

# QUEEN CREEK MARKETPLACE

APPROVED DESIGN GUIDELINES - APRIL 19, 2006





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## Introduction

The **Queen Creek Marketplace** Planned Area Development (PAD) is located on approximately 133 acres at the southwest and southeast corners of Rittenhouse Road and Ellsworth Loop Road, north of Ocotillo Road in the Town of Queen Creek ("Town"). The project consists of two separate parcels, approximately 32 acres (22 net acres) of land located at the southeast corner and approximately 101 acres (90 net acres) of land at the southwest corner. The specific requests to the Town include the following:

1. Amendment to the existing C-2 PAD on the property in accordance with Article 4.10.A of the Town's Zoning Ordinance.
2. Final site plan approval for Phases 1A, 1B, and 1C, in accordance with Article 3.6.D(2) and 3.6.E(3) of the Town's Zoning Ordinance.
3. Design Guidelines approval, including the comprehensive sign plan included herein, for the Queen Creek Marketplace PAD.
4. Approval of requested modifications to the Town's Development Standards as included herein, in accordance with Article 4.10.G of the Town's Zoning Ordinance.

## Project Description

The Queen Creek Marketplace PAD is designed as a distinctive retail development offering a wide variety of retail goods and services for the residents of Queen Creek. The overall site design concept results in a strategically integrated shopping center, providing a family atmosphere in a pedestrian-friendly environment. Although separated by Ellsworth Loop Road, the overall development has been designed with complimentary building elevations, colors, materials and landscaping. In addition, a combination of entry elements and staggered building planes define the project and create a massing of elements typical to smaller scale projects. The intent is to compliment the pedestrian-oriented Town Center theme defined in Queen Creek's General Plan.

The proposed development will be designed and built in stages, allowing for the completion of lighting, paving, landscaping, infrastructure and required retention/detention of all buildings. Off-site improvements will include signaling, street lights, landscaping and infrastructure.

The project features industry-leading building and design techniques with sustainable building types that are environmentally sensitive. Queen Creek Marketplace will include such techniques as water-harvesting, light-colored roofs and other design elements and features that are typically found in "green-oriented" developments. The end result is a more sustainable and environmentally-friendly project that will help to conserve, among other things, over 1.5 million gallons of water per year.

Queen Creek Marketplace will accommodate a variety of retail users that include anchor and junior anchor tenants, casual-themed sit-down restaurants, fast-food restaurants, banks, and other typical retail shopping uses along with a multi-screen movie theater with typical attendant uses. The organization of the perimeter buildings will provide a relationship to the overall project to assist in the reduction of massing and the impact of the parking areas, and to facilitate easy access around the site. The project will include shaded pedestrian walkways to create separation of the parking fields and tie the internal retailers to the perimeter buildings. Site amenities will be distributed throughout the project in both the length and the depth of the site. These amenities shall be, but are not limited to, raised

access planting areas, concrete paving surfaces, brick-like cobble pavers, seating areas, accent lighting, fountains, misting systems and public art.

The boundaries of this site allow for maximum frontage along Rittenhouse Road and Ellsworth Loop Road, and the orientation of the site plan, landscape concepts and buffers, as well as building architecture and placement has been focused on creating a major gateway appearance at the intersection of Rittenhouse Road and the Ellsworth Loop Road. This creates a strong commercial intersection with a variety of building sizes and orientation with similar architectural elements establishing a strong sense of arrival and continuity at this major intersection.

## Phasing

The necessary onsite and offsite improvements will be determined in accordance with Town of Queen Creek requirements, guidelines and stipulations. Additionally, within 30 months from the Schedule of Performance Commencement Date there shall be completed construction of approximately 250,000 square feet, within 48 months approximately 500,000 square feet will be completed, within 72 months approximately 750,000 square feet will be completed, and it is anticipated that within 96 months 90 percent of the floor area reflected on the site plan will be completed.

## Approved PAD Modifications

Article 4.10.G of the Town's Zoning Ordinance allows for the Town Council to determine that, due to the complexity of the project, sensitivity of the area and scale of the project that certain modifications of the requirements of the underlying zoning may be permitted upon finding that the proposed land use meets the minimum PAD or General Plan requirements. Because of the complexity and scale of the Queen Creek Marketplace PAD and its prominent role in facilitating transportation corridor improvements and establishing standards of high quality development in the Town Center, there are a few development standard modifications that have been approved in conjunction with the Queen Creek Marketplace PAD, which include:

### ***Zoning Administrator Approval of Major, Shop and Pad Building Configurations within Town Council Approved Building Area Envelopes***

The Zoning Administrator shall approve final site plans for structures located within the building envelopes that are substantially consistent with the building elevations and design criteria outlined in these Design Guidelines: Majors A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R and S; Shops C, D, E, F and G; and Pads C, D, E, F, G and H. The Zoning Administrator shall review Shops A and B and Pads A, B, I, J, K, L and M as an administrative item. The Commission's recommendation shall be forwarded to the Town Council, who shall review the recommendation as an administrative item, and if the Council denies approval of the final site plan and elevations, the applicant may either resubmit to the Zoning Administrator or apply to amend the PAD through the required zoning procedures.

### ***Parking Lot Landscaping***

The PAD satisfies the Town's required 20' walkway aisles every fourth row, and although the Town requires an additional full landscape aisle every ten (10) stalls, the PAD proposes a parking lot landscaping equivalency by providing 9' wide landscaped medians between the Town's required 20' wide shaded pedestrian walkways, with trees approximately 30' on center. In lieu of the landscape aisles every 10 stalls, the PAD proposes 6' x 6' landscape diamonds every six spaces (maximum). These solutions to the parking lot landscaping will offer 92 additional trees (approximately 50 percent more than required) while providing additional shading and minimizing the impact of the parking field. Additionally, it will help to concentrate the pedestrian activity to the 20' pathways while allowing the maximum available convenient parking to the retailers and restaurants. The parking lot landscaping shall conform to the proposed parking lot standards as outlined in these Design Guidelines.

### ***Parking Stall Size***

The Town requires parking stalls to be 10' x 19'. In order to allow for additional parking field landscaping and to provide an adequate parking ratio for the retailers and restaurants within the PAD, a minimum of 1,407 stalls (33%) shall be 10' x 19'. Additionally, a minimum of 162 stalls (4%) shall be handicap spaces. The remainder of the parking stalls will be reduced to 9' x 19' throughout the remainder of the parking field (approximately 63%). By reducing parking stall sizes, it allows for adequate parking ratios for the proposed full service, casual-themed sit-down restaurants that require additional parking spaces than typical retailers.

### ***Overall Landscaping Requirement***

The Town requires an overall landscape requirement of 25 percent of the net site area. The PAD shall provide 23 percent landscaping of the net site area. The two percent deviation of the landscape percentage is justified because of the special attention to detail in the landscaped areas, the excess of trees provided, as indicated on the Shaded Walkway and Typical Parking Island Exhibit proposed throughout the parking field and the specially enhanced entrance features, pedestrian courtyards and the Town's desire to optimize utilization of the commercial area for more restaurant and retail uses, thereby necessitating more parking areas. Furthermore, in order to help offset the approximate two percent reduction in the overall landscaping requirement, the public art features, by way of a community involved public art display area will provide additional areas for pedestrian activity.

### ***Landscape Buffer at Arterial Intersection***

The Town's Zoning Ordinance requires a 50' x 250' landscape buffer at the intersection of two arterial streets. The PAD provides the required 30 foot landscape buffer along all frontage areas, including the area at the arterial intersection. However, the new design of the Ellsworth Loop Road at the intersection of Rittenhouse anticipates a 20' grade separation between the arterial roads. The intersection will be designed as a focal point of the development; however, the expected aesthetic benefit of a 50' x 250' landscape buffer will not be realized at the new intersection because of the extreme grade separation and therefore shall not be required as part of the PAD.

### ***Light Pole Height***

The proposed development consists of approximately 133 acres and in order to provide a more even distribution of lighting throughout the parking lot, lighting fixtures that range in height from 17.5' to 30' shall be permitted for the PAD. This will allow the use of less light poles while at the same time provide safer conditions throughout the parking lots. Light fixtures shall not exceed 30' in height throughout the interior of the commercial uses, which is lower than the typical building heights, and shall be reduced to 17.5' along the perimeter of the project. Additionally, all light fixtures shall be period lighting and similar in style, as shown in these Design Guidelines.

### ***Maximum Building Height***

Article 6.17.E.3(b)(12) of the Zoning Ordinance limits building heights to 35 feet. The PAD proposes various architectural features in order to enhance the overall design of the center and shall permit a maximum building height of 40 feet (for all architectural features, embellishments, etc.) as measured from the finished floor of each building.

### ***Comprehensive Sign Plan***

All signs for the Queen Creek Marketplace PAD shall be subject to separate permit, review and approval by staff prior to issuance of occupancy permits for the project and shall be approved by staff if substantially consistent with the Town Council approved Design Guidelines and sign criteria. The following signage shall be allowed for the PAD:

- One (1) primary entry feature wall sign not to exceed 100 square feet to be located at the intersection of Ellsworth Loop Road and Rittenhouse Road intersection;
- Six (6) entry feature wall signs for Queen Creek Marketplace identification not to exceed 50 square feet per sign;
- Three (3) monument multi-tenant signs, three on Ellsworth Loop Road and three on Rittenhouse Road, for main tenant identification not to exceed 40 square feet. Sign height shall not exceed 16 feet per sign;
- Eight (8) Pad signs, four (4) on Ellsworth Loop Road and three (3) on Rittenhouse Road, not to exceed 40 square feet per sign;
- Five (5) vehicle directional signs not to exceed 12 square feet per sign;
- Building mounted signage shall be allowed as shown in the sign package in these Design Guidelines. Wall signs will be calculated by multiplying 1.5 square feet times the length of building(s), store front(s) or tenant frontage. Tenants with store frontage less than 33 linear feet shall be permitted a minimum signage of 50 square feet.



## **Architecture and Design Theme**

### ***Architectural Theme***

A rural village-theme has been designed for the Queen Creek Marketplace to create a pedestrian-friendly shopping environment in an atmosphere indicative of the rural history of the Town. This is achieved by providing a variety of building materials and colors, massing, and a strong focus on building orientation. In addition, a substantial amount of pedestrian amenities have been provided throughout the development such as considerable landscaping at all internal intersections and pedestrian crossings. Furthermore, shaded walkways and canopies have been provided throughout parking areas, along store fronts, and in between buildings to make pedestrians more comfortable in the warmer months.

### ***Site Planning***

Through many discussions with staff and Town officials, the master site plan has evolved into a cohesive development with many unique features. The development has clear points of ingress and egress which are oriented to the major traffic corridors. This application is for an Amendment to the existing C-2 PAD Zoning; therefore the restrictions for auto-oriented uses, as outlined in Article 4.7.C.6 of the Town's Zoning Code do not apply.

Pedestrian corridors have been clearly established to bring people from adjacent streets and developments into and through the project with points of interest along the way. Major clustering of the retail buildings help to minimize the impact of parking fields viewed from the public right-of-way. The project perimeter will feature a consistent 30 foot landscaped setback along all adjoining streets to buffer the project with a rural character. Major entries will be marked with project identity elements, specialty lighting, enhanced paving treatments and landscaping to create a sense of gateway.

### ***Building Elevations***

The building elements and character of Queen Creek Marketplace will incorporate design sensitivity and accuracy of detailing some of the architectural elements included in the design guidelines, including brick veneer, metal roofing, an approved materials and color palette, green screen woven-steel lattices, accent light fixtures, decorative pavers, and enhanced concrete. The building elevations will match Article 5.10 of the Town's Zoning Ordinance in preserving the small-town characteristics of the Town, including details, materials, colors, and finishes. Large single use buildings are designed to create easily identifiable areas as entries, porticos, arcades, or towers. Large, uninterrupted wall planes are minimized, and all sides of structures visible from adjacent streets are given architectural emphasis. The design character also allows for numerous roof forms including gables, hipped roofs and flat cornices. This variety is intended to give the project a unique flavor and be consistent with the rural-village concept. Building entries will be focal elements and easily identifiable landmarks in the center.

The architectural exhibits contained within the design guidelines will be the basis for additional design development for specific feature-user tenants. Key design elements will be used for all proposed buildings throughout the two sites. Flexibility of architectural character allows for final design development for specific tenants with the greatest variety of architectural elements, massing, and use.

Colors and materials for the project will reflect a neutral palette of stucco, brick, patterned block, steel details, metal roofs, and integral colored concrete. Pad buildings and shops will be required to provide design elements, materials and colors that are compatible

with the design concept. Accent colors and materials outside of the palette may be allowed anywhere within the project if they are deemed appropriate by the developer and Town staff.

Building massing will emphasize horizontality in keeping with the historical, agrarian character of the Town.

### ***Screen Walls***

Screen walls shall be decorative and designed to compliment the color, materials, and design of the project. Screening along the Rittenhouse and Ellsworth frontages are proposed to replicate split-rail fences to evoke the rural heritage of the area and will be used in combination with decorative and masonry screen walls and landscaped berms. Twelve foot high screen walls at truck docks will be provided as indicated on final design of loading areas and will only be provided where docks are exposed to public view. No gates will be provided at the truck docks. Loading bay and service bay doors will be screened from street view. The orientation of free-standing pad buildings which have drive-up or drive through requirements will be in compliance with Town Development Standards. The screening of the drive-up or drive through windows will be achieved with berming and screen walls or a combination of berming and screen walls.

### ***Setbacks***

Building setbacks and landscape setbacks will be in compliance with the C-2 Zoning standards of the Town, except as requested in the development standard modifications outlined herein. The corner of Rittenhouse Road and the Ellsworth Loop Road will be designed as a focal point for the main project. All of the building setbacks will include a 30 foot landscape buffer from the arterial street. All site visibility issues shall be in compliance with the standards enforced by the Zoning Code.

### ***Project Amenities***

The Town's Superstore and Big Box Retail User section of the Code requires certain design features and community spaces be integrated into the site. The PAD exceeds the Town's requirements and provides pedestrian oriented courtyards, outdoor seating areas, shade covered arcades and generous planted areas as integral amenities for the project. Misting systems at pedestrian areas, such as outdoor dining areas and along arcades, will reinforce the cooling effects of the overall design. Water features and fountains will be used in strategic locations throughout the project for the enjoyment of all visitors (see Pedestrian Linkage Exhibit and Site Details and Amenities Exhibits for specific locations and amenities).

According to the Town's development standards, public art is a requirement for the PAD. Designs for the public art element required under Section 6.17 Superstore and Big Box Retail Uses shall be provided prior to recordation of the final plat or the Certificate of Occupancy for the first user. A minimum of three (3) plazas with public art will be located where indicated on the master site plan unless alternative locations are approved by the applicant and town staff.

Project lighting will be accomplished with several distinct types of fixtures, depending on the function and aesthetic of each area. Parking areas will feature 30 foot high, shielded poles in neutral colors to help reduce their visual impact. These fixtures will be reduced to 17.5 feet along the perimeter of the project. Specialty fixtures with an historical profile will be used throughout the project to provide unique rural character and lighting levels specific to the location. Additionally, wall-mounted lighting at key building locations such as arcades and doorways will provide safety, accent and visual interest for the project.

