt Lake City, UT 84119.

### •Water Service

A water pipe stub-in has been provided for each shop space. For size and location see Tenant Shell Drawing attached hereto. Tenant's water piping will start at the pip stub-in connection.

Water Pressure: In excess of 55 psi, approximately.

Metering: No individual metering will be furnished. Utility cost is included in the Landlord's environmental service charge.

### •Sanitary Sewer

A sewer pipe stub-in will be installed underground within the shop space, at location shown on the attached Tenant Shell Drawing. Flow line

elevation is as noted on exhibits attached hereto. Piping is cast iron.

Tenant's contractor shall call for all applicable City inspections on all piping extensions.

Water and Sanitary Sewer must be accepted by Grainger-Hunter Improvement District, 28888 South 3600, West Valley City, UT 84170-1110. Phone: (801) 968-3551.

### •Electric Service

Power Characteristics: Voltage: 120/208, 3 phase, 4 wire.  
Electrical Utility:  
Rocky Mountain Power  
1569 W. North Temple  
Salt Lake City, UT 84116  
801-220-7460

### •Natural Gas

Natural gas is available for the tenant space from Questar Gas.

### •Recommended Installation

HVAC equipment  
- 208 V., 3 phase  
Fluorescent lighting  
- 120 V., 1 phase  
Incandescent lighting  
- 120 V., 1 phase  
Receptacles, miscellaneous  
- 120 V., 1 phase  
Water heaters above 6 KW  
- 208 V., 3 phase (1 phase)

Water heaters between 1.6 KW and 6 KW- 208 V., 1 phase  
Water heaters below 1.6 KW - 120 V., 1 phase

### •Service Entrance

Conduit only between electrical distribution and Tenant lease area, furnished and installed by Landlord.

### •Service

Minimum size = 100 amps.  
Switch at electrical distribution and conduit between switch panel and Tenant's space furnished and installed by Landlord. Fuses in switch shall be furnished and installed by Tenant. If Tenant's design requires larger service than that provided for in the Lease agreement, all upgrades are performed by Landlord at Tenant's expense.

### •Service Conductors

Between switch at electrical distribution and Tenant's space shall be furnished and installed by Tenant. Only switch designated for individual Tenant may be used unless approved by Landlord. Landlord's approval is required prior to pulling service conductors. Conductors between switch panel and Tenant's space shall be copper.

### •Tenant's Work

All electrical work inside Tenant space furnished and installed by Tenant. Tenant's electrical engineer shall complete the "connected load summary" included in Tenant electrical criteria.

### •Power Factor

All electrical equipment shall have a minimum power factor of .90 lagging minimum. Additionally, tenant shall comply with electrical specifications for Tenants, as required by Landlord and attached to this Tenant brochure.



# ELECTRICAL DESIGN CRITERIA

## Tenant's Responsibilities

The Tenant shall provide all work which shall include, but not be limited to, furnishing and installing the following electrical equipment and services to the premises in accordance to all governing codes.

Each Tenant must provide, in conjunction with their sign, one (1) 20 amp 110 volt duplex ground fault receptacle on the tenant sign for use by the mall landlord during seasonal displays and promotions.

## Electrical Material Standards

Electrical materials shall be new, shall meet National Electrical Code Standards, shall bear the Underwriter's laboratories label and shall be compatible with the general architectural design.

### •Flooring

Branch circuit shall be installed in galvanized EMT using #12 AWG minimum copper wire with Type TW, THW, or THHN-THWN insulation.

No AC armored cable shall be used for branch circuit work. No non-metallic conduit shall be used for branch circuit work.

### •Lighting Fixture Connections

Flexible conduit (Greenfield tails, six feet in length), may be used between recessed accessible fixture outlet box and recessed fluorescent lighting fixtures. Outlet boxes of this type may serve up to four (4) separately recessed fluorescent fixtures.

In all cases, other than above, each lighting fixture shall have its own outlet box.

In no case may EMT or flexible conduit run from fixture to fixture without the use of outlet boxes.

### •Raceways

Feeder conduit installed indoors may be galvanized EMT, or heavy wall galvanized rigid steel. Feeder conduit installed outdoors may be heavy wall, galvanized rigid steel.

### Technical Information

#### Electrical:

Conduit will be provided by the Landlord's general contractor from the Tenant space to the Landlord's primary electrical distribution. The Tenant's contractor shall pull the wire from Tenant's space to the Tenant's switch and install fuses. Tenant's contractor shall obtain final electrical inspection from the City's electrical inspector prior to

pulling of wiring and making final connections.

In order to make final connections, power in the primary electrical distribution must be off. Therefore, it is necessary that a schedule be established for making final connections. Connections must be coordinated with Landlord's general contractor who will coordinate connections with utility company.

### •Wire and Cable Feeders

Feeder cable shall be copper if required ampacity is greater than 150 amperes. Insulation to be THW or THHN-THWN. If aluminum conductors are employed compression connectors equal to Burndy shall be required at each termination, connectors shall be of a type compatible to conductors, location and load. No exceptions.

### Color Code

All wiring shall be color coded throughout as follows:

120/208 volt system  
Phase A – Black  
Phase B – Red  
Phase C – Blue  
Neutral – White

277/480 volt system  
Phase A – Brown  
Phase B – Orange

Phase C – Yellow  
Neutral – White with tracer or gray

Color code shall identify the same phase throughout the system from service switch or transformer through all branch circuitry.

### •Disconnect Switches

Disconnect Switches shall be Heavy Duty, in appropriate NEMA enclosures.

A line voltage, horsepower rated, disconnect switch shall be installed adjacent to each motor.

## Service and Distribution

### •Design Conditions

The preliminary design load for Tenant space is 20 watts per square foot.

A conduit sized to accept copper conductors of an ampacity based upon the above load at 3 phase, 4 wire, 120/208 volts, has been furnished to the Tenant space, as well as switch and fuse protection. Tenant's electrician shall furnish and install fuses properly coordinated to serve this load.

### •Increased Loads

If the particular design load for this space is greater than that indi-

cated above, the design engineer for the Tenant must coordinate with Valley Fair Mall regarding increased loading and his calculations for "service switch", fuse protection and service conduit and wire. The cost of the larger service and of any other electrical work necessary to accommodate the larger load shall be borne by the Tenant.