**Impervious Surface Ratio (ISR)**

In meeting the Town’s objective for limitations on impervious surfaces, the project incorporates several design strategies to address the goal of lessening the heat island effect for the project. The stated ISR maximum for commercial zoning is 70 percent, which by definition includes all hard surfaces: buildings, parking areas, and pavement. Inversely, the site should have at least 30 percent of its horizontal surfaces which allow percolation, or at a minimum reduce the absorption and re-radiation of heat in the local environment. In the environment, the greatest absorption of heat occurs at dark colored surfaces, like asphalt paving. Reducing or offsetting asphalt surfaces with lighter colored or textured surfaces like decorative concrete paving is a design strategy the project has employed.

The majority of the buildings in the project will have horizontal roof surfaces with considerable high heat reflectance due to their Light Reflectance Value (LRV). The reflectance value of an individual color indicates the amount of light and heat that individual color will reflect. Black (like asphalt) has a reflectance value of zero and absorbs all light and heat. On the other hand, white has a reflectance value of nearly 100 and keeps a building light and cool. Light colored roofs with LRVs of at least 80 are favored by retailers nationwide, and particularly in this solar rich region.

The project features industry-leading building and design techniques with sustainable building types that are environmentally sensitive. Queen Creek Marketplace will include such techniques as water-harvesting, light-colored roofs and other design elements and features that are typically found in “green-oriented” developments. The end result is a more sustainable and environmentally-friendly project that will help to conserve, among other things, over 1.5 million gallons of water per year.

The project will also employ other direct cooling methods such as misting systems at pedestrian arcades, fountains, and shade elements to create a day-to-day cooler environment within the project. Additionally, light colored decorative concrete pavers for hardscape areas and pedestrian walkways, installed on a sand base to allow water percolation and reduce heat gain, will be used. Gravelpave, which is an ADA compliant compacted gravel, may also be incorporated in pedestrian walkways in the parking lots.

**ISR Calculation**

<b>Contributing Feature</b>	<b>Total Area</b>	<b>Percent Applied</b>	<b>Total Applied</b>	<b>Percent of Site</b>
Landscape Areas	873,272sf	100	873,272sf	22.2%
Reflective Surfaces	782,221sf	50	391,110sf	10%
Total % Provided				32%
Total ISR Provided				68%

**Williams Gateway Airport Impact**

The Queen Creek Marketplace PAD lies within the least impacted overflight area known as “Airport Overflight Area III.” There are no residential land uses within the Queen Creek Marketplace. Applicant will provide the requested “Aviation Easement;” however, the “Aircraft Noise Disclosure Statement” and the “Notification on the Plat” are more typically utilized for residential development projects and are not necessary for this commercial development.

**Compliance with Article 6.17.C.6 – Parking Between Building Facades and the Principle Abutting Street**

The Street Frontage Exhibit in these design guidelines demonstrates the projects’ compliance with this development code section.

**Conclusion**

Approval of the subject requests will allow Vestar the opportunity to provide a high-quality shopping center with a variety of retail uses and services. Careful attention has been paid to common architectural design, color and materials, landscaping and amenities, traffic movement and convenient and safe parking and pedestrian access. The result is a quality development that will help to serve the residents of the Town and preserve the unique character of Queen Creek.



**QUEEN CREEK MARKETPLACE PAD  
ORDINANCE 348-06  
CONDITIONS OF APPROVAL**

1. Planned Area Development Modifications:

A. The Zoning Administrator shall approve final site plans for the following Majors, Shops and Pads for structures located within the building envelopes that are substantially consistent with the building elevations and design criteria outlined in the Design Guidelines as approved by Town Council.

Majors: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S

Shops: C, D, E, F, G

Pads: C, D, E, F, G, H

The following Shops and Pads shall be submitted to the Zoning Administrator for review with the Final Site Plan and Design Guidelines approved by Town Council. The Zoning Administrator's recommendation shall be reviewed by the Planning Commission as an administrative item and its recommendation shall be forwarded to the Town Council. The Town Council shall review the recommendations as an administrative item. If the Town Council denies approval of the Final Site Plan and Elevations, the Property owner/applicant may either re-submit to the Zoning Administrator or apply to amend the PAD through the required zoning procedure.

Shops: A, B

Pads: A, B, I, J, K, L, M

B. Parking field (lot) landscaping will conform to the "Proposed Parking Lot Standards" in the Queen Creek Marketplace Design Guidelines booklet.

C. Parking stall standards:

- A minimum of 1,407 (33%) parking stalls will be 10 feet wide.
- A minimum of 162 (4%) will be handicapped spaces.
- The remaining (63%) of the parking stalls shall be 9 feet wide.

D. The overall site landscaping for Phase I shall be 23% of the net site area.

E. A 50' x 250' foot landscape buffer is not required at the southwest corner of Ellsworth Loop Road and Rittenhouse Road intersection.

F. The Parking field light fixtures shall not exceed a height of 30 feet. Light fixtures located on the perimeter of the project shall not exceed a height of 17.5 feet. All lighting fixtures shall be period lighting and similar in style.

G. The Maximum Building height for entrances, architectural features, embellishments, arcades, towers, outdoor areas and porticos shall be 40 feet.

H. All signs for the Queen Creek Marketplace shall be subject to separate permit, review and approval by staff prior to issuance of occupancy permits for this project and shall be approved by staff if substantially consistent with the Town Council approved Design Guidelines and sign criteria. The following signage shall be allowed for this project:

- One (1) primary entry feature wall sign not to exceed 100 square feet to be located at the intersection of Ellsworth Loop Road and Rittenhouse Road intersection.
- Six (6) entry feature wall signs for Queen Creek Marketplace identification not to exceed 50 square feet per sign.
- Three (3) monument multi-tenant signs, three on Ellsworth Loop Road and three on Rittenhouse Road, for main tenant identification not to exceed 40 square feet, Sign height shall not exceed 16 feet per sign.
- Eight (8) Pad signs, four on Ellsworth Loop Road and three on Rittenhouse Road, not to exceed 40 square feet per sign.
- Five (5) vehicle directional signs not to exceed 12 square feet per sign.
- Building mounted signage shall be allowed as shown in the sign package. Wall signs will be calculated by multiplying 1.5 square feet times the length of building(s), store front(s) or tenant frontage. Tenants with store frontage less than 33 linear feet may have a minimum signage of 50 square feet.

2. This Ordinance hereby amends and repeals conditions of approval in Ordinances 180-00 and 314-05 for any portion located within the approximately 133.01 acres.

3. Dedication and improvement of rights-of-way for Ellsworth Loop Road, Rittenhouse Road shall be accomplished as part of the approved development agreement and shall be required with construction of Phase I as indicated in the Development agreement approved on June 15, 2005 by Resolution 502-05.

4. Full street dedication and improvement of rights-of-way for Victoria Lane will be required as part of the construction of Phase I and completed prior to the first occupancy permit.

5. Developer shall create a Property Owners Association (POA) for the maintenance of all landscaping within the open spaces, local, collector and arterial rights-of-way as shown on the final plat.

6. Any areas of the site, which are left open and not landscaped or hard surfaced for parking, shall be stabilized for dust control consistent with Town ordinances.

7. Delivery shall be allowed on 24 hour basis as per Article 6.17.C7.f. The applicant shall provide documentation at the time of building occupancy that noise emissions are reduced to a level of 45 db or less.

8. All engineering and fire department comments and requirements shall be incorporated into final engineering and architectural plans prior to issuance of any building permits.
9. A Final Landscape, Site Plan, all improvements (on-site and off-site), Elevation Plan and wall plan shall be provided for review and approval by staff prior to issuance of any building permits. Said plan shall comply with the Queen Creek Zoning Ordinance. All non-turfed areas shall be covered with decomposed granite and sized 1/2" in accordance with code requirements.
10. A Final Plat shall be provided for review and approval by Town staff with final approval by Town Council prior to recordation.
11. The Developer shall be responsible for obtaining all cross-access easements from the property owners within the project or recording a comprehensive "Restrictions, Easements and Agreements" document. Said document shall be reviewed by Town staff and Town attorney as to appropriate document with the first lot split or final plat process.
12. No roof mechanical or HVAC equipment shall be visible from any surrounding properties or the adjacent street as per code.
13. Designs for the public art element required under Section 6.17 Superstore and Big Box Retail Uses shall be provided prior to recordation of the final plat or the Certificate of Occupancy for the first user. A minimum of three (3) plazas with public art will be located where indicated on the master site plan unless alternative locations are approved by the applicant and town staff.
14. All arterial and collector streets, unless modified by this development plan, shall have a 30' wide landscaped tract adjacent to the right-of-way.
15. All improvements, as well as perimeter wall details, are to be reviewed and approved by the Planning and Engineering Departments prior to final plat approval by the Town Council or prior to issuance of building permits.
16. All street sections shall be designed to meet current Town standards and/or per modified street standards approved by the Town. Construction of all required off-site improvements adjacent to this Project shall be completed at the same time as construction of any portion of the Project or in accordance with an approved phasing plan. Dedications and assurance of off-site construction shall occur prior to recordation of Final Plat and/or issuance of first building permit. The Victoria Lane street cross section shall be designed with a normal crown and a striped median with a 14 foot continuous left-turn lane.
17. The costs for the design and improvements for traffic signals, road widenings, turn lanes, bus bays or other considerations that are determined to be necessary by the Town shall be born entirely by the developer. The developer shall be responsible

for the cost of design and construction of traffic signals in accordance with the following:

- a. Rittenhouse and entrance road intersection (1<sup>st</sup> entrance west of Ellsworth Loop Road) signal contribution: 100%
18. Developer to provide cash in lieu for the design and construction of two (2) future bus bay structures prior to issuance of first building permit (\$15,000 each).
19. Lighting Plans and Landscape Plans shall be submitted with the Final Plat and/or issuance of first building permit in accordance with the Subdivision Ordinance requirements, Zoning Ordinance requirements, and Engineering 3<sup>rd</sup> TRC review comments.
20. A Geotechnical Report shall be submitted with the Final Plat and/or issuance of first building permit.
21. A Final Drainage Report shall be submitted with the Final Plat and/or issuance of first building permit and shall comply with the Town's Final Drainage Report Checklist requirements and Subdivision Ordinance.
22. A revised Traffic Impact Analysis Report/Addendum shall be submitted with the Final Plat and/or issuance of first building permit and shall comply with the letter from Pekala and Associates dated February 9, 2006.
23. A Final Wastewater Report shall be submitted with the Final Plat and/or issuance of first building permit.
24. A Final Water Distribution Report shall be submitted with the Final Plat and/or issuance of first building permit that sizes all water main lines and includes calculations for water pressures at all nodes and at fire hydrants.
25. Pedestrian Courtyards shall have adequate seating, shade and be located in low noise areas.
26. An additional row of trees and/or landscaping shall be provided along the western project boundary, initiating at the boundary line (right-of-way of Rittenhouse Road) and ending at the approximate north edge of Major O. Details to be provided to staff as part of the Final Landscape Plan review.
27. The Applicant shall provide additional relief to the rear elevations viewable above the 8-foot wall line, including pilasters, ornamental grillwork and parapet articulation, using materials consistent with the front elevations.



SITE PLAN / ELEVATIONAL  
CHARACTER

Developed by:



**Vestar**

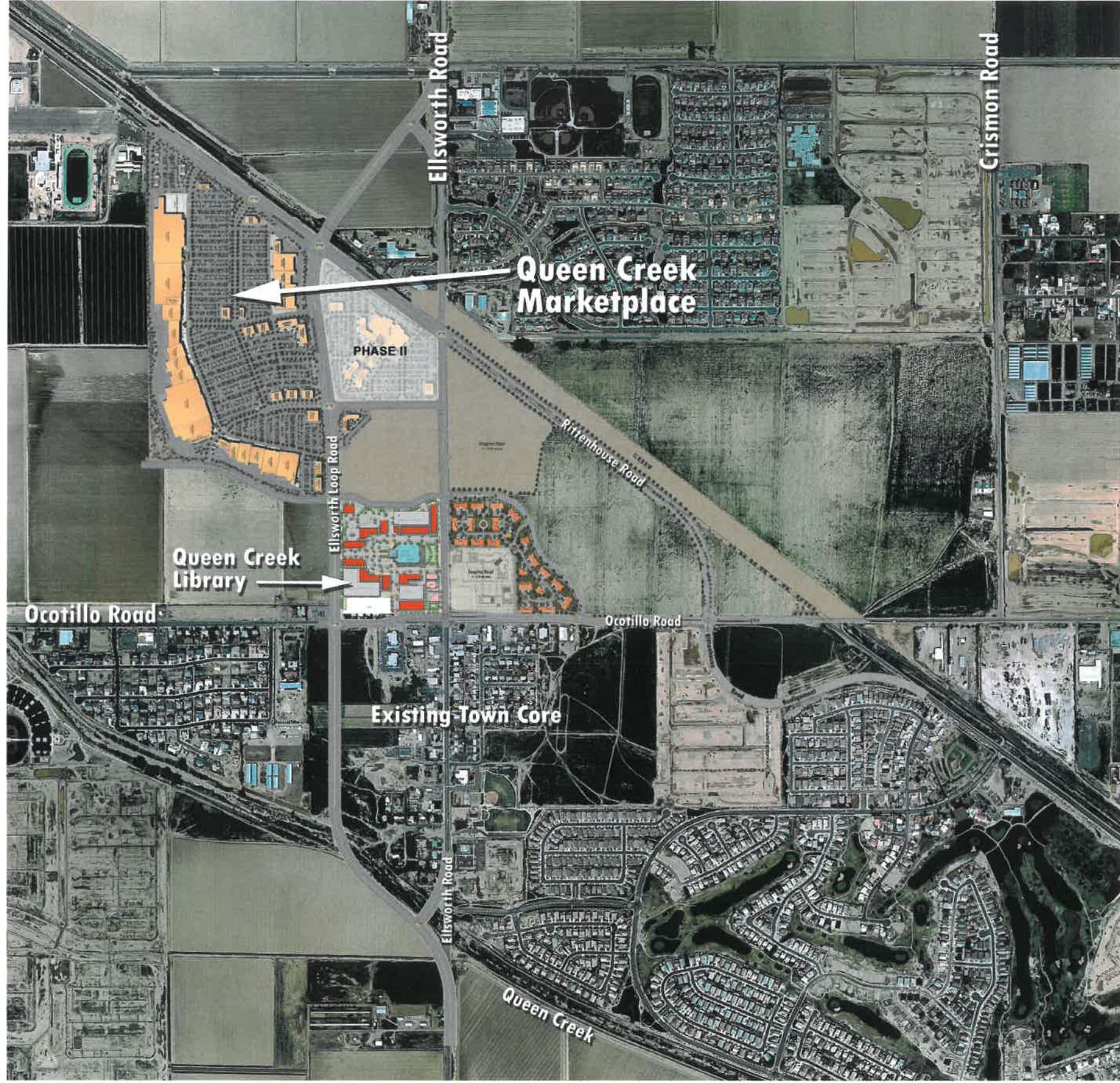
2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Architect:



**Butler Design Group, Inc**  
architects & planners



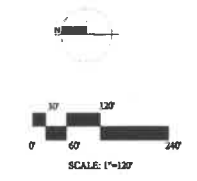




- Commercial
- High Density Residential
- Medium Density Residential
- Mixed Use-Commercial/Office
- Mixed Use-Commercial/Residential
- Open Space
- Public/Quasi-Public



**QUEEN CREEK**  
MARKETPLACE



**SITE DATA**

**DATA - PHASE 1**

SITE AREA	: ±3,929,266 S.F. (±90.20 ACRES)
TOTAL BUILDING AREA	: 917,277 S.F. (INCL. GARDEN CENTERS)
TOTAL BUILDING AREA	: 874,075 S.F. (EXCL. GARDEN CENTERS)
% COVERAGE	: 23.3% (INCL. GARDEN CENTERS)
PARKING PROVIDED	: 4,255 SPACES
9'-0" SPACES PROVIDED	: 2,661 SPACES (63%) (N.I.C. H/C SPACES)
10'-0" SPACES PROVIDED (CROSS HATCHED AREA)	: 1,428 SPACES (34%) (N.I.C. H/C SPACES)
HC SPACES PROVIDED (1 PER 25 STALLS)	: 166 SPACES
PARKING RATIO (EXCLUDING G.C.)	: 4.87/ 1,000
% LANDSCAPE	: 23%

<b>PARKING REQUIRED:</b> (BASED ON TOWN ORDINANCE)	<b>VEHICLE SPACES</b>	<b>BICYCLE SPACES</b>
RETAIL (810,071 S.F. / 300)	: 2,700 SPACES	270 SPACES
GARDEN CENTER(S) (43,202 S.F. / 375)	: 115 SPACES	0 SPACES
FAST FOOD (16,000 S.F. X 65% / 50) (16,000 S.F. X 35% / 200)	: 208 SPACES 28 SPACES	12 SPACES
SIT-DOWN RESTAURANTS (48,000 S.F. / 75)	: 640 SPACES	32 SPACES
<b>TOTAL REQUIRED</b>	<b>: 3,691 SPACES</b>	<b>314 SPACES*</b>
OPEN SPACE	: 554,150 S.F.	(14.1%)

**LANDSCAPE CALCULATIONS:**

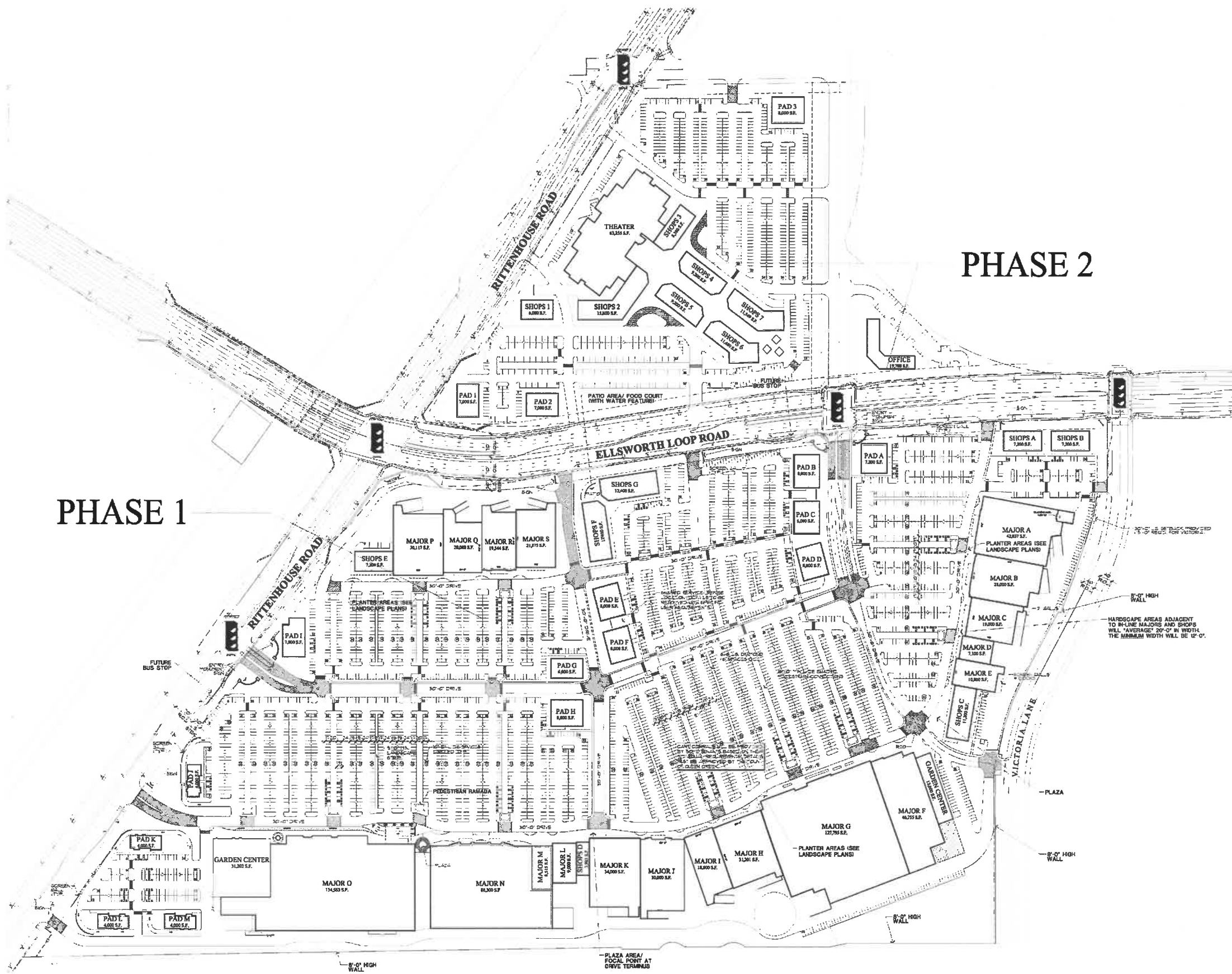
NET SITE AREA	: 3,929,266 S.F. (90.20 AC.)
LANDSCAPE AREA REQ'D.	: 982,317 S.F. (25%)
LANDSCAPE AREA PROV'D.	: 873,272 S.F. (22.2%)
PARKING LOT AREA	: 1,809,381 S.F.
PKG. AREA LANDSCAPE REQ'D.	: 361,876 S.F. (20%)
PKG. AREA LANDSCAPE PROV'D.	: 402,482 S.F. (22.2%)
REFLECTIVE SURFACES	: 391,110 S.F. (50%)
ISR MAXIMUM	: 2,750,486 S.F. (70%)
ISR PROVIDED	: 2,689,584 S.F. (68%)

\* THE REQUIRED BICYCLE PARKING WILL BE PROVIDED THROUGHOUT THE SITE AND LOCATED WHERE THEY BEST BENEFIT THE CENTER, ITS TENANTS AND THE BICYCLISTS. DETAILS TO BE RESOLVED WITH STAFF AT A LATER DATE.



**PHASE 1**

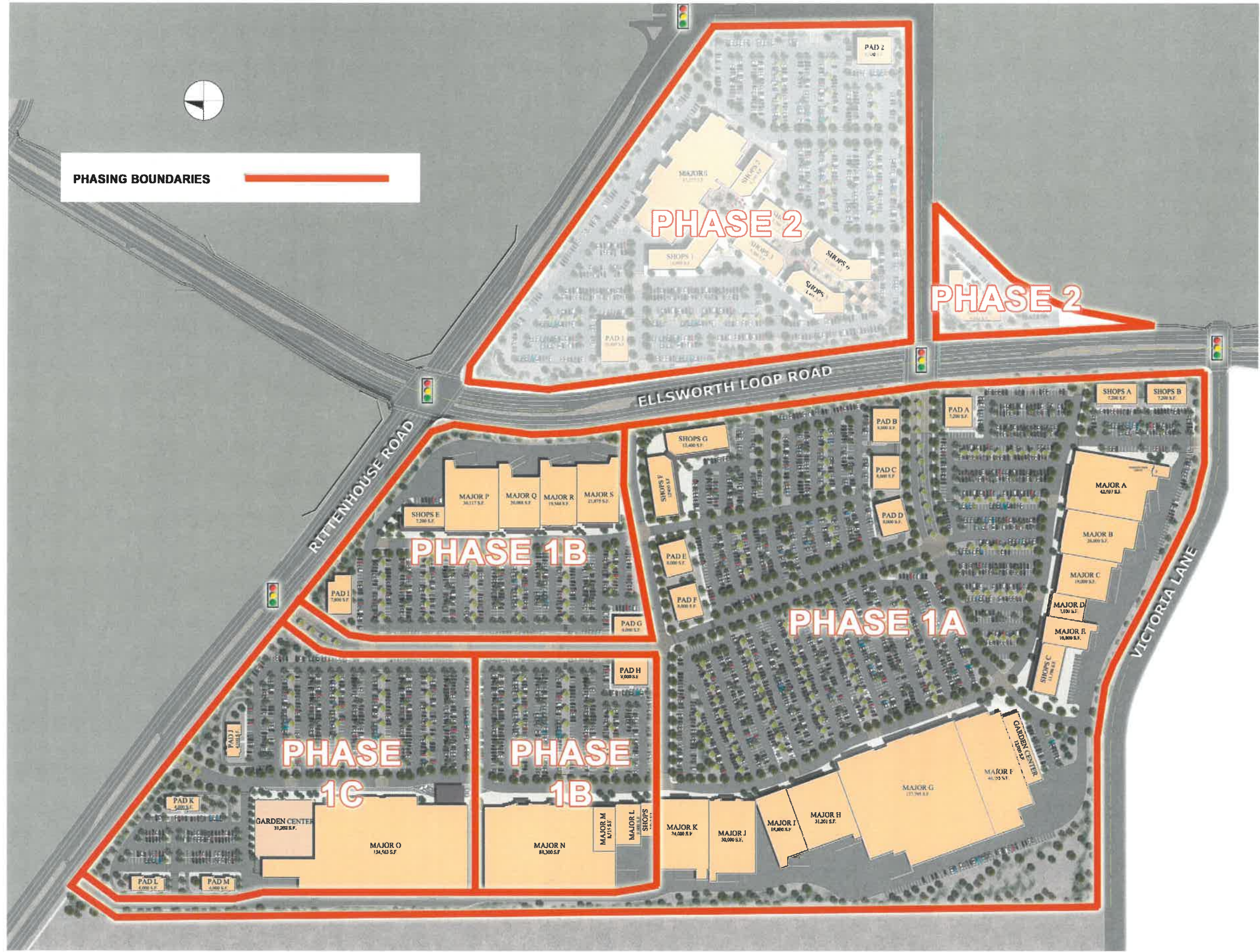
**PHASE 2**











PHASING BOUNDARIES 















**DATA**

	OVERALL STREET FRONTAGE	4106 L.F.
	ENHANCED STREET FRONTAGE	2637 L.F.
	% ENHANCED STREET FRONTAGE OF OVERALL FRONTAGE	64.22%
	BUILDING FRONTAGE > 25,000 S.F.	2223 L.F.
	% ENHANCED STREET FRONTAGE TO BLDG. FRONTAGE	118.82%

\* ENHANCED STREET FRONTAGE AREA EXCEEDS BUILDING FRONTAGE AREA









PLAZA AREA  
SEE PAGE

**FRONT ELEVATION CHARACTER - MAJOR TENANT O**



**PARTIAL ENLARGED ELEVATION**



GARDEN CENTER

**PARTIAL ENLARGED ELEVATION**





**REAR ELEVATION CHARACTER - IN-LINE MAJOR TENANTS**



**NOTE: LANDSCAPING IS IN FOREGROUND ON OPPOSITE SIDE OF DRIVEWAY**

**PARTIAL ENLARGED ELEVATION**



**PARTIAL ENLARGED ELEVATION**

**CONCEPTUAL ELEVATIONS - IN-LINE**





**FRONT ELEVATION CHARACTER - IN-LINE MAJORS A, B & C SHOWN**



**PARTIAL ENLARGED ELEVATION**



**PARTIAL ENLARGED ELEVATION**

**CONCEPTUAL ELEVATIONS - IN-LINE MAJORS A, B & C**





**REAR ELEVATION CHARACTER - IN-LINE MAJOR TENANTS**



NOTE: LANDSCAPING IS IN FOREGROUND ON OPPOSITE SIDE OF DRIVEWAY

**PARTIAL ENLARGED ELEVATION**



**PARTIAL ENLARGED ELEVATION**

CONCEPTUAL ELEVATIONS - IN-LINE





**FRONT ELEVATION CHARACTER - IN-LINE MAJORS P, Q, R & S**



**PARTIAL ENLARGED ELEVATION**



**PARTIAL ENLARGED ELEVATION**

**CONCEPTUAL ELEVATIONS - IN-LINE MAJORS P, Q, R & S**





**REAR ELEVATION CHARACTER - IN-LINE MAJOR TENANTS**



**PARTIAL ENLARGED ELEVATION**



**PARTIAL ENLARGED ELEVATION**



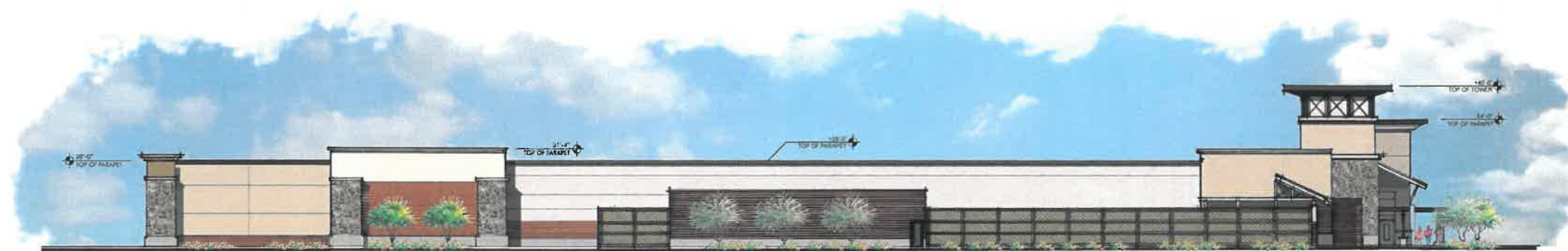


**GARDEN CENTER**

**FRONT ELEVATION CHARACTER - IN-LINE MAJORS F & G**



**REAR ELEVATION CHARACTER - IN-LINE MAJORS F & G**



**SOUTH ELEVATION CHARACTER - MAJOR F**

**CONCEPTUAL ELEVATIONS - MAJORS F & G**





**ELEVATION CHARACTER, SHOPS F & G - INSIDE VIEW**



**SHOPS CHARACTER - VIEW FROM STREET & INTERNAL DRIVE**



**ELEVATION CHARACTER, SHOPS C**





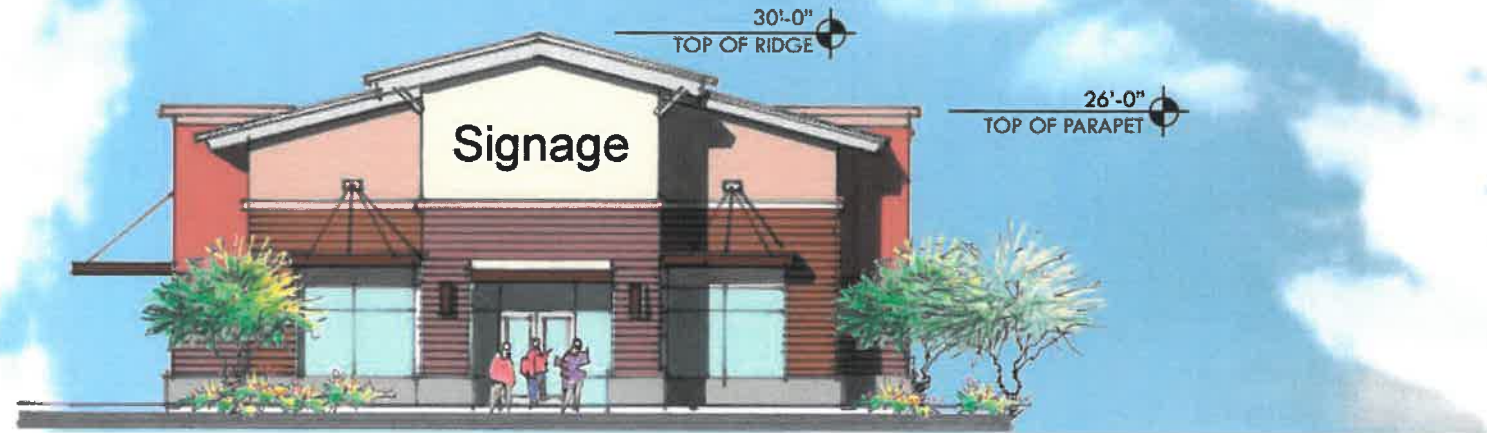
DRIVE THRU'S SUBJECT TO A SPECIAL  
USE PERMIT (S.U.P.)