#### •"Service Switch"

"Service Switch" required above shall be of a type specified by Valley Fair Mall.

#### •Short Circuit Current

The electrical contract drawings indicate available short circuit current at the Owner's end of the Tenant service feeder. All equipment shall be installed to withstand the available short circuit current within the Tenant space with protective devices properly coordinated.

### Metering

Meter = Tenant will pay for his electric service to Rocky Mountain Power.

### Transformers

#### •Insulation Class

Transformers shall meet the

requirements for TP1 transformers as mandated by Federal Law.

#### •Demand Load

Transformer demand load shall not be greater than 80% of the transformer rating.

#### •Phase Connections

Single phase transformers shall be connected between the phases indicated by Valley Fair Mall.

#### •Ground

Transformer neutrals shall be securely grounded to the building steel.

### Distribution Panels

#### •Panel Type

Distribution panel may be of the switch and fuse or circuit breaker type.

#### •Trough Distribution

If distribution is made from a trough to several fused switches and/or panels, separate taps shall be made from the feeder to each load. Parallel feeders shall be spliced together adjacent to each tap. No tap shall be made that does not terminate in fuse or circuit breaker protection immediately adjacent to the trough, with the exception of a tap suitably protected by the "service fuse".

#### •Load Balance

The connected loads shall be balanced so that a variation of amperage among the phases of less than 10% is present.

### Lighting and Receptacle Panels

#### •120/208 Volt Panels

120/208 volt and 120/208 volt lighting and/or receptacle panels may have bolt-on or plug-in type circuit breakers and must have main line protection.

Panel bus shall be suited to its protection as well as adequate for the design load plus a minimum of 15% spare.

#### •277/480 Volt Panels

277/480 volt panels shall have bolt-on circuit breakers.

Panel bus shall be suited to its protection as well as adequate for the design load plus a minimum of 15% spare.

#### •Multiple Circuit Breakers

Multiple loads shall be protected by multiple circuit breakers having common trip and single handle. Handle ties and trough clips and pins are unacceptable.

### Lighting

#### •General

Incandescent, quart halogen or other lamps producing 45 lumens per watt or less, shall be used only for decorative, accent or special display lighting, or in particular cases where incandescent "color" is mandatory. In all other cases, illumination shall be fluorescent, multi-vapor.

### Ballasts

Lighting fixture ballasts shall be high power factor with less than 20% THD or as required by local codes.

### Special Systems

#### •Temporary Light and Power

Each Tenant shall be responsible for installation and removal of temporary light and power within his shop.

The Tenant shall be a charge for temporary light and power as agreed with Valley Fair Mall at the time of signing his lease. Reference check procedure.

Each Tenant's electrical contractor must install feeder conductors from service distribution point im-

mediately so that it may be used as a source of temporary light and power for all Tenant contractors within each shop.

Valley Fair Mall will provide power to above distribution point.

## Heating

### •Duct Heaters

Interlock  
Electric heaters installed within air ducts shall be so interlocked with the air handling unit that the heater may not be energized if the air handling unit is not in operation.

Reheat  
Reheat coils shall not be installed in the air ducts.

## Controls and Instrumentation

## Drawing Requirements

Drawings shall be prepared by an engineer licensed by the State of Utah.

The following is a list of minimum design information required to be reviewed by the Landlord. This will serve as a checklist for the Tenant's design consultant.

Floor and wall receptacles location and type  
Fans, motors, and all electrical equipment location and type  
Floor and wall voice and data outlets location and type  
POS outlets location and type  
Lighting fixture layout  
Lighting fixture schedule including lamps type and voltage  
Emergency, exit and night lighting fixture layout showing required battery backup  
Electrical powered equipment assigned to circuits  
Feeder diagram with feeder conductor and conduit sizes  
Branch circuit conduit, wire size and layout  
Electrical layout showing arrangement of panels and transformers must be 1/4"=1'-0"  
Conduit and wire size to HVAC equipment and panels  
Notes and specifications  
Electric Panel schedule showing connected load in volt amperes on each circuit and total connected load  
Breaker sizes  
Main distribution panel size  
Each drawing shall have the Tenant space number in the title block. Plan drawings shall be tied dimensionally to Landlord column lines.

A complete electrical drawing set shall be prepared, submitted and

approved before installation of Tenant work begins.

Tenant's electrical drawings shall include a complete lighting fixture schedule with lamp types indicated, complete panel schedules including manufacturer's catalogue numbers, and all switch, circuit breaker, and fuse information, complete heating, ventilating, air conditioning control wiring diagram, a one line diagram similar to that appended to this specification, indicating wire, conduit, transformer, circuit breaker switch

Include the following list of electrical data in the form indicated below, and located in the lower right hand corner of this drawing.

Item	Connected KVA	Demand KVA	Voltage	Notes
Lighting	_____	_____	_____	_____
Receptacles	_____	_____	_____	_____
Air handlers	_____	_____	_____	_____
Rooftop Units	_____	_____	_____	_____
Electric space heaters	_____	_____	_____	_____
Electric water heaters	_____	_____	_____	_____
Miscellaneous loads	_____	_____	_____	_____
Total connected load(KVA)	_____	_____	_____	_____
Design demand load(KVA)	_____	_____	_____	_____
Estimated billing demand load - summer	_____	_____	_____	_____
Estimated billing demand load - winter	_____	_____	_____	_____
Store business hours	_____ A.M.	_____ P.M.		
Additional store hours for cleaning, stock, etc.	_____ A.M.	_____ P.M.		

and fuse sizes and types.

## Codes and Specifications

The entire electrical installation shall conform to the latest editions of the National Electric Code and all local codes that govern as well as to this Tenant specification.

# MECHANICAL DESIGN CRITERIA

## All Tenants

### •H.V.A.C. SYSTEMS

A complete heating system shall be furnished and installed by the Landlord at the Tenant's expense, adequate for heating the Leased Area to 70 degrees F based on outside design temperature for the area as tabulated in the 99% column of the latest edition of the ASHRAE Guide and shall include air handling unit, motors, filters, grilles, thermostats, electric strip heating element, ductwork, wiring and controls. Space above ceiling may be used as a return air plenum. Ducts above ceiling shall be insulated. The size of the Tenant's unit and the design of the ductwork for the Tenant space are by the Tenant and/or his consultants.