**ELEVATION CHARACTER - BANK  
(SIDE VIEW)**



**ELEVATION CHARACTER - BANK  
(FRONT VIEW)**





**ELEVATION CHARACTER - FAST FOOD  
(FRONT VIEW)**



**ELEVATION CHARACTER - FAST FOOD  
(SIDE VIEW)**





MAJORS A-C SHOWN

PERSPECTIVE VIEW OF ARCHITECTURAL CHARACTER





30 PERSPECTIVE VIEW OF ARCHITECTURAL CHARACTER





31 PERSPECTIVE VIEW OF ARCHITECTURAL CHARACTER







## BUILDING MATERIALS

Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Architect:

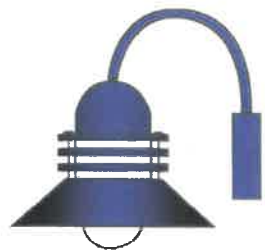


**Butler Design Group, Inc**  
architects & planners





MAIN PARKING FIELD POLE MOUNTED FIXTURE  
LUMEG DMS-90  
(OR A SIMILAR ALTERNATIVE)



PEDESTRIAN / DECORATIVE WALL MOUNTED  
LIGHT FIXTURE  
FC LIGHTING FCW SERIES  
(OR A SIMILAR ALTERNATIVE)



SILVER GALVENIZED

L CORRUGATED METAL

M LIGHT FIXTURES

- 1. SW2842 ROYCROFT SUEDE  
BY SHERWIN WILLIAMS  
LRI\* 31%
- 2. SW6142 MACADAMIA  
BY SHERWIN WILLIAMS  
LRI\* 50%
- 3. SW7036 ACCESSIBLE BEIGE  
BY SHERWIN WILLIAMS  
LRI\* 58%
- 4. SW7038 TONY TAUPE  
BY SHERWIN WILLIAMS  
LRI\* 37%

- 5. SW0045 ANTIQUARIAN BROWN  
BY SHERWIN WILLIAMS  
LRI\* 19%
- 6. SW6117 SMOKEY TOPAZ  
BY SHERWIN WILLIAMS  
LRI\* 23%
- 7. SW6060 MOROCCAN BROWN  
BY SHERWIN WILLIAMS  
LRI\* 21%
- 8. SW0012 EMPIRE GOLD  
BY SHERWIN WILLIAMS  
LRI\* 39%

- 9. SW7040 SMOKEHOUSE  
BY SHERWIN WILLIAMS  
LRI\* 13%
- 10. SW7041 VAN DYKE BROWN  
BY SHERWIN WILLIAMS  
LRI\* 8%
- 11. SW6988 BOHEMIAN BLACK  
BY SHERWIN WILLIAMS  
LRI\* 11%
- 12. SW6994 GREENBLACK  
BY SHERWIN WILLIAMS  
LRI\* 8%

- 13. SW2846 ROYCROFT BRONZE GREEN  
BY SHERWIN WILLIAMS  
LRI\* 8%
- 14. SW2848 ROYCROFT PEWTER  
BY SHERWIN WILLIAMS  
LRI\* 11%
- 15. SW2837 AURORA BROWN  
BY SHERWIN WILLIAMS  
LRI\* 8%

- 16. SW3 134-B WEATHERED TEAK  
BY SHERWIN WILLIAMS
- 17. SW3 124-B PECAN  
BY SHERWIN WILLIAMS

D STOREFRONT COLORS

E WOOD STAINS

A E.L.F.S. / PRIMARY

B E.L.F.S. / ACCENT

C ACCENT COLORS



MASONRY A  
RAILROAD BLEND  
BY PHOENIX BRICK

F



MASONRY B  
FOUNDERS FINISH  
CANYON RED  
BY SUPERLITE  
BLOCK, INC.

G



MASONRY C  
FOUNDERS FINISH  
HIGHLAND BLEND  
BY SUPERLITE  
BLOCK, INC.

H



SEA MIST  
BY MBCI



SANDSTONE  
BY MBCI

I ROOFING



EVERGLADE  
BY MBCI



SIERRA  
BY DAVIS COLORS

J1 CONCRETE



CANYON  
BY DAVIS COLORS

J2



STONE VENEER  
80% BUCKS COUNTY SOUTHERN LEDGESTONE  
20% BUCKS COUNTY DRESSES FIELDSTONE  
BY CULTURED STONE

K STONE



LANDSCAPE

Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Landscape Architect:



LASKIN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS

Architect:



**Butler Design Group, Inc**  
architects & planners





OBLIQUE LANDSCAPE RENDERING



**Conceptual Plant Palette**

TREES		TREES	
<i>Cercidium 'Hybrid' Desert Museum</i>	Desert Museum Palo Verde 36" Box	<i>Quercus virginiana</i>	Live Oak 24" Box
<i>Ulmus parviflora</i>	Evergreen Elm 36" Box	<i>Prunopsis glandulosa</i>	Thornless Honey Mesquite 36" Box
<i>Quercus virginiana</i>	Live Oak 24" Box	<i>Fraxinus velutina 'Rio Grand'</i>	Fan-Tex Ash 24" Box
<i>Pinus edulis</i>	Mondel Pine 24" Box	<i>Bauhinia laniata 'White'</i>	Anacacho Oxid tree 36" Box
<i>Caesalpinia mexicana</i>	Mexican Bird of Paradise 24" Box	<i>Olea europaea 'Sultan Hill'</i>	Swan Hill Olive 54" Box
<i>Vibex agrus-castus</i>	Chaste Tree 36" Box		
SHRUBS & VINES		SHRUBS & VINES	
<i>Agave species</i>	Agave	<i>Yucca species</i>	Yucca
<i>Hesperaloe species</i>	Hesperaloe	<i>Desert Spoon</i>	Desert Spoon
<i>Daylily</i>	Daylily	<i>Mexican Grass Tree</i>	Mexican Grass Tree
<i>Cereus peruvianus 'Marabou'</i>	Peruvian Apple Cactus	<i>Rain Lily</i>	Rain Lily
<i>Zephyranthes candida</i>	Rain Lily	<i>Bougainvillea</i>	Bougainvillea
<i>Rosa banksia</i>	Lady Banks Rose	<i>Baja Fairy Duster</i>	Baja Fairy Duster
<i>Calliandra californica</i>	Green Cassia	<i>Silver Leaf Cassia</i>	Silver Leaf Cassia
<i>Cassia nemophila</i>	Silver Leaf Cassia	<i>Texas Sage</i>	Texas Sage
<i>Leucophyllum species</i>	Valeriana Bush	<i>Valeriana Bush</i>	Valeriana Bush
<i>Eremophila 'Valeriana'</i>	Deer Grass	<i>Deer Grass</i>	Deer Grass
<i>Muhlenbergia species</i>	Butterfly Bush	<i>Jobba</i>	Orange Jubilee
<i>Buddleia maritima</i>	Jobba	<i>Conspic Myrtle</i>	Conspic Myrtle
<i>Stimmatococcus chinensis</i>	Orange Jubilee	<i>Rueia</i>	Rueia
<i>Tecoma stans 'Orange Jubilee'</i>	Conspic Myrtle	<i>Purple Hop Bush</i>	Purple Hop Bush
<i>Myrica communis 'compacta'</i>	Rueia	<i>Brittlebark</i>	Brittlebark
<i>Ruellia brittoniana</i>	Purple Hop Bush	<i>Rod Bird of Paradise</i>	Rod Bird of Paradise
<i>Dodonaea viscosa 'Purpurea'</i>	Brittlebark		
<i>Erucella farinosa</i>	Rod Bird of Paradise		
<i>Caesalpinia pulcherrima</i>			

**GROUND COVER**

- Lantana montevidensis*
- Lantana 'Gold Mound'*
- Ruellia brittoniana 'Yale'*
- Rosemarinus officinalis 'prostratum'*
- Wedelia trilobata*

**GROUND COVER**

- Purple Trailing Lantana
- Gold Mound Lantana
- Kalis Ruella
- Prostrate Rosemary
- Yellow Dot

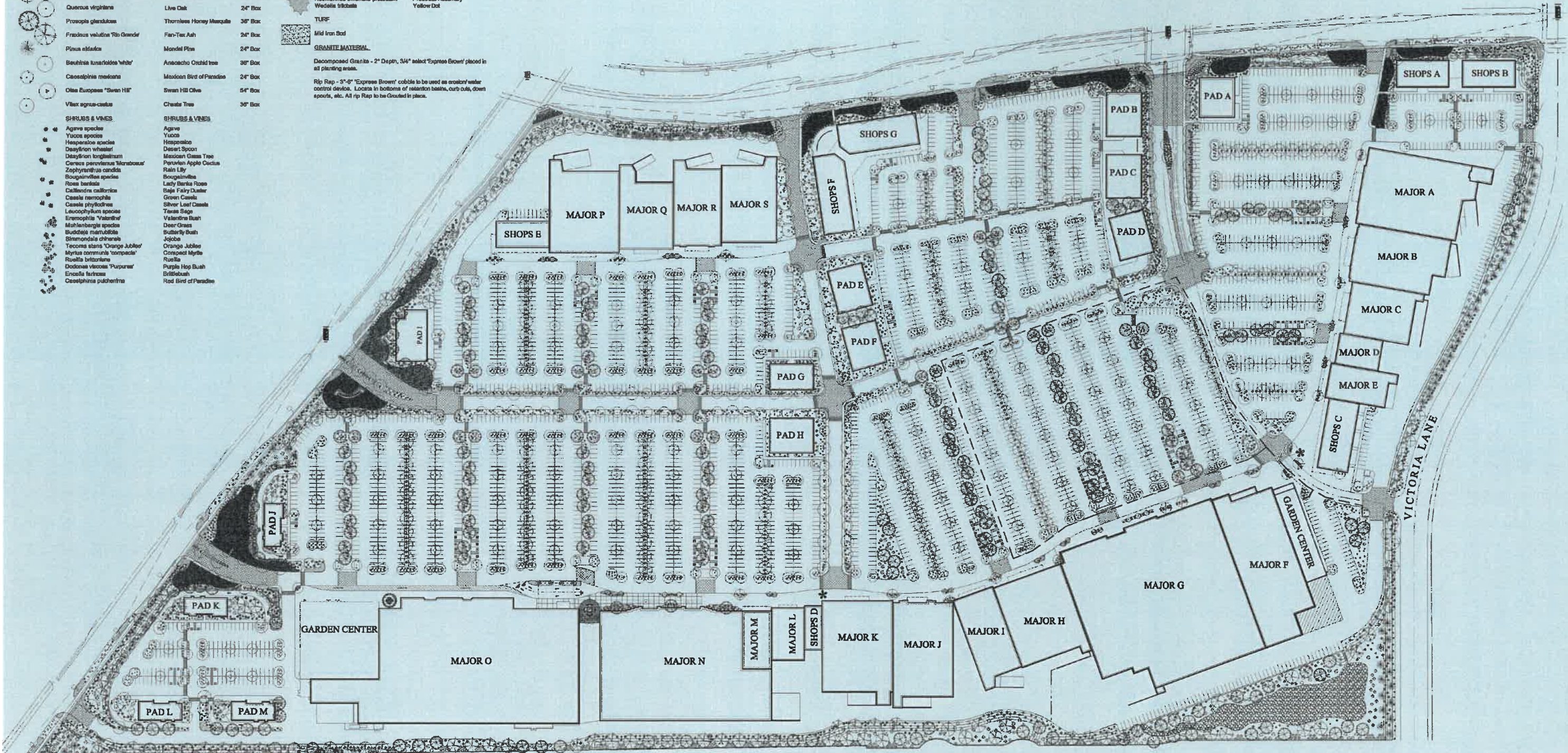
**TURF**

- Mid Iron Sod

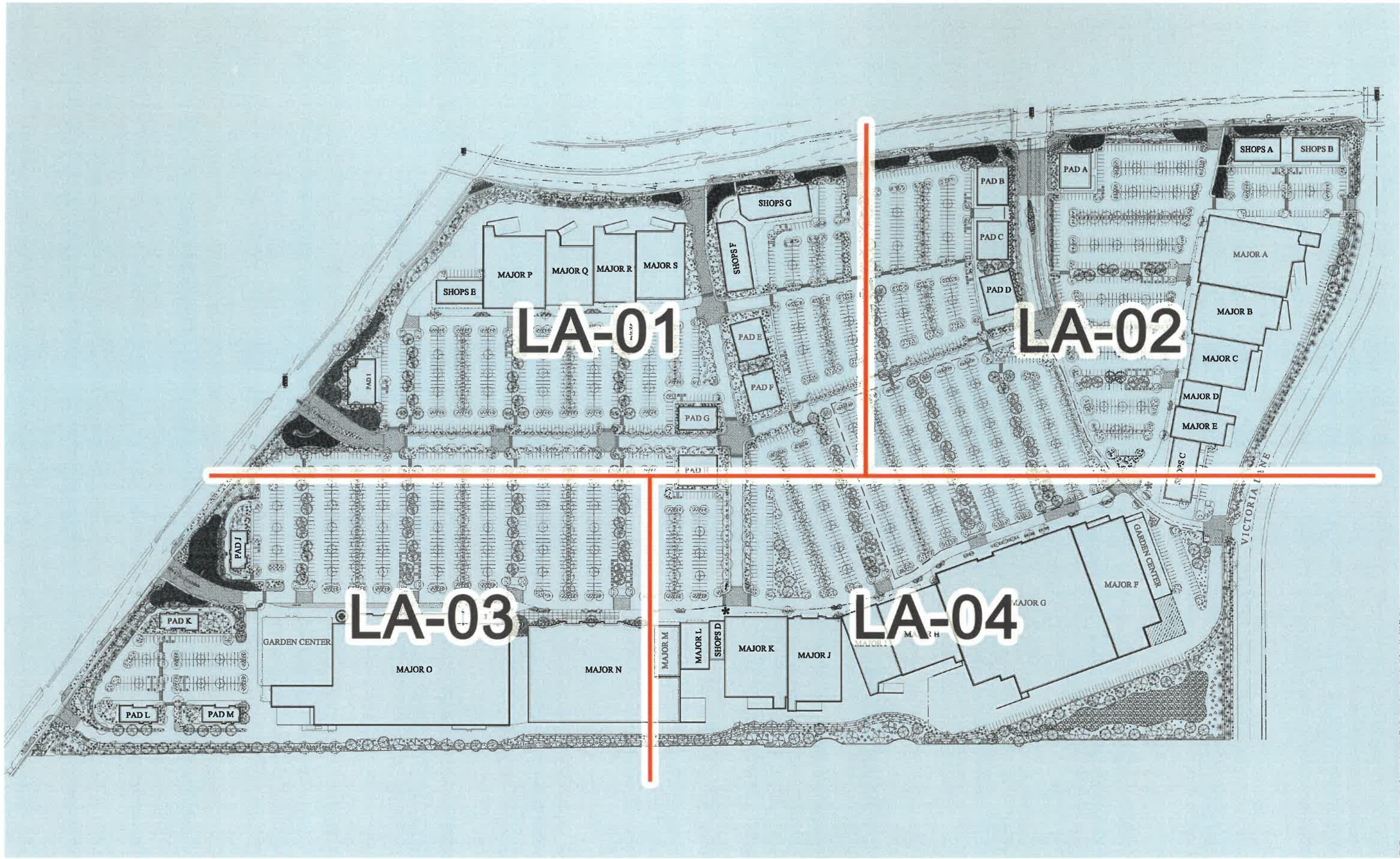
**GRANITE MATERIAL**

Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.

Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion water control device. Locate in bottoms of retention basins, curb outs, down spouts, etc. All Rip Rap to be grouted in place.







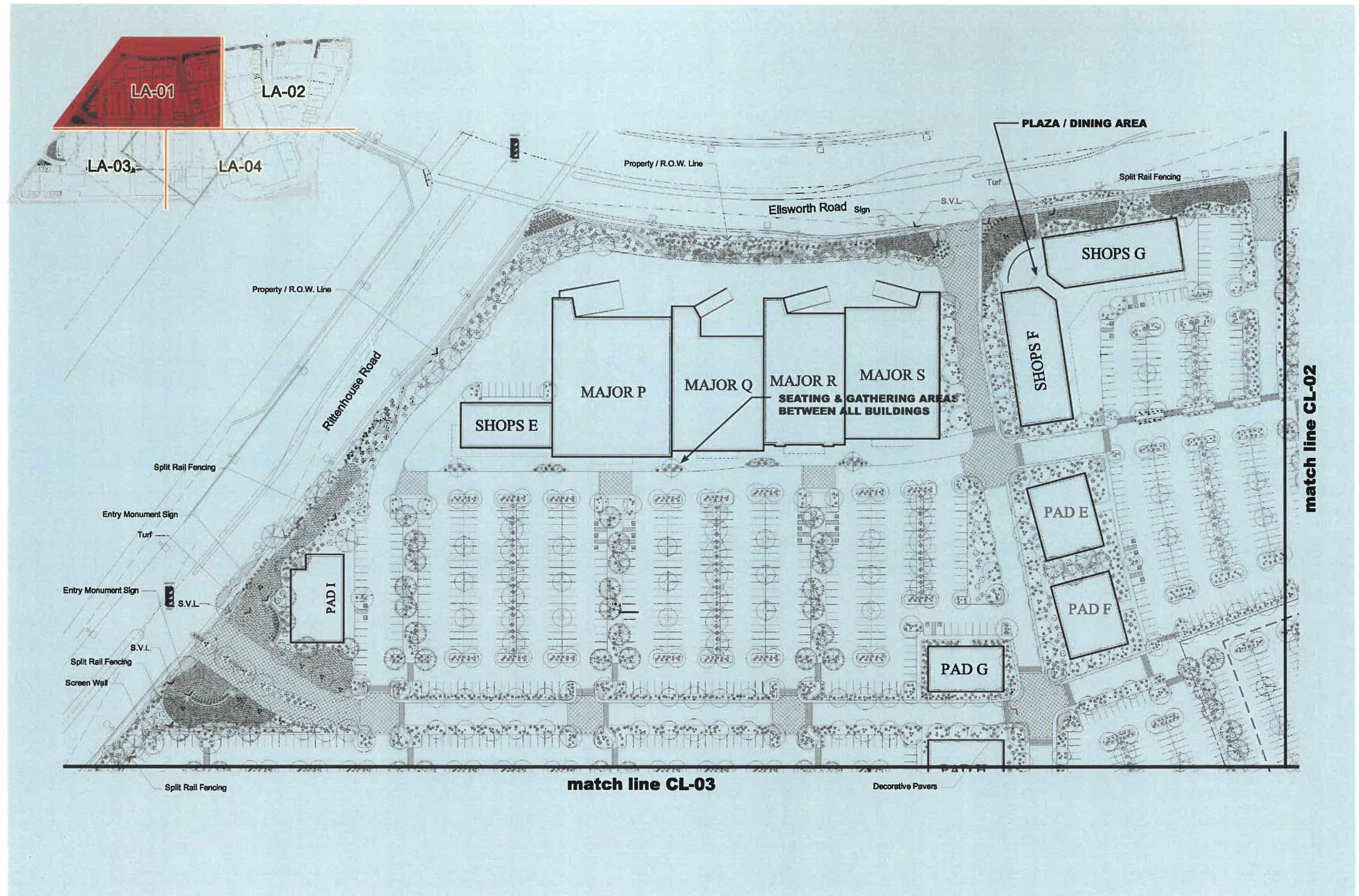
**LA-01**

**LA-02**

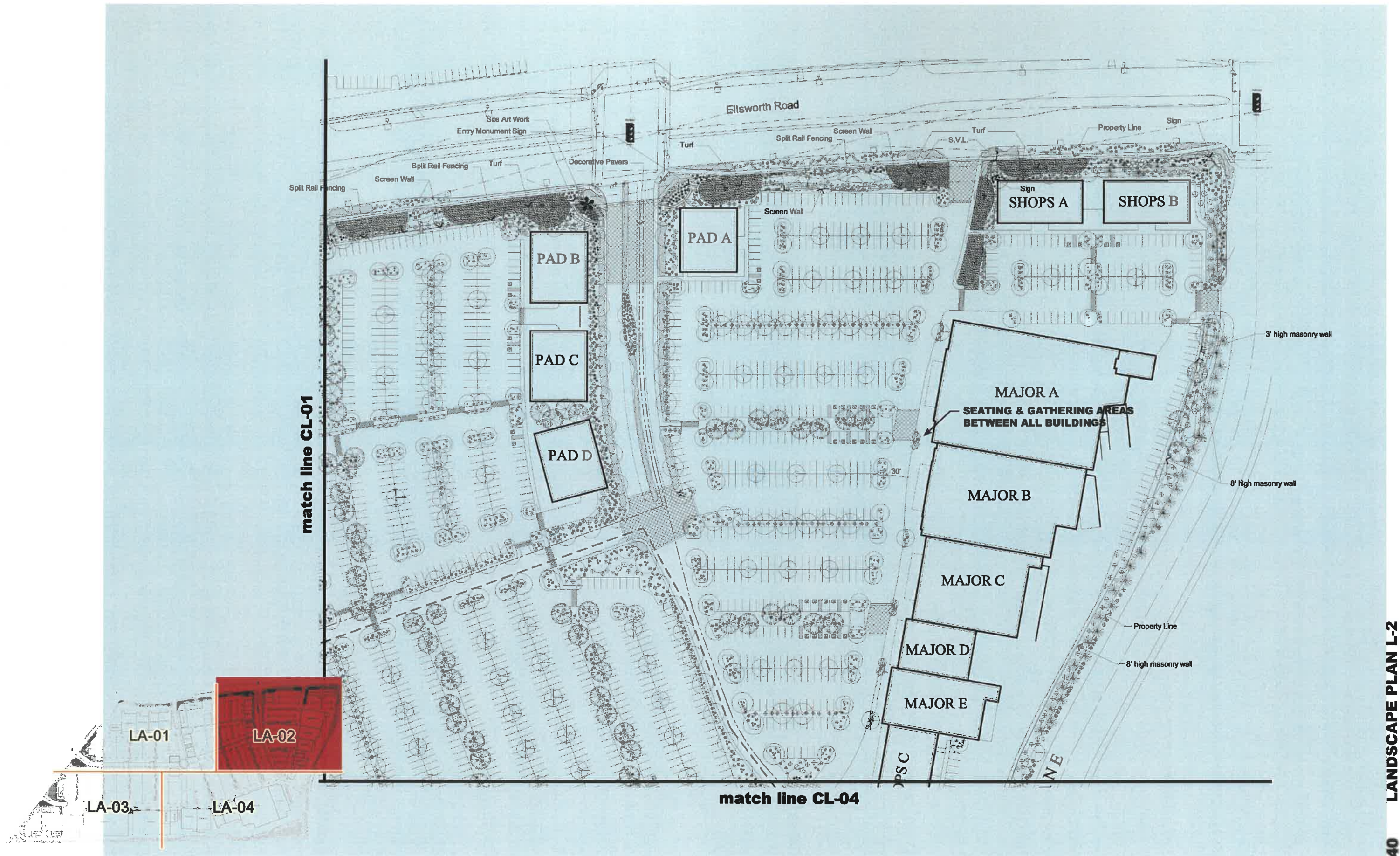
**LA-03**

**LA-04**











LA-01

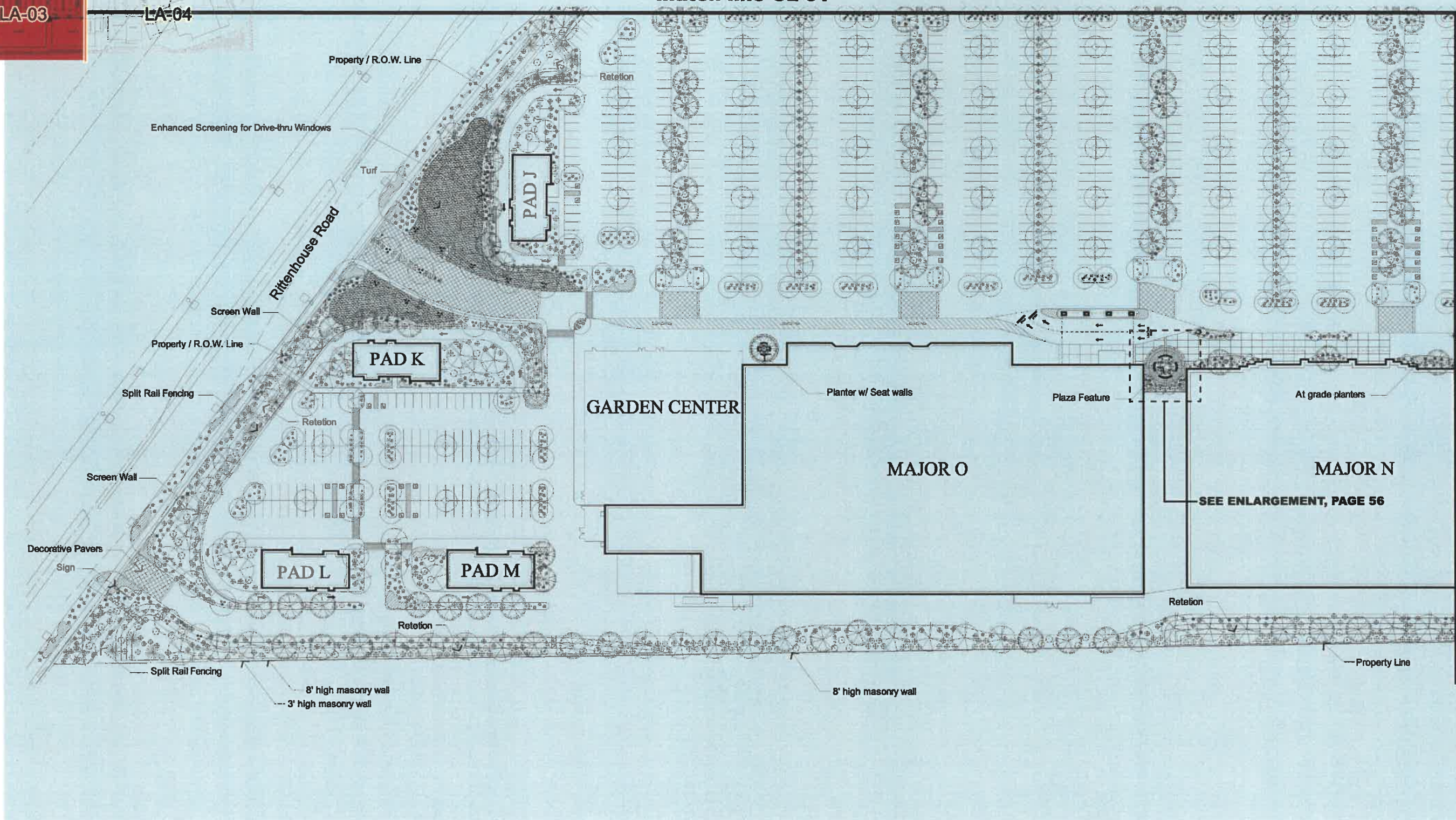
LA-02

LA-03

LA-04

match line CL-01

match line CL-04



Property / R.O.W. Line

Enhanced Screening for Drive-thru Windows

Turf

Rittenhouse Road

Screen Wall

Property / R.O.W. Line

Split Rail Fencing

Screen Wall

Decorative Pavers