A rooftop unit will be furnished and installed by the Landlord at the Tenant's expense. The rooftop unit system shall be sized to maintain a temperature not to exceed 78 degrees F D.B. and 50% R.H. based on outside design conditions for the area as tabulated in the 2-1/2% column of the latest edition of the ASHRAE Guide with an allowable rise of not more than 3 degrees F during peak periods. However, it is the Tenant's responsibility to verify the size and

operating capacity of the equipment serving their space. Landlord shall provide roof-mounted air handling unit. Landlord shall incorporate an economizer option with barometric relief mounted on the HVAC unit or a remote mounted exhaust fan. Tenant's rooftop unit shall be all gas/electric.

Tenant is to provide a smoke detector located in the return air duct. In case of fire and/or smoke, the smoke detector shall stop the supply fan and compressors.

Tenant must provide rest room exhaust through roof curb.

Design insulation values:  
Roof "U" factor: .09  
Exterior wall "U" factor: .07

Additionally, Tenant shall comply with mechanical criteria for Tenants, as required by Landlord and attached to the Tenant brochure.

Tenants shall provide exhaust from the Tenant's toilet facilities per code requirements. This exhaust shall run thru the roof, shall have provide a backdraft damper and be wired to a control switch in the restroom.

All odor and moisture producing

Tenant areas must be exhausted by special mechanical exhaust systems to the exterior. Such systems shall be designed to prevent odors and moisture from entering the mall and the Landlord's air conditioning system.

Any existing abandoned equipment and materials must be removed from the tenant roof area and disposed of at Tenant's expense as directed by the Landlord

### Tenant's System and Responsibilities

Location of rooftop equipment requires approval from the Landlord in writing. Engineering drawings showing structural loads added and all supports shall be furnished by the Tenant.

Structural plans and calculations must be reviewed and approved by the Landlord's engineer at Tenant's expense. All required roof penetrations shall be made by Landlord's roofing contractor at Tenant's expense.

Each Tenant is required to maintain their own HVAC system including roof top equipment.

The distance of each exhaust fan

from any RTU air intake shall be code.

### Mechanical General Requirements

#### •Load Calculations

Mechanical system load calculations shall be prepared for the Tenant's space. These calculations shall indicate the requirements for all plumbing and HVAC. HVAC load calculations shall be as recommended in the ASHRAE Handbooks and other ASHRAE publications.

The load calculations shall be submitted to the Landlord for review and record purposes. These calculations shall provide sufficient detail to allow further analysis using various parameters, factors and areas.

The materials to be used for general construction shall be confirmed with the appropriate design functions.

#### Outdoor Weather Conditions

From ASHRAE Handbook.

Summer: 2-1/2% design column.

Winter: Median of annual extremes column.

Local Weather Station: Coincident summer and winter wind

speed and direction.

#### Indoor Design Conditions

Summer: 20 degree F DB below outdoor design DB. But not lower than 75 degrees F DB nor higher than 80 degrees F DB. 50% maximum relative humidity.  
Winter: 70 degrees F DB

#### Heat Gain Calculations

Heat gain calculations shall be based on the time of peak heat gain (month, day & hour), considering coincident solar, thermal and internal environmental heat gains. Heat gain calculations shall be based on full internal heat gains (all lights on) and full outside air requirements at design conditions.

#### Heat Loss Calculations

Heat loss calculations shall be based on full heat loss and full outside air requirements at design conditions and no credit shall be taken for internal heat gains.

#### Cooling Load Calculations

Cooling load calculations shall be based on peak heat gain, but may take into account a 3 degree F DB temperature swing. Temperature swing shall be based on a minimum of six hours.

#### Heating Load Calculations

Heating load calculations shall be based on design heat loss.

If complete space usage and requirements are not indicated, the following factors may be used for load calculations purposes:

#### Minimum Internal Heat Gains

Lights: Leasable areas

5 Watts/Sq. Ft. Avg.

Common areas

3 Watts/Sq. Ft. Avg.

People: Leasable areas

50 Sq. Ft./Person Avg.

Restaurant type facilities

20 Sq. Ft./Person Avg.

Theatre type facilities

10 Sq. Ft./Person Avg.

Common Areas

50 Sq. Ft./Person Avg.

Medium Density Areas

30 Sq. Ft./Person Avg.

Heat gain per person as indicated in the ASHRAE Handbook.

Power: Leasable areas

0.2 Watt/Sq. Ft. Avg.

Common areas

0.2 Watt/Sq. Ft. Avg.

#### Minimum Outdoor Air Supply

(For load calculation purposes)

Minimum outdoor air supply shall meet or exceed all the following requirements:

As required by governing codes or regulatory agencies.

One air change per hour. (Considering up to 8 Ft. AFF.)

CFM per ASHRA Handbook; table

of outdoor air requirements. 110% of total exhaust air system capacities.

Note that some systems will include an economizer cooling system. Therefore, the above outdoor air quantities are for determination of heating and cooling loads only and not for design of air handling or control systems. Outdoor air is to be provided through the air tempering and filtration systems.

#### Minimum Exhaust Air Requirements

Minimum exhaust air requirements shall meet or exceed all the following requirements:

As required by governing or regulatory agencies.

Toilet room and similar spaces such as locker rooms, shower rooms, etc., shall have two (2) CFM per sq. ft. minimum exhaust.

#### Minimum Exhaust Air Requirements for Spaces with Special Usages

Kitchens: Exhaust as required by hood or component manufacturer.

Projection Rooms: Exhaust as required by manufacturer.

Spaces with internally generated odors or other contaminants, (such as cafeterias, fabric shops, clothing stores, etc.) provide approximately 2.5 FPM exhaust

velocity through the cross section of the space.

Conference Rooms: Provide a minimum exhaust of 30 CFM per person.

#### Minimum air Circulation

Minimum total air circulation for spaces with mechanical cooling shall be 6 air changes per hour. The minimum air circulation for air conditioning units shall be 400 CFM per nominal ton of capacity.

#### Air Balance Requirements

The total facility is to be maintained at a slight positive pressure by having the total building outdoor air supply exceed the total building exhaust by approximately 10%. Generally, the air pressure difference between spaces shall be maintained neutral except for special cases such as:

Food preparation and serving areas shall be maintained at a slight negative air pressure relative to the adjacent areas. This will generally be accomplished by having the space exhaust exceed the space outdoor air supply by approximately 10%.

Project rooms shall be maintained at a slight negative air pressure relative to the adjacent areas. Spaces with internally generated odors or other contaminants (such as cafeterias, fabric shops, clothing stores, etc.) shall be

maintained at a slight negative air pressure relative to the adjacent areas. This can generally be accomplished by providing the hereinbefore stated exhaust quantity and outdoor air supply based on population density. Space exhaust must exceed the space outdoor air supply by at least 10%.

#### •General Provisions

All equipment shall be located so as to be the least visible from the streets. All outdoor mounted equipment shall be finished coated to blend with the background if adjacent to a wall, or be screened from vision, if visible from the streets. All units will set level.

All components and equipment shall be provided with access for ease of maintenance and service. Provide a minimum of six (6) feet clear around all sides of HVAC equipment for maintenance, service and air circulation.

The Tenant contractor shall provide complete information and cooperation to the other contractors and trades as required for completion and coordination of the complete project. The Tenant contractor shall coordinate with the Landlord's general contractor and other trades, all required openings and excavations.

All required openings in foundations, floors, walls and roofs shall be designed into the structure initially by the use of sleeves, curbs, etc. Cutting and patching shall be held to a minimum.

All items projecting through roofs shall be flashed a minimum of 12" above the roof.

Provide access doors or panels for all valves, cleanouts, dampers, controls, devices, etc.

All workmanship and materials shall be of the highest quality in every respect and all materials and equipment shall be new and of the latest design and free of defects.

The Tenant contractor shall execute all work so that it proceeds with a minimum of interference with other trades and normal functioning of existing facilities and services.

All mechanical systems shall be finish coated and protected from weather or other adversities. Where possible, the finish shall be factory applied. The finish shall be coordinated to blend with the background. Colors must be approved by the Landlord's Architect.

The mechanical contractor shall

notify the Landlord's general contractor and receive approval before starting any work that affects the Landlord's building.

All roof mounted equipment is to be designed for use with full perimeter curbs. The mechanical contractor shall provide the curbs to the owner's general contractor for setting and installation. All connections to units shall be inside the perimeter curb.

All equipment is to be supported from structural members. No weight shall be placed on the roofing materials or insulation.

Condensate drainage from roof top HVAC units shall be trapped and run out onto the roof.

All roof mounted devices shall be labeled with the Tenant's name and space number. Identification shall be stenciled on at least two (2) sides of units with 2" high black letters.

The Landlord's review of plans and specifications is for general information only. The Landlord's review is not intended to be a check of proper design, engineering standards, code compliance, equipment application, etc.

All materials, tools and equipment

shall be stored within the Tenant's own leased space. The Landlord assumes no responsibility for the security of materials, tools, equipment, etc.

#### •Basic Materials and Methods

Design all piping and ductwork to present a neat and orderly appearance. Run all lines parallel with building walls and construction. Keep piping and ductwork free from contact with structure or equipment to prevent noise transmission, allowing clearance for expansion and construction.

Furnish and install sleeves for all pipes and ducts which pass through the building construction. Properly set sleeves in position before that portion of the construction begins and maintain in position until the construction is complete or the concrete is set. Sleeves below grade or passing through a waterproofing membrane shall be provided with a clamping ring and flashing device for use with the waterproofing membrane.

Properly seal space around sleeves and all space between sleeve and pipe or duct passing through.

Provide vibration isolation devices for all moving machinery. Provide flexible connections to all moving machinery.

All power using and heat exchange devices shall be provided with complete indicating instruments such as thermometers, gauges, ammeters, etc.

All piping and ductwork for public and office areas shall, in general, be concealed in walls and above ceilings. All pressure piping shall be above the floor where possible and accessible.

Roof curbs for equipment mounting shall be designed to structurally support the intended equipment.

#### •Insulation

Insulation will be required on all surfaces to retard undesirable heat transfer and to prevent condensation.

Insulation shall be applied to pipe lines and equipment only after they have been tested, inspected and all surfaces thoroughly cleaned of all moisture, foreign materials, grease and rust.

Insulation and shall be continuous through walls, floors, partitions, sleeves, etc., except where other-

wise indicated or specified.

All adhesives sealers and coatings shall be incombustible.

Provide insulation for cold water systems, refrigerant piping, hot water systems, ductwork, etc.

All above ground plastic drainage piping shall be insulated for sound control.

#### •Air Distribution

All air systems shall be low pressure as defined in the ASHRAE Guide. Dimensions shown for internally insulated ducts shall indicate external sheet metal sizes and allow for full thickness of the insulation.

All ductwork shall be shop fabricated. Site fabrication shall not be permitted unless the Owner's written permission is received prior to general contractor award. All systems shall be designed and components selected such that duct work external to the building will not be required. All air distribution devices and systems shall be selected for a noise criteria level of NC 35 maximum. Neck velocities shall not exceed 800 FPM.

Provide 100% outdoor air econo-

mizer systems for HVAC installations where ASHRAE Data reports that "average winter Temperature" as 55 degrees FDB or below; unless a heat recovery type system is provided.

The mechanical systems are to be designed with complete consideration of architectural and aesthetic requirements. The mechanical systems shall be designed to leave maximum clear heights under all suspended components. The designs also shall require little or no usable floor space.

Roof mounted equipment and components are to be designed with low silhouettes and clean lines and located where least visible. Roof mounted equipment and components shall be refinished in a color to blend with background or as directed by the Architect and/or Owner's designated representative.

Air diffusers, registers and grilles shall be designed to coordinate with the general construction and architectural treatment of the finished spaces. Exposed components shall be given a factory baked enamel or anodized finish in a color selected by the Architect and/or Owner's designated representative. Air diffusers, registers and grilles shall be mounted in

frames so the devices may be easily removed for maintenance and repair.

All supply diffusers and registers shall have fully adjustable air patterns. Ceiling diffusers shall have round neck connections and full air pattern adjustment. Flexible duct may be used to connect to diffusers, but must not exceed 8' in length.