Sign

Retention

PAD L

PAD M

Retention

Split Rail Fencing

8' high masonry wall

3' high masonry wall

GARDEN CENTER

Planter w/ Seat walls

MAJOR O

Plaza Feature

At grade planters

MAJOR N

SEE ENLARGEMENT, PAGE 56

Retention

Property Line

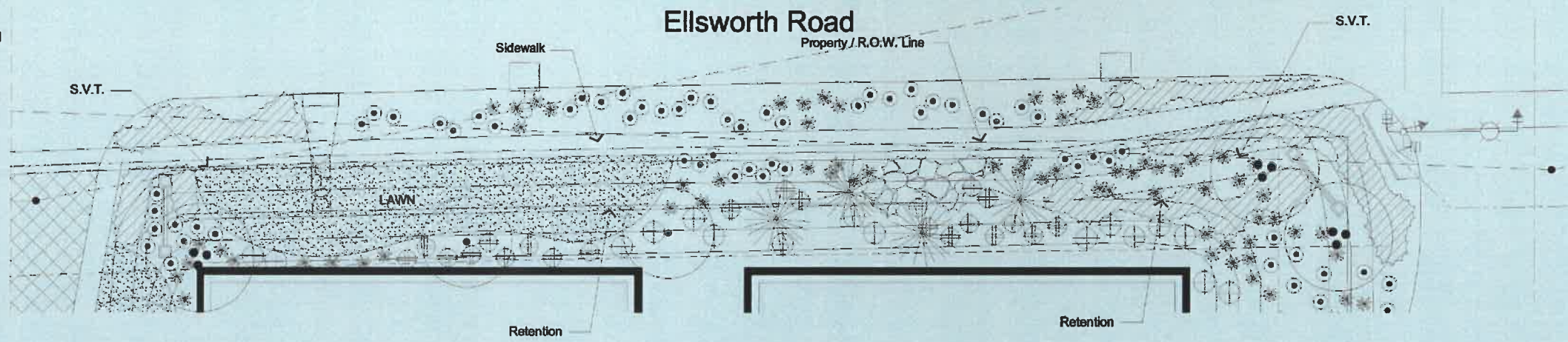
8' high masonry wall



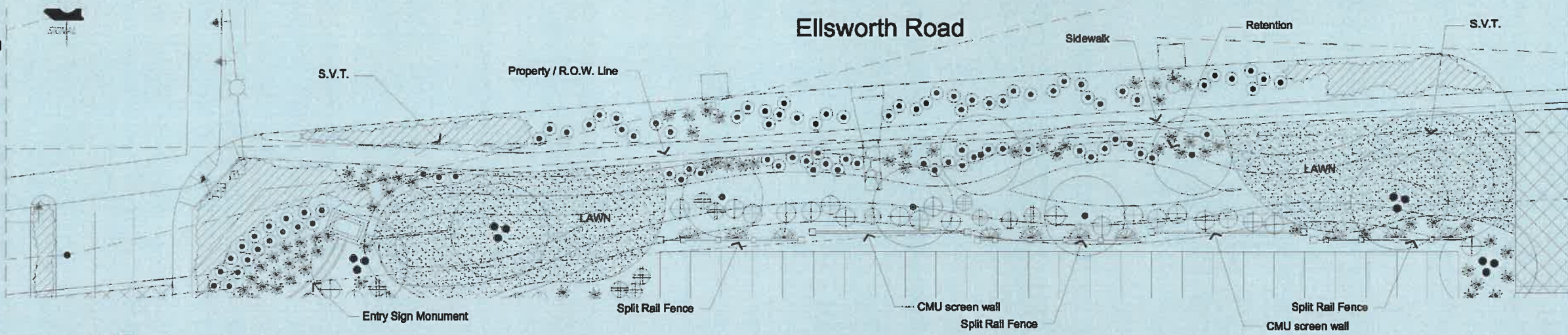




match line below right

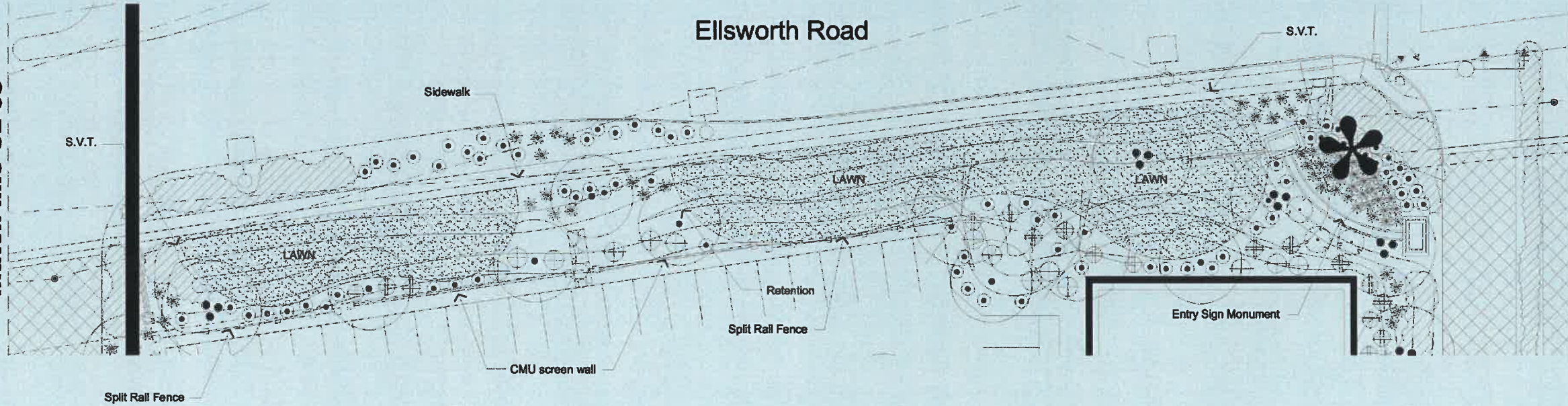


match line below right



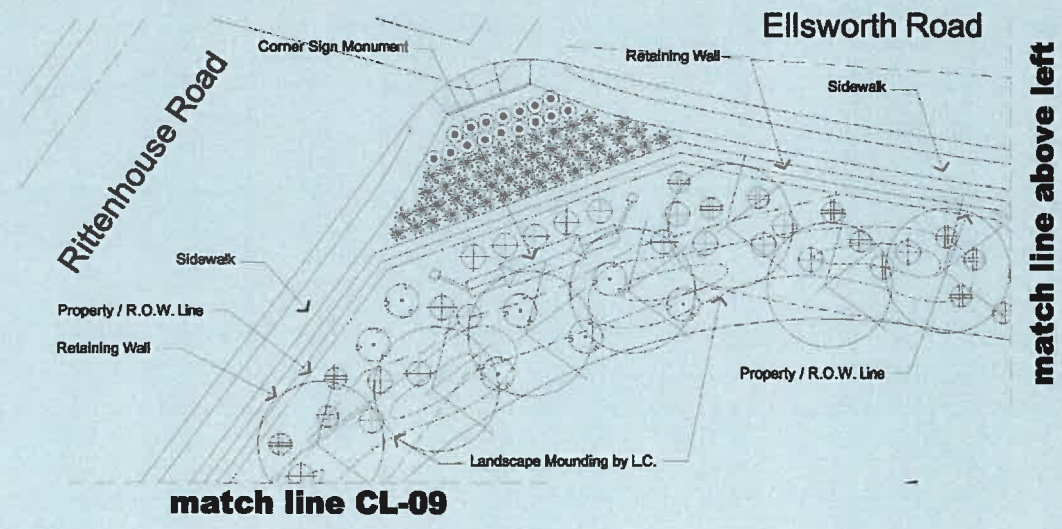
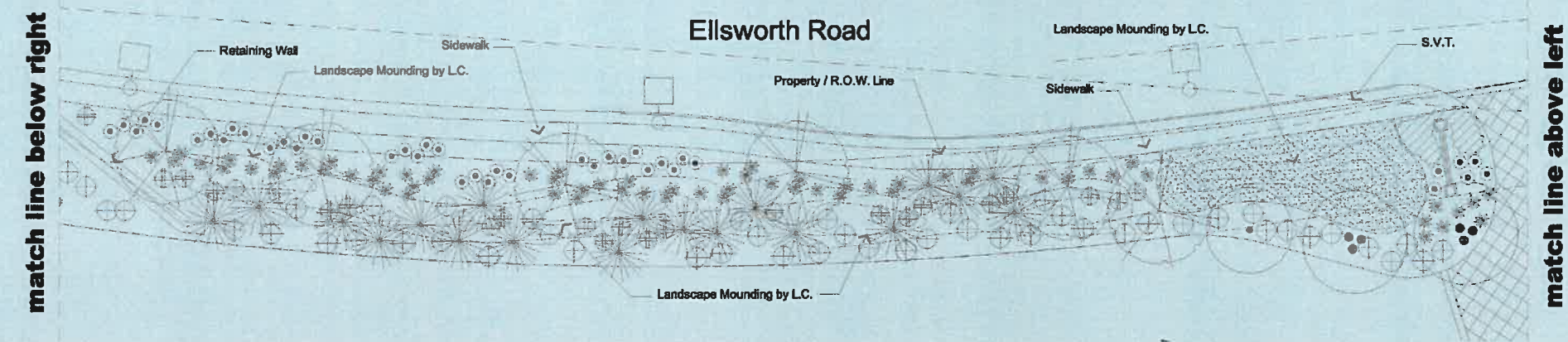
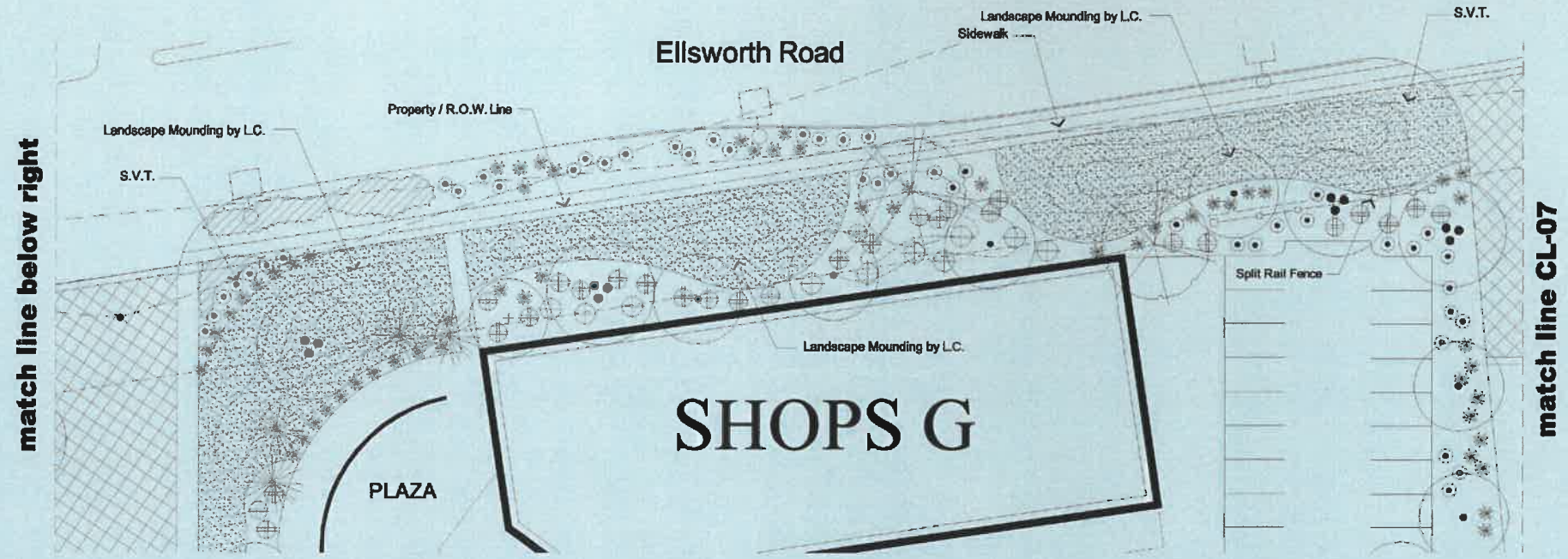
match line above left