#### •Exhaust Fans Power Roof Exhausters

Provide power roof exhausters of the low silhouette design in size and type as required. Units shall be complete with belt or direct driven centrifugal blower, motor and drive, aluminum or fiberglass housing, automatic back draft dampers with spring return, prefabricated unit mounting curb, internal fused disconnect switch, bird and insect screens, internal isolators and mounting has to match the installed curb. Select each unit for a maximum of 4,000 FPM top speed. Power roof exhauster shall be rated in accordance with AMCA standards. Maximum noise level rating of the unit shall be 8 sones. Furnish the necessary curbs, starters, switches, push buttons, interlocks and control devices. Units shall be as manufactured

by:

ACME Engineering and Manufacturing

Series PL or PRL

Jenn-Air Corp.

Series ICBS

ILG Industries Inc.

Series L-CBF or S-CBF

Penn Ventilator Co.

Series LC

### Ceiling Exhaust Fans

Acceptable Manufacturers:

Carnes

Cook

ILG

Jenn-Air

Penn Greenheck

Or approved equal.

Capacity: As required by Tenant Conditions and Criteria.

Features: Acoustically insulated housings designed for low sound level. Air deliveries shall be as indicated on the drawings and all fans shall bear the AMCA Certified Ratings label and the U.L. label. Integral backdraft damper shall be of neoprene non-metallic design and shall be totally chatter proof. Fan shall have true centrifugal wheel with inlet perpendicular to, or remote from, inlet grille. Grille shall be of aerodynamic design with baked white vinyl finish and provide 85% free open area.

Terminal box shall be provided on the housing with cord, plug, and receptacle inside the housing. Entire fan, motor and wheel assembly shall be removable without disturbing the housing. Fan speeds shall not exceed 1100 RPM and all fan motors shall be suitably grounded. Provide factory fabricated discharge cap specifically designed for fan and suitable for discharge arrangement indicated.

### •Controls and Instrumentation

Provide a complete system of electric or electronic controls for each HVAC system. The control applications and installations shall be as recommended by ASHRAE and the manufacturer. Complete wiring diagrams, schematic of systems, sequence of operation, material lists and catalog data for controls and systems shall be submitted.

Maximum control system voltage shall be 24 volts.

Thermostats to be mounted in public spaces shall be located approximately 7 to 8 feet above the finished floor and provided with a locking metal protective cover.

Thermostats shall generally be located at or under major air returns and protected from supply air streams.

Provide 100% outdoor air economizer systems for HVAC installations where ASHRAE data reports the "average winter Temperature" as 55 degrees FDB or below.

Each outdoor-return-relief air system shall be controlled by modulating damper motors with spring return. Control shall provide for:

Closure of outdoor and relief air dampers by spring return when supply and return blowers are off.

Control of dampers to minimum outdoor air position when supply and return blowers are on.

Provide the necessary controls for night cycles of the HVAC systems.

Provide the necessary time delay to prevent rapid recycle of mechanical cooling systems.

Provide the necessary smoke or ionization detectors and interlocking devices to close the dampers and shut down the roofing unit.

### Drawing Requirements

The following is a list of minimum design information required to be reviewed by the Landlord. This will serve as a checklist for the Tenant's design consultant.

- Identification of RTU and other equipment manufacturers, size and location
- CFM requirements for the Tenant space
- Mechanical Equipment specifications
- Duct sizes and heights above finished floor
- Diffuser and grill schedule
- Plenum return air system indicated
- Damper locations
- Typical hangar details from top chords of structure only
- Thermostat locations
- Control wiring diagrams
- Toilet exhaust detail
- Notes and specifications
- Heat loss and gain calculation sheet.
- Rooftop equipment locations, curb details and structural support details.
- Make-up air unit details and specification (if applicable)
- Specifications of all equipment showing make and model numbers
- Show air balance calculations for all tenants requiring a negative air balance



### •Design drawings

These drawings shall be complete showing all systems, equipment and details. Equipment layouts shall be accurate as to locations and provide generous access and clearances for maintenance and repair. The mechanical drawings shall be to scale and show the intention for the completed installation and construction details.

These drawings when completed, shall be submitted to the Landlord for review and record purposes.

HVAC Plans:

HVAC Ductwork Plans  
 HVAC Ductwork Details  
 HVAC Piping Plans  
 HVAC Piping Details  
 Equipment room Layouts  
 HVAC Schedules

Reflected Ceiling Plans:  
 Coordinate Mech., Elec., and Arch. Design

Roof Plan:  
 Coordinate Mech., Elec., and Arch Design

All mechanical designs, drawings and specifications shall be prepared by or under the direct supervision of a registered professional engineer licensed to practice mechanical engineering in the State of the proposed building site. His seal shall be affixed

to each and every mechanical drawing.

Each drawing shall have the Tenant space number in the title block. Plan drawings shall be tied dimensionally to Landlord column lines.

## Food Court Tenants

### •Tenant's System and Responsibilities

All exhaust fans serving food service areas shall be vertical upblast discharge.

Tenants expelling exhaust containing grease are required to provide a Landlord approved rooftop pan or protection apron to prevent any harm to the roof membrane. The Tenant shall maintain this rooftop unit on a monthly basis and provide the Landlord with a certificate recording the monthly service. It is the Tenant's responsibility to maintain the unit.

### Kitchen Exhausters

Roof mounted kitchen exhaust units shall be similar to power roof exhausters described above except exhaust shall be vertical up-blast, motor shall be out of the air stream and a full perimeter grease trough shall be provided. Installation shall be hinged at the mounting base with flexible electrical connections for easy access to

blower wheel and internal components. Units shall be as manufactured by:

Acme Engineering and Manufacturing Series PV or PRV  
 ILG Industries  
 Jenn-Air Corp. Series BT  
 Penn Ventilator Co.

### •Special Ductwork Systems Kitchen Exhaust Systems

Provide kitchen exhaust systems of sizes and types as required. Each system shall be complete with hood, grease filters, grease trough, grease collectors, dry type fire protection system, kitchen exhaust unit, etc. Kitchen exhaust systems shall be as required by NFPA, national and local authorities.

Cooking exhaust hoods shall be a minimum of 16 gage stainless Type 304 steel with all seams welded and ground to a No. 3 polish. Hood shall be complete with filter racks, grease gutters, grease collectors, fire protection system and completely accessible.

Grease filters shall have stainless steel media and frame and two (2) handles per filter.

Exposed ductwork shall be stainless steel as described for exhaust hoods above.

Kitchen exhaust ductwork shall be all steel constructed with continuous external welding or brazing. Duct system shall be suitable protected against corrosion.

Kitchen exhaust ductwork shall be installed so that grease cannot accumulate in any portion. Ductwork shall pitch not less than 1 inch per foot toward the hood or other grease reservoir. Air velocity through the duct system shall be at least 1500 FPM.

No duct system shall have openings other than those required for proper operation and maintenance of the system. Any portion of such system having sections inaccessible from the duct entry or discharge shall be provided with adequate cleanout openings. All cleanout openings shall be of sufficient size and located so as to permit a thorough cleaning of the entire system. Cleanout openings shall be equipped with tight fitting doors, constructed of metal which is equal to or greater in thickness than the ducts, and such doors shall be equipped with a substantial method of latching, sufficient to hold the door tightly closed. These doors shall be so designed that they can be opened easily without the use of a tool.

Ducts penetrating a wall or floor shall be enclosed from the point of penetration to the outside air. The shaft or enclosure shall be separated from the duct by a minimum of 3 inches and a maximum of 12 inches and this area shall be ventilated to the outside air. Such enclosure shall be sealed at the point of penetration. The shaft or enclosure shall be use exclusively to enclose a single grease exhaust system.

If cleanout openings are located in ducts within a fire-resistive shaft or enclosure, access openings shall be provided in the shaft or enclosure at each cleanout point. These access openings shall be equipped with tight-fitting sliding or hinged doors, equal in fire-resistive construction to that of the shaft or enclosure.

Every duct system shall have a clearance from combustible construction of not less than 18 inches. This clearance may be reduced to not less than 3 inches provided the combustible material is protected with materials as approved for one-hour fire-resistive construction on the duct side.

Motor, fans and exhaust outlets for grease hood duct systems shall comply with all applicable requirements and as specified in

Section 15830 and other sections of this criteria.

# PLUMBING DESIGN CRITERIA

## Plumbing General Requirements

Landlord has designed and installed the following utilities to each space.

Minimum 3/4" c. water, capped with shut-off valve.

A 4" capped sanitary sewer stub-out.

### All Tenants

#### •Gas

Gas Service is available for the Tenant's use at a point designated by the Landlord.

The Tenant shall design and install extensions of service from locations designated by the Landlord to the premises in accordance with governing codes and subject to Landlord's written approval.

#### Gas Piping Requirements

All sizes of gas piping shall be Schedule 40 black steel pipe with welded joints and fittings. Gas cocks and unions shall be installed ahead of each appliance.

Provide dirt leg at all connections. All welded gas piping in Tenant's space must be exposed. No gas piping is allowed in walls or under floors

#### •Drawing Requirements

The following is a list of minimum design information required to be reviewed by the Landlord. This will serve as a checklist for the Tenant's design consultant.

#### Location of Fixtures

Clean-out and floor drain locations

Domestic Water distribution

Water heater detail with relief valve and piping to floor drain

Location of sewer and vent connections

Water, waste and vent riser diagrams

Equipment schedules

Gas piping layout

Gas service metering

Grease interceptor location and details for food tenants

Each drawing shall have the Tenant space number in the title block. Plan drawings shall be tied dimensionally to Landlord column lines.

#### Plumbing Plans:

Plumbing under Floor Plans

Plumbing above Floor Plans

Plumbing and Piping Details

Plumbing Schedules

#### Plumbing Drawings of Tenant Space is to reflect the following:

Location of fixtures.

Clean-out and floor drain locations.

Domestic water distribution.

Water heater details with relief valve and piping to floor drain.

Location of sewer and vent connection.

Water, waste and vent riser diagrams (refer to page 61).

Gas piping layout.

Grease interceptor location and details (if required by local authority).

Tenant space number to be shown in title block.

Drawings to show column lines with designations.

#### •Design Standards

Piping shall be supported from hangers at an adequate distance with adequate supporting hanger rods fastened to building framing whenever possible. Support shall

not be fastened to roof decking.

Water supplies shall be valved at the fixtures

A relief valve must be shown on water heater

Tenant toilets shall be flush tank type

Tenants shall provide floor drains in each toilet room

Tenants shall provide accessible clean-outs in each toilet room

Water heaters shall be equipped with UL approved temperature and pressure relief valves.

Domestic hot water piping shall be insulated with minimum 1" fiberglass insulation having an all service jacket with self-sealing lip.

Roof drain leaders are located in various tenant spaces throughout the mall. They run under the roof to the exterior wall to below the

Minimum sizes of piping and connections shall be:

Fixtures	CW	HW	Waste	Vent	
Water Closet		1"	-	4"	2"
Urinal		3/4"	-	2"	1-1/2"
Lavatory		1/2"	1/2"	1-1/2"	1-1/2"
Wash Sink		3/4"	3/4"	1-1/2"	1-1/2"
Service Sink*		3/4"	3/4"	3"	2"
Laundry Tray*		1/2"	1/2"	1-1/2"	1-1/2"
Water Cooler		1/2"	-	1-1/2"	1-1/2"
Hose-Bibb*		1/2"	-	-	-
Mixing Faucet*	1/2"	1/2"	-	-	-
Underground Piping	1"	-	4"	-	2"

\*Provide hose connection with vacuum breaker.

floor. Pay careful attention to any roof drain leaders located within the Tenant space and allow for them during the design and construction of the space.

Locate all above floor piping in the joist space where possible. Locate above floor piping as close to bottom of joists and beams as possible where use of the joist space is not practical. Maximum clear heights are to be maintained because of architectural, electrical and other mechanical considerations.

Cleanout covers, floor drain strainers and access covers in finished floor shall have square tops.

#### •Plumbing Specifications

All under slab sewer piping must be cast iron with hub or no hub fittings

No plastic piping is allowed

Vents through the roof must be a 4" minimum

All water piping shall be copper and insulated

Under floor water piping must be Type K copper without joints

#### •Tenant's System and Responsibilities

Tenant shall provide a complete plumbing system within the leased premises from the Landlord's

distribution point. Tenants are responsible to follow all applicable codes in designing and installation of his system. Tenants shall install per code toilet room(s) with fixtures, electric hot water heater, drainage and venting.

### Food Court Tenants

Provide approved grease traps for all food preparation facilities and obtain approval from local administrative authority.

#### •Plumbing Specifications:

All under-slab sewer piping must be cast iron with hub or no hub fittings.

No plastic piping is allowed.