match line CL-08

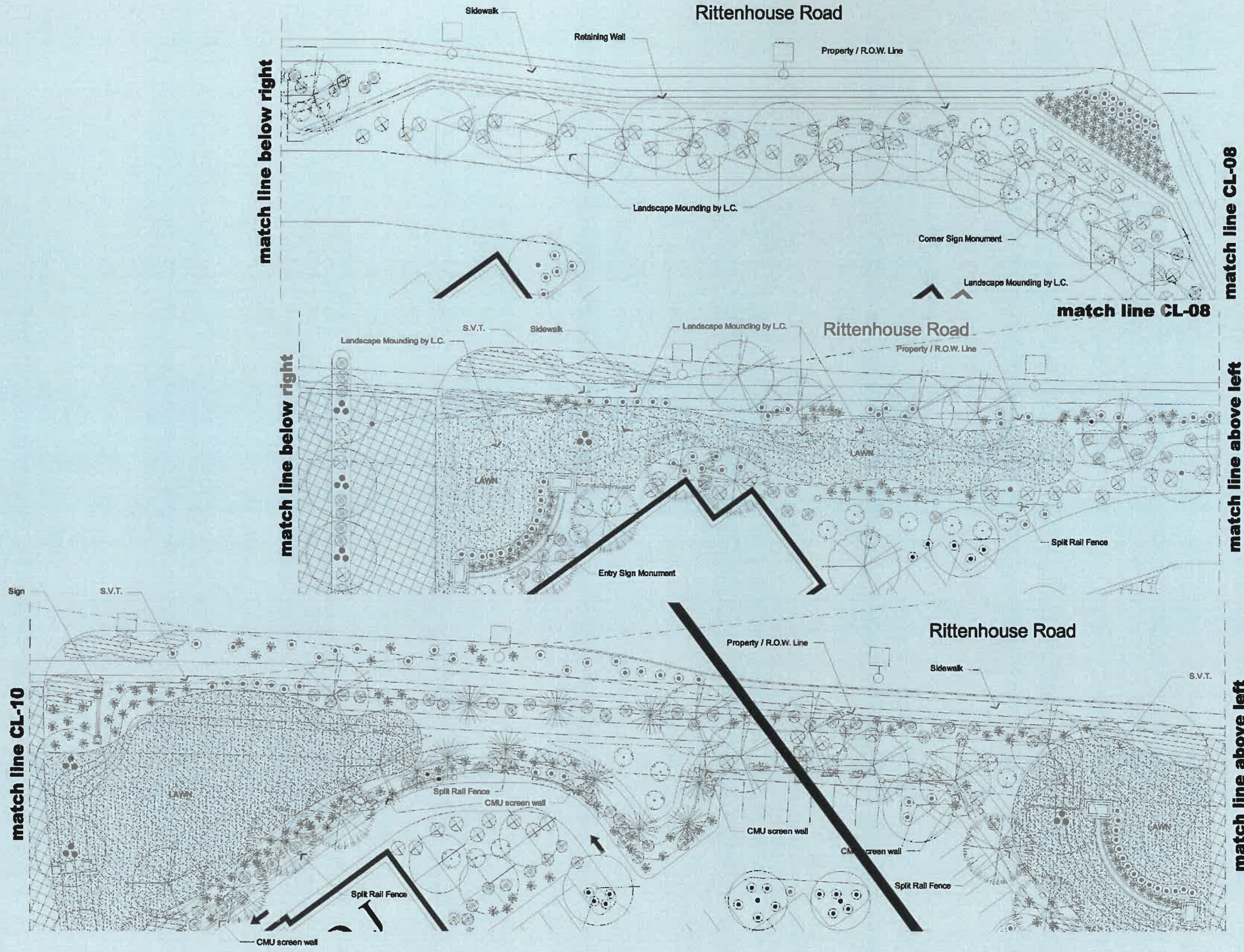


match line above left









match line below right

match line CL-08

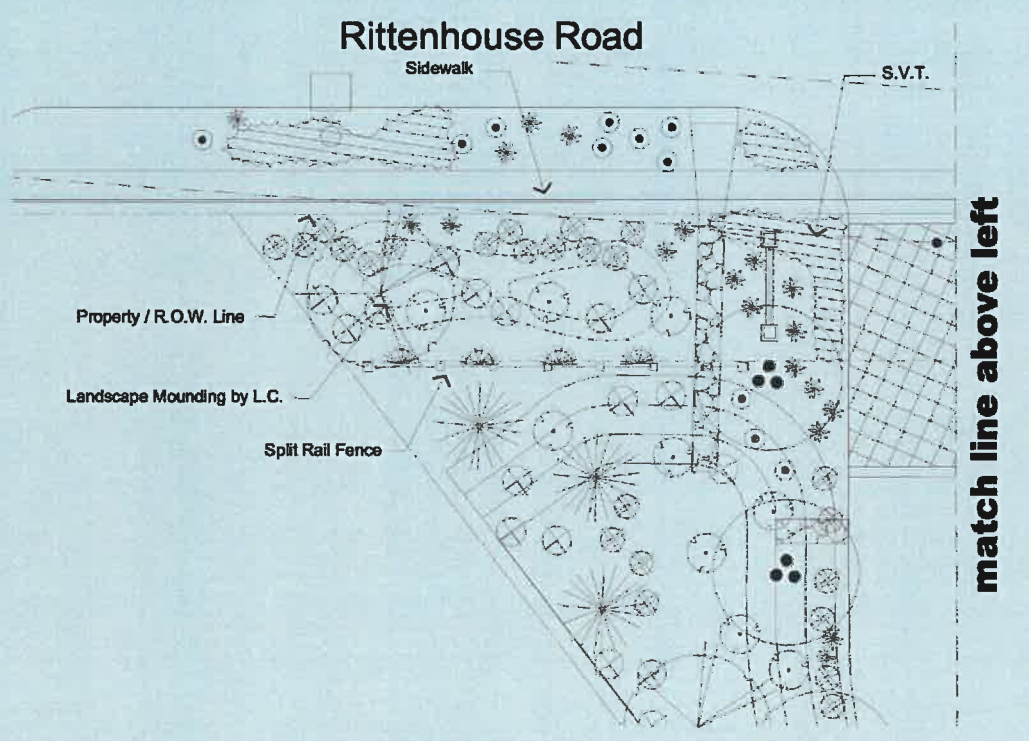
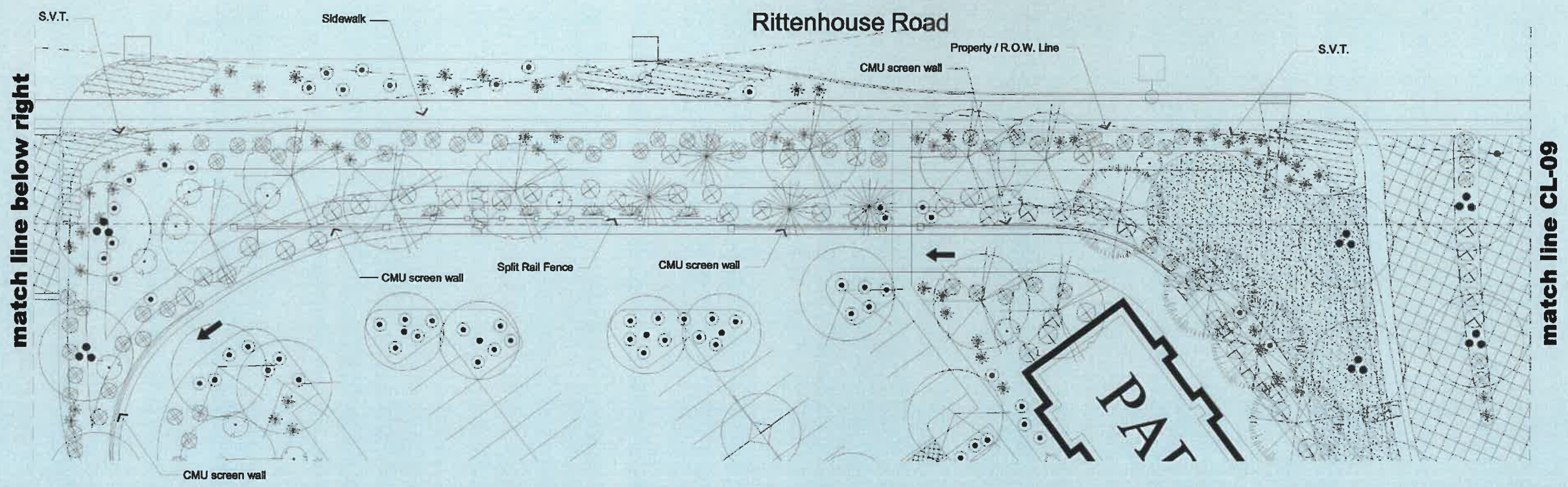
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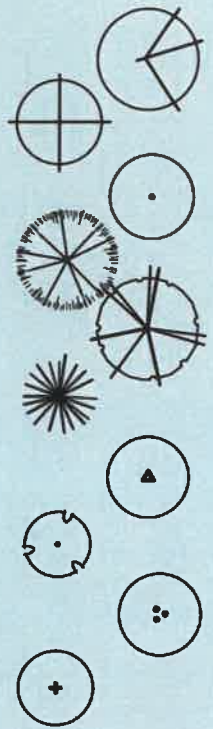
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# Conceptual Plant Palette



TREES

- Cercidium 'Hybrid' Desert Museum
- Ulmus parvifolia
- Quercus virginiana
- Prosopis glandulosa
- Fraxinus velutina 'Rio Grande'
- Pinus eldarica
- Bauhinia lunarioides 'white'
- Caesalpinia mexicana
- Olea Europaea "Swan Hill"
- Vitex agnus-castus

TREES

- Desert Museum Palo Verde 24" Box
- Evergreen Elm 36" Box
- Live Oak 24" Box
- Thornless Honey Mesquite 24" Box
- Fan-Tex Ash 24" Box
- Mondel Pine 24" Box
- Anacacho Orchid tree 36" Box
- Mexican Bird of Paradise 24" Box
- Swan Hill Olive 54" Box
- Chaste Tree 36" Box

GROUNDCOVER

- Lantana montevidensis
- Lantana 'Gold Mound'
- Ruellia brittoniana 'Katie'
- Rosmarinus officinalis 'prostratum'
- Wedelia trilobata

GROUNDCOVER

- Purple Trailing Lantana
- Gold Mound Lantana
- Katie Ruellia
- Prostrate Rosemary
- Yellow Dot

TURF

- Mid Iron Sod

GRANITE MATERIAL

Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.

Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc. All rip Rap to be Grouted in place.

SHRUBS & VINES

- Agave species
- Yucca species
- Hesperaloe species
- Dasyliirion wheeleri
- Dasyliirion longissimum
- Cereus peruvianus 'Monstrosus'
- Zephyranthus candida
- Bougainvillea species
- Rosa banksia
- Calliandra californica
- Cassia nemophila
- Cassia phyllodinea
- Leucophyllum species
- Eremophila 'Valentine'
- Muhlenbergia species
- Buddleja marrubifolia
- Simmondsia chinensis
- Tecoma stans 'Orange Jubilee'
- Myrtus communis 'compacta'
- Ruellia brittoniana
- Dodonea viscosa 'Purpurea'
- Encelia farinosa
- Caeslphinia pulcherrima

SHRUBS & VINES

- Agave
- Yucca
- Hesperaloe
- Desert Spoon
- Mexican Grass Tree
- Peruvian Apple Cactus
- Rain Lilly
- Bougainvillea
- Lady Banks Rose
- Baja Fairy Duster
- Green Cassia
- Silver Leaf Cassia
- Texas Sage
- Valentine Bush
- Deer Grass
- Butterfly Bush
- Jojoba
- Orange Jubilee
- Compact Myrtle
- Ruellia
- Purple Hop Bush
- Brittlebush
- Red Bird of Paradise



# PROJECT MASTER PLANT PALETTE

Plant material that will be utilized for this project shall be selected from the list below. Any variations or substitutions shall be reviewed by Design Team prior to installation.

## TREES

Cercidium 'Hybrid' Desert Museum	Desert Museum Palo Verde
Ulmus parvifolia	Evergreen Elm
Quercus virginiana	Live Oak
Prosopis glandulosa	Thornless Honey Mesquite
Pinus eldarica	Mondell Pine
Bauhinia lunarioides 'White'	White Orchid Tree
Caesalpinia mexicana	Mexican Bird of Paradise
Fraxinus velutina 'Rio Grande'	Fan-Tex Ash
Olea Europaea	Swan Hill Olive
Chaste Tree	Vitex agnus-castus

## SHRUBS & VINES

Agave species	Agave
Yucca species	Yucca
Hesperaloe species	Hesperaloe
Dasyliirion wheeleri	Desert Spoon
Dasyliirion longissimum	Mexican Grass Tree
Cereus peruvianus 'Monstrosus'	Peruvian Apple Cactus
Zephyranthus candida	Rain Lilly
Bougainvillea species	Bougainvillea
Rosa banksia	Lady Banks Rose
Calliandra californica	Baja Fairy Duster
Cassia nemophila	Green Cassia
Cassia phyllodinea	Silver Leaf Cassia
Leucophyllum species	Texas Sage

## SHRUBS & VINES

Eremophila 'Valentine'	Valentine Bush
Muhlenbergia species	Deer Grass
Buddleja marrubifolia	Butterfly Bush
Simmondsia chinensis	Jojoba
Tecoma stans 'Orange Jubilee'	Orange Jubilee
Myrtus communis 'compacta'	Compact Myrtle
Ruellia brittoniana	Ruellia
Dodonea viscosa 'Purpurea'	Purple Hop Bush
Encelia farinosa	Brittlebush
Caesalpinia pulcherrima	Red Bird of Paradise

## GROUND COVER

Lantana montevidensis	Purple Trailing Lantana
Lantana 'Gold Mound'	Gold Mound Lantana
Ruellia brittoniana 'Katie'	Katie Ruellia
Rosmarinus officinalis 'prostratum'	Prostrate Rosemary
Wedelia trilobata	Yellow Dot

## GRANITE MATERIAL

Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.

Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc.





**Desert Museum Palo Verde**  
Cercidium 'Hybrid' Desert Museum

Size: 25' tall by 25' wide

Flower Color: Yellow

Blooming Season: Spring

Growth Rate: Fast

Description: This thornless Palo verde is an excellent shade tree and profuse bloomer. It's upright growth pattern is ideal for use next to pedestrian sidewalks and seating areas.



**Ulmus parvifolia**  
Evergreen Elm

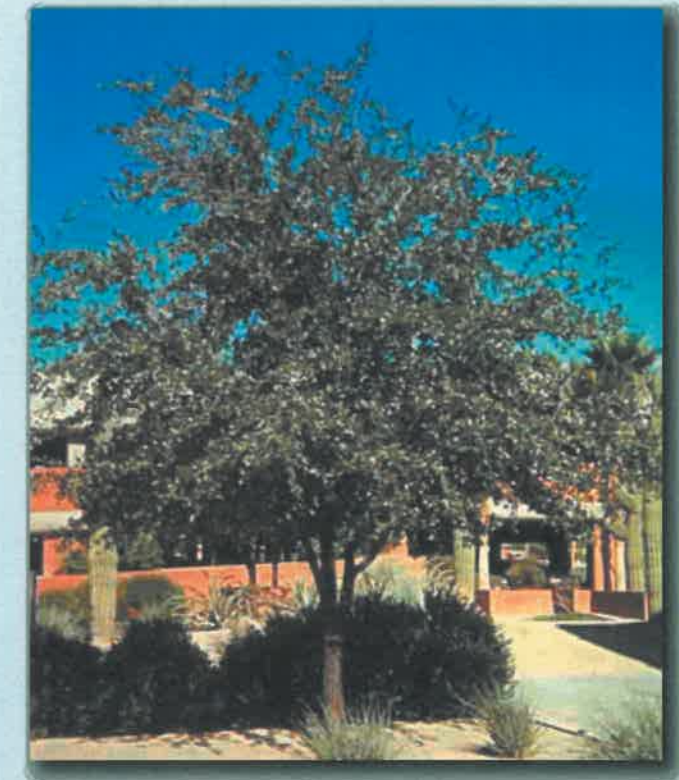
Size: 24' tall by 30' wide

Flower Color: None

Blooming Season: N/A

Growth Rate: Moderate

Description: The wide canopy of the Evergreen Elm provides a great amount of shade in the Desert Southwest. The deep green foliage and bark texture adds depth and character to the landscape, whether it is placed in formal rows or groupings.



**Quercus virginiana**  
Live Oak

Size: 25' tall by 25' wide

Flower Color: None

Blooming Season: N/A

Growth Rate: Moderate

Description: A low water use tree with lush foliage, the Live Oak's wide canopy provides good shade for pedestrian and vehicular spaces.





**Thornless Honey Mesquite**

*Prosopis glandulosa*

Size: 20' tall by 30' wide

Flower Color: White

Blooming Season: Spring

Growth Rate: Moderate

Description: The Thornless Honey Mesquite's open canopy provides excellent shade while its multitrunked, spreading habit creates unique trunk growth patterns.



**Fan-Tex Ash**

*Fraxinus velutina* 'Rio Grande'

Size: 30' tall by 25' wide

Flower Color: none

Blooming Season: Spring

Growth Rate: Fast

Description: Useful shade tree in areas with long hot summer, having a rounded form and is well suited to alkaline soils.



**Mondell Pine**

*Pinus eldarica*

Size: 35' tall by 20' wide

Flower Color: None

Blooming Season: N/A

Growth Rate: Fast

Description: A dense evergreen tree ideal for screening that is best suited for the desert environment.





**Anacacho Orchid Tree**  
*Bauhinia Lunarioides 'White'*

Size: 15' tall by 6' wide

Flower Color: Yellow

Blooming Season: Spring into Summer

Growth Rate: Slow to Moderate

Description: Hardy evergreen desert plant, with gray green butterfly shaped leaves, and white to pink blooming flowers.



**Mexican Bird of Paradise**  
*Caesalpinia mexicana*

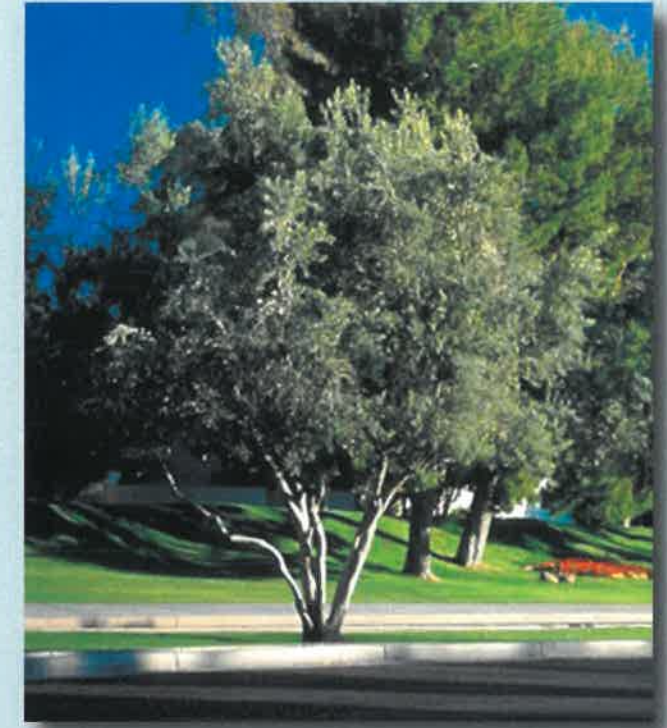
Size: 15' tall by 10' wide

Flower Color: Yellow

Blooming Season: Yearly

Growth Rate: Moderate

Description: A small evergreen accent tree with thornless branches and long 6 inch flower clusters.



**Swan Hill Olive**  
*Olea Europaea*

Size: 30' tall by 30' wide

Flower Color: None

Blooming Season: N/A

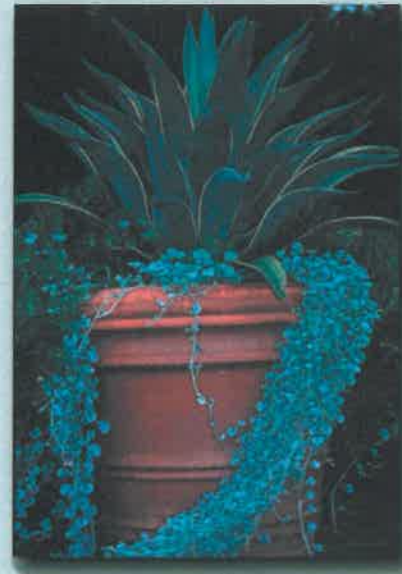
Growth Rate: Slow

Description: Leaves are deep green in color. Bears no fruit. Little or no pollen.