All water piping shall be copper and insulated.

Underfloor water piping must be Type K copper without joints.

#### •Food Court Tenant Responsibility:

Tenant shall provide a complete plumbing system from Landlord's distribution point (supply stub-out) within the leased premises, including but not limited to, all necessary labor, connections to supply stubs, piping, clean-outs, fixtures, etc., necessary for the satisfactory

operation of a plumbing system, unless noted otherwise on Tenant's lease.

Water is unmetered in the tenant space except for very large users. When tenant's water use is only for toilet and other minor uses, tenant will be billed monthly per toilet room for water service. Connection to Landlord's point of service and extend service according to tenant's requirements, applicable and local codes. Provide waterproof membrane at all wet areas (toilet room, sink areas, etc.) in all tenant spaces. Seal all floor penetrations; openings to be water-tight and vapor-tight.

The tenant shall provide an electric hot water heater; if gas-fired hot water heater is provided, tenant shall submit detail of the gas flue roof vent and its location for Landlord's approval prior to installation.

All water heaters must be located below ceiling with drain line to floor drain. If elevated above, it must sit in a galvanized pan with drain line to floor drain. Provide relief valve from water heater to nearest floor drain or pan.

Provide at least one floor drain and cleanout in each toilet room, kitchen and/or wet areas.

Com-

bustible piping (PVC) shall not be permitted.

Tenant must provide a hand sink and a three-compartment sink. Mop sinks are suggested. Each tenant shall supply solenoid valves in their gas supply line that will be interconnected to the exhaust hood fire extinguishing system, to ensure shut-down of gas-fired equipment. All gas piping shall be welded from Landlord-provided tap (except connections to equipment). Any tenant serving food or beverages located outside of the food court must have a restroom regardless of size.

#### •Interceptors

Food Court Tenants and restaurant Tenants shall provide and install grease interceptors in accordance with the governing health regulations and the Landlord's requirements. The Tenant shall maintain this grease interceptor on a monthly basis and provide the Landlord with a certificate recording the monthly service when it is completed. If on inspection by the management the unit is in need of service, the Landlord will have the required service completed and charge the Tenant for these expenses.

# FIRE PROTECTION AND FIRE ALARM DESIGN CRITERIA

## All Tenants

### •Fire Sprinkler Standards Landlord's System

The Landlord has a wet pipe fire sprinkler system located in the mall within different zones.

The Landlord's sprinkler contractor will add sprinkler heads or relocate heads as necessary to meet the code requirements for each Tenant at the Tenant's expense.

If the Tenant has a sprinkler main that he wants to move or relocate for whatever reason, the cost of the change to the Landlord's system will be by at the Tenant's expense.

Fire sprinkler inspection test valves and drain piping associated with the fire sprinkler system are located in various tenant spaces throughout the mall. These valves and drain piping must be left accessible.

### Fire Protection

All fire protection and sprinkler system work shall be in accordance with I.S.O. requirements, Fire Marshall, NFPA and Local Authorities.

The sprinkler system shall be a wet system serving all areas of the building.

Fire protection sprinkler system drawings will be provided by the Tenant. The sprinkler system

layout will be based on a standard grid and spacing as provided in the lease. The Tenant shall provide complete architectural, mechanical, electrical and reflected ceiling plans for purposes of sprinkler system design.

Submit design plans for approval to West Valley City Fire Department, Mr. Carl Andreason Fire Inspector (801) 963-3551.

### •Tenant's System

The Tenant shall alter the sprinkler system to include drops, heads, facilities for proper drainage and any necessary test valves, orifices or other equipment as may be required in accordance with the Landlord's Fire Insurance Underwriter. Any such alterations shall be performed by the Landlord's sprinkler contractor at the expense of the Tenant.

Before beginning any construction work, the Tenant shall forward two (2) copies of the Tenant's fire sprinkler drawings to the Landlord's Fire Insurance Underwriter for their written approval.

Any damage caused by the Tenant to the Landlord's system will be repaired at the Tenant's expense.

Sprinkler heads in areas without ceilings will be upright bronze heads. Sprinkler heads in finished

ceilings will be pendant chrome heads. Each type of head must be approved by the Landlord's insurance carrier.

In the Control Zone Area, the only heads allowed will be fully recessed with covers painted to match adjacent materials.

Upon completion of the system, the Tenant shall submit a written certificate to the Landlord from the Landlord's Fire Underwriter stating that the system was inspected and approved.

### •Additional Requirements

Each Tenant must have his name and Tenant space number located on the corridor side of his rear service door as required by the Fire Department.

### •Food Court Tenants

In addition the above requirements, Food Court Tenants will be required to provide Landlord approved and code approved, stand alone fire extinguishing systems to cover the commercial cooking equipment, including but not limited to all cooking surfaces, exhaust hoods and ductwork. Fire extinguishing systems for fryers are to be wet chemical type.

### •Emergency Lighting

Each Tenant shall provide battery-operated type, or other type of emergency lighting in the sales area and stock room leading to emergency exits. Indicate emergency lighting symbols/types on electrical plans. Normal power for battery-type lights shall be provided from locked branch circuit breakers off Tenant's distribution panel board, as required by governing code.

### •Fire Extinguishers

Tenant shall furnish and install fire extinguishers of the type, capacity and rating as required by applicable codes. Locations shall be determined by the authorities having jurisdiction. The number and location of extinguishers will be established by the local inspection authority on an individual basis.

## MISCELLANEOUS CRITERIA

### Roof Access

Access to the roof is restricted to the Landlord's personnel and designated Contractors only.

### Roof Penetrations

Roof Penetrations require advance approval by the Landlord. All roof work including cutting of the roof membrane shall be performed by the Landlord's Roofing Contractor under contract to the Tenant and at the Tenant's expense. All work including flashing, curbing and any required structural supports shall be installed in accordance with the Landlord's standard project details.

The roofing contractor at the Tenant's expense shall provide roof protection around any roof top HVAC equipment.

### Structural Revisions

Under no circumstances shall the Tenant or his Contractors or Sub-contractors cut or modify the Landlord's structural members, expansion joints, wind bracing, columns, beams and bridging.

Supplemental structural framing shall be installed by the Tenant to adequately support the Tenant's rooftop equipment within the Ten-

ant's space. This shall be done in accordance to the Landlord's Standard Project Details.

If the Landlord's Standard Project Details cannot be utilized, then new details must be submitted to the Landlord for his review. Any cost for engineering analysis will be borne at the Tenant's expense.

### Floor Slab Conditions

Throughout the Tenant lease space, the maximum allowable floor live load is 100 pounds per square foot. The Tenant's construction, fixtures and normal occupancy shall not exceed this maximum load.

Saw cutting of the floor slab will be permitted only after notification and approval by the Landlord. Concrete slab must be re-installed per Landlord's requirements.

The Tenant shall install a minimum of 6" thick concrete slab on compacted fill with minimum of 3000 psi structural concrete with welded wire mesh or fiber reinforcing. The new slab in-fill must be doweled into the Landlord's existing slab.

### Base Building Modification

Any modifications to the Land-

lord's base building systems including, mechanical, electrical, structural, plumbing, fire sprinkler to accommodate Tenant's work shall not be performed without written approval from the Landlord for each item.

Any modifications done by the Tenant to the Landlord's building and systems shall leave the Landlord's property stronger than the original design. If engineering analysis is required, the Landlord's engineer will perform the work at the Tenant's expense.

Modification to the existing structure is not permitted without written approval from the Landlord.

Support wires for lay-in ceiling grid, lights, and HVAC equipment shall not be connected to any of the Landlord's mechanical, electrical, plumbing or fire protection piping, equipment or roof.

### Mechanical, Electrical or HVAC revisions

In the event the Tenant's store design requires mechanical, electrical or HVAC revisions to the Landlord's systems, the Tenant shall request in writing and receive approval from the Landlord in writing before any modifications are made.

The Tenant shall provide engineering plans as applicable and required by local code jurisdictions. The Tenant shall reimburse the Landlord for all of the direct costs to the Landlord.

# TENANT CONTRACTOR'S GUIDELINES

## Parking

Parking for construction personnel will be permitted only in designated areas per Landlord's instructions.

## Barricades

The Tenant's General Contractor shall erect a 12'-0" high construction barricade to separate the Tenant's construction area from public access during construction of the Tenant Storefront. The barricade must cover the entire storefront width and be constructed using 3-1/2" metal studs and gypsum board taped, sanded and painted per Landlord's requirements. The barricade shall extend into the mall space a maximum of 48".

## Mall Floor Protection

The Tenant, contractors and sub-contractors, are responsible to protect the mall floor by providing a temporary floor overlayment either of plywood or masonite. The Tenant, as directed by the Landlord, must pay for any repairs or replacement of the mall's common area floor to the lease line if the floor has been damaged during the construction and move in process. Repair and replacement work will be done by the Landlord's contractor and paid for by the Tenant.

## Protection of Work

Tenant and Tenant's Contractor shall protect the Landlord's property and the work of other Tenant's from damage by Tenant, Tenant's Contractor, their employees and sub-contractors.

## Construction Access

All construction access shall be through the rear of the store where applicable. No materials or deliveries are permitted through the mall common area during operational hours of the mall. Any deliveries through the mall shall in no case exceed a load on any cart to exceed 200lbs per wheel. Any exception to the floor load limits shall be pre-approved in writing by the Landlord.

## Trash Removal

The Tenant is responsible for removal of trash during construction, fixturing and stocking. Trash removal shall be performed using dumpsters accessed from service corridors during hours the mall is in operation. Stores without rear access will be required to remove their trash after mall business hours. Trash and building materials will not be allowed to be stored in the exit corridors at any time.

## Electric Service

Temporary electric service is available when requested in writing. Temporary service shall be in accordance with any applicable city code, service provider requirements and permission of the Landlord.

## Fire Extinguishers

Tenant's Contractor shall provide fire extinguishers within the premises as required by Landlord's insurance company and/or public safety officials and as reasonable care would dictate.

## Field Conditions

It is the responsibility of the Tenant's Architect, Engineers, Contractors and Sub-contractors to field check all dimensions, utilities, locations and conditions prior to and during construction.

## Quality of Work

All work performed by the Tenant's contractor shall be performed in a quality manner. The Tenant shall require any work performed on the premises to be guaranteed to be free from any and all defects in workmanship and materials for 1 year from the date of completion.

The Tenant shall also require that their contractors repair or replace any work found defective within one year of completion without

any additional cost. All warranties and guarantees shall be written in such a way as to benefit the Landlord as well as the Tenant.

## Work Practices

All work practices and personnel performing work in Tenant's space must be compatible with the practices of personnel employed by the Landlord, the Landlord's Contractors and sub-contractors. Unsuitable language and or actions, smoking, tobacco products, alcohol and drugs are strictly prohibited. Upon notice that any work practices or personnel are not compatible, the Tenant shall be responsible for the immediate termination of said practices or the immediate removal of said personnel from the shopping center property.

## Coordination

Any and all Tenant work shall be coordinated with the Landlord's on site tenant coordinator. Each Tenant's work shall not interfere with other adjacent Tenants.

The Tenant or his contractors shall not deliver any materials or begin any work without first conducting a pre-construction meeting with the Landlord, providing a copy of the building permit, contractor's license, certificate of insurance,

list of subcontractors and an approved construction schedule.

### **Changes in Design or Materials**

Tenant or Tenant's Contractor shall not deviate from the approved drawings and specifications without obtaining written permission from the Landlord and the applicable governmental agencies.

### **Construction Hours**

The Tenant's contractors shall not perform any work during hours of mall operation that would disrupt other Tenants. This work would include concrete and steel cutting and core drilling.

The Tenant's contractors shall obtain Landlord's prior written approval for any work involving the building's structural system, HVAC systems, electrical systems and plumbing systems.

All work performed by the Tenant's contractors shall be performed in strict accordance with the Landlord's approved Tenant construction documents.

### **Insurance**

Tenant's contractor shall fulfill the following insurance requirements

and shall maintain with no expense to the Landlord.

Workers Compensation Insurance \_\_\_\_\_

General Liability Insurance with limits of not less than \$2,000,000.00 combined single limit for bodily injury and property damage, including personal injury. Such insurance shall cover all work provided by the contractors and his sub-contractors.

Motor Vehicle Liability Insurance in the Contractor's name for all owned or leased vehicles with limits of not less than \$2,000,000.00 combined single limit per occurrence for bodily injury and property damage.