**Mexican Grass Tree**  
Dasyliion longissimum



**Agave species**  
Agave



**Hesperaloe species**  
Hesperaloe



**Desert Spoon**  
Dasyliion wheeleri



**Yucca species**  
Yucca



**Peruvian Apple Cactus**  
Cereus peruviana 'Monstrosus'





Bougainvillea species  
Bougainvillea



Muhlenbergia species  
Deer Grass



Buddleja marrubifolia  
Butterfly Bush



Simmondsia chinensis  
Jojoba



Tecoma stans 'Orange Jubilee'  
Orange Jubilee



Myrtus communis 'compacta'  
Compact Myrtle



Ruellia brittoniana  
Ruellia



Dodonea viscosa 'Purpurea'  
Purple Hop Bush





**Encelia farinosa**  
Brittlebush



**Caesalpinia pulcherrima**  
Red Bird of Paradise



**Lantana montevidensis**  
Purple Trailing Lantana



**Lantana 'Gold Mound'**  
Gold Mound Lantana



**Ruellia brittoniana 'Katie'**  
Katie Ruellia



**Rosmarinus officinalis 'prostratum'**  
Prostrate Rosemary



**Wedelia trilobata**  
Yellow Dot



## SITE DETAILS AND AMENITIES

Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Landscape Architect:



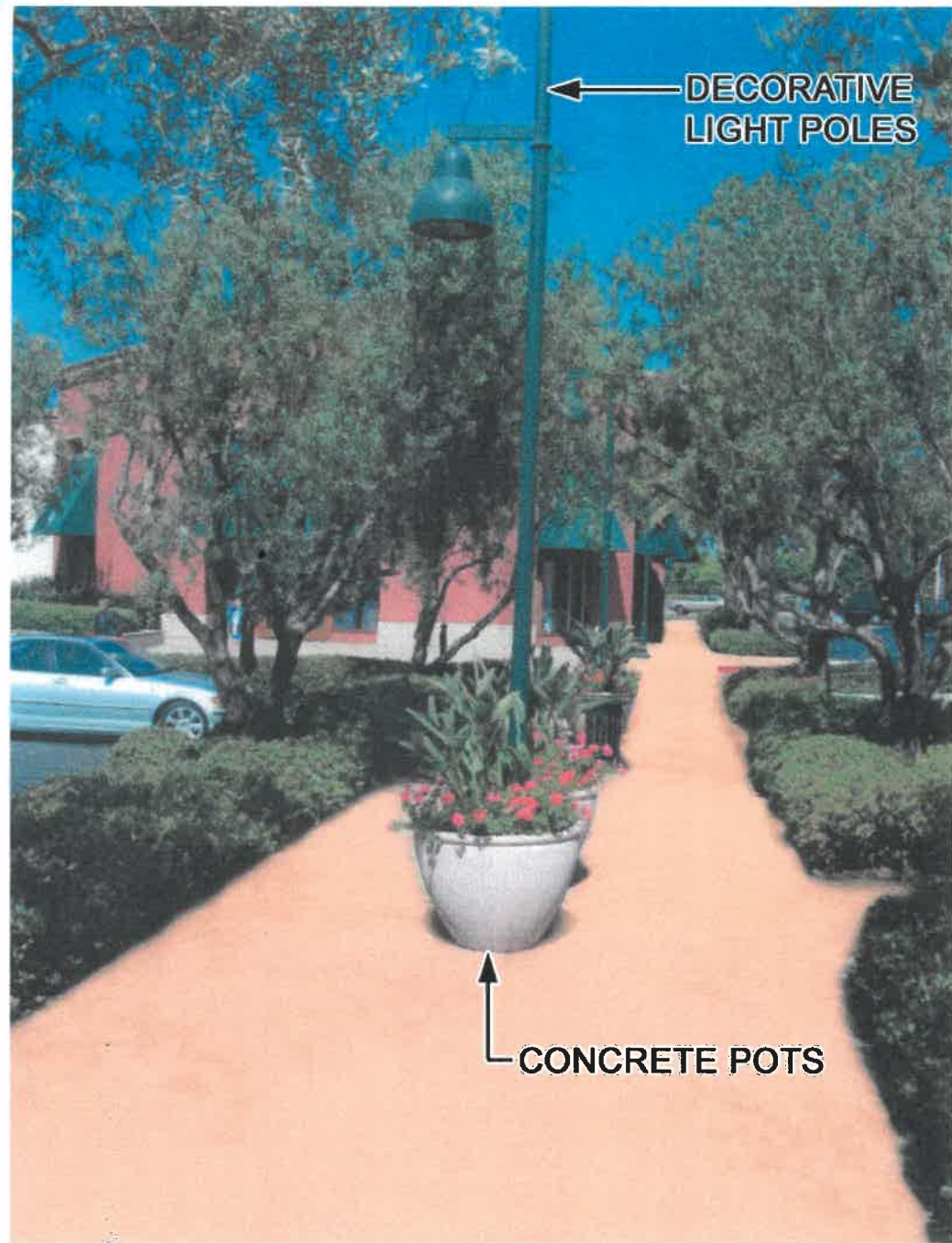
LASKIN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTS

Architect:



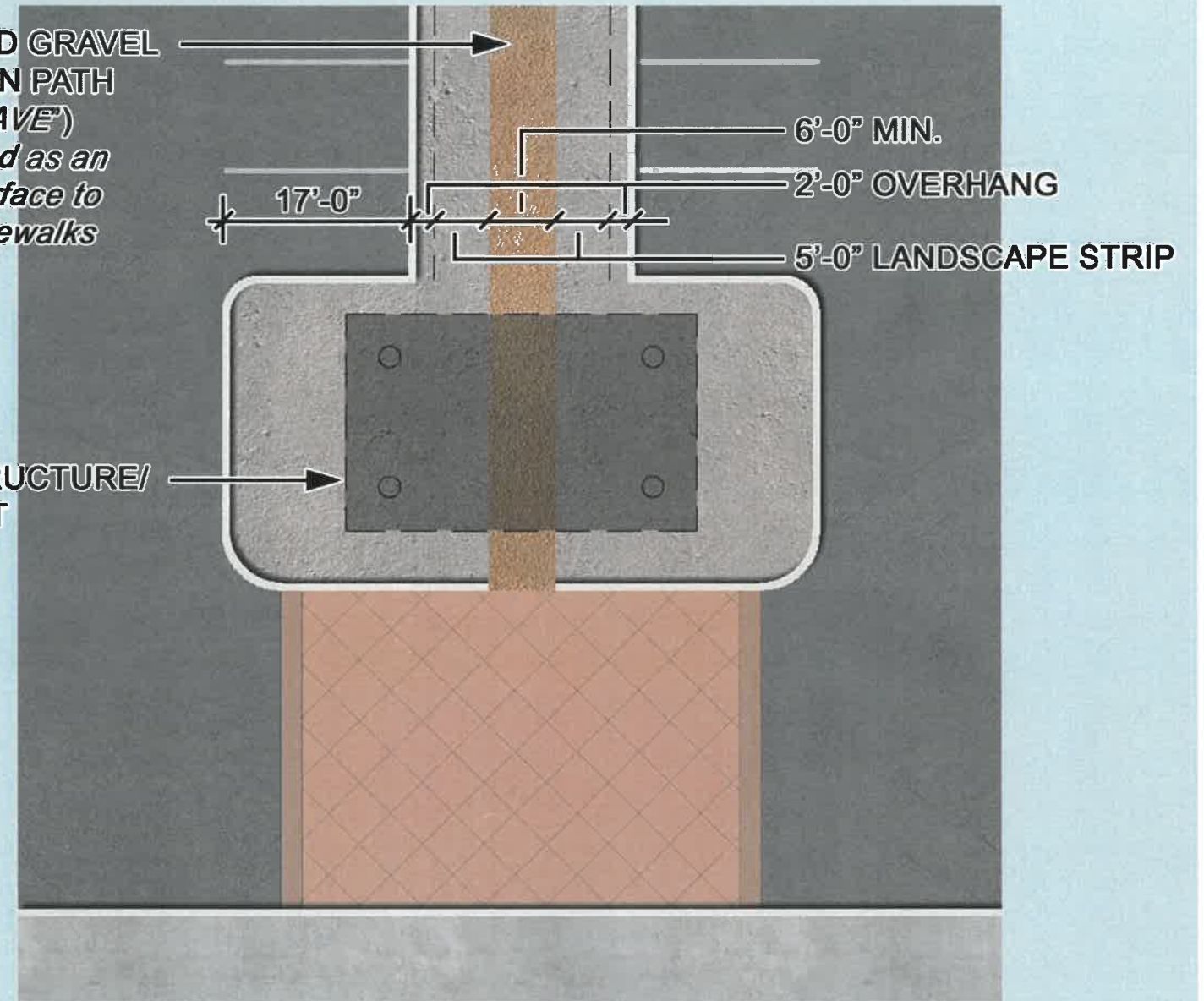
**Butler Design Group, Inc**  
architects & planners





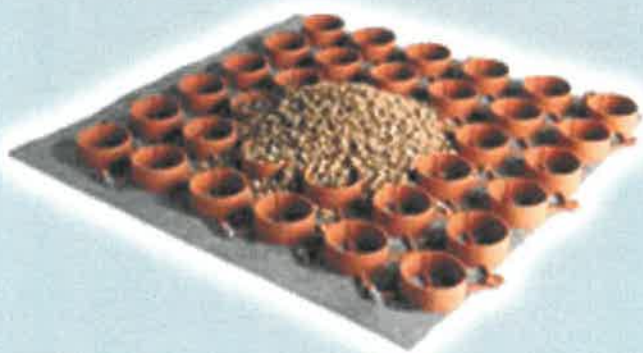
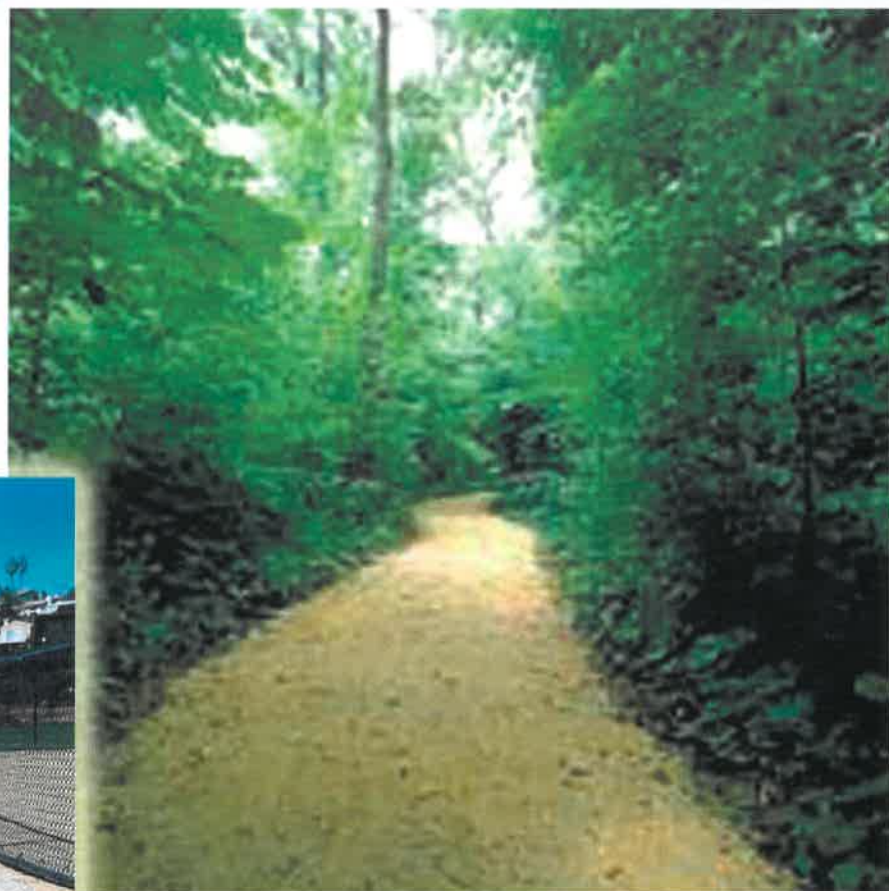
COMPACTED GRAVEL  
PEDESTRIAN PATH  
("GRAVELPAVE")  
*\*May be used as an  
alternate surface to  
concrete sidewalks*

SHADE STRUCTURE/  
PUBLIC ART



PEDESTRIAN LINKS



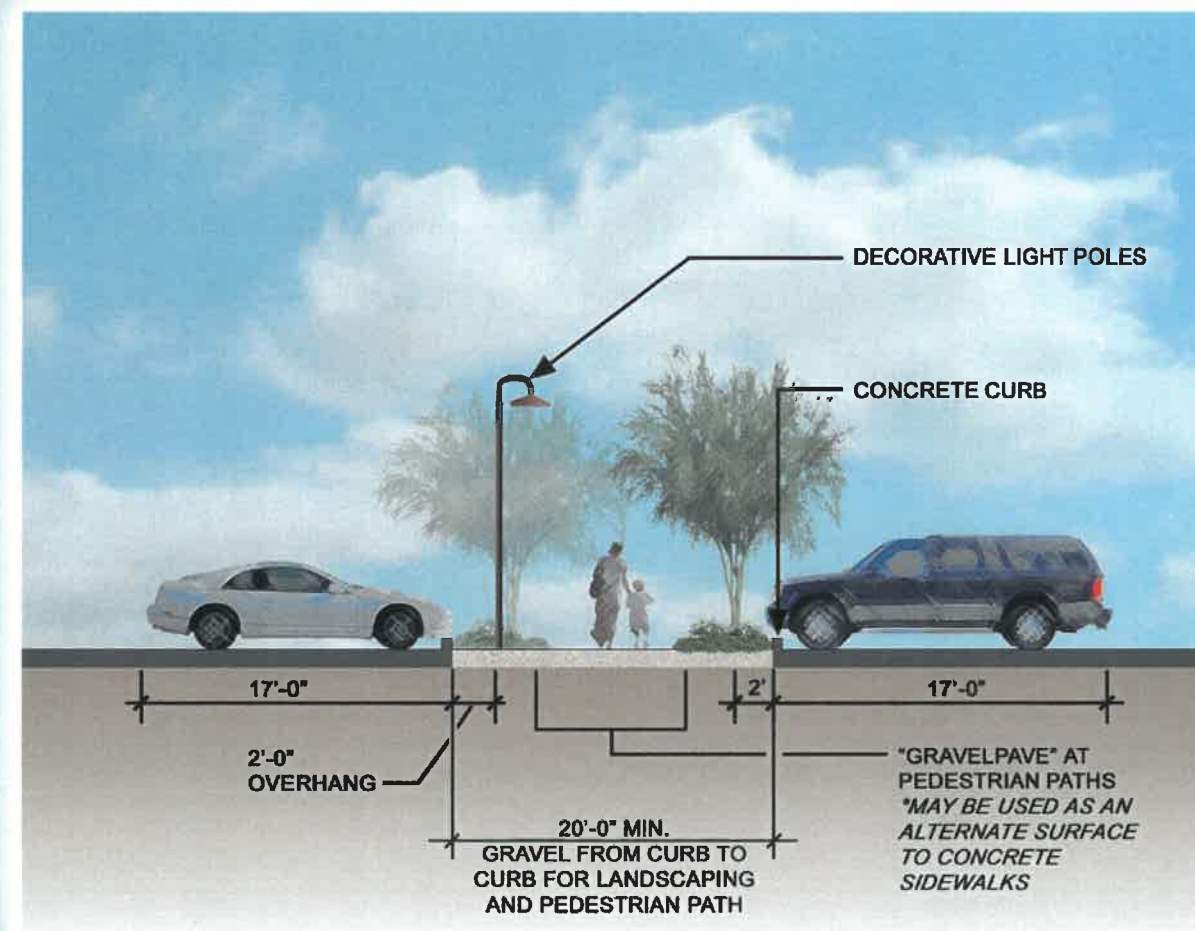


Gravelpave<sup>2</sup>  
 Porous (pervious/permeable)  
 paving system

**Benefits:**

- Porous / Pervious surface
- ADA compliant
- Great for paths/trails and other high-use pedestrian areas
- Less heat gain than concrete surfaces
- Innovative solution for pedestrian paths

“GRAVELPAVE” EXHIBIT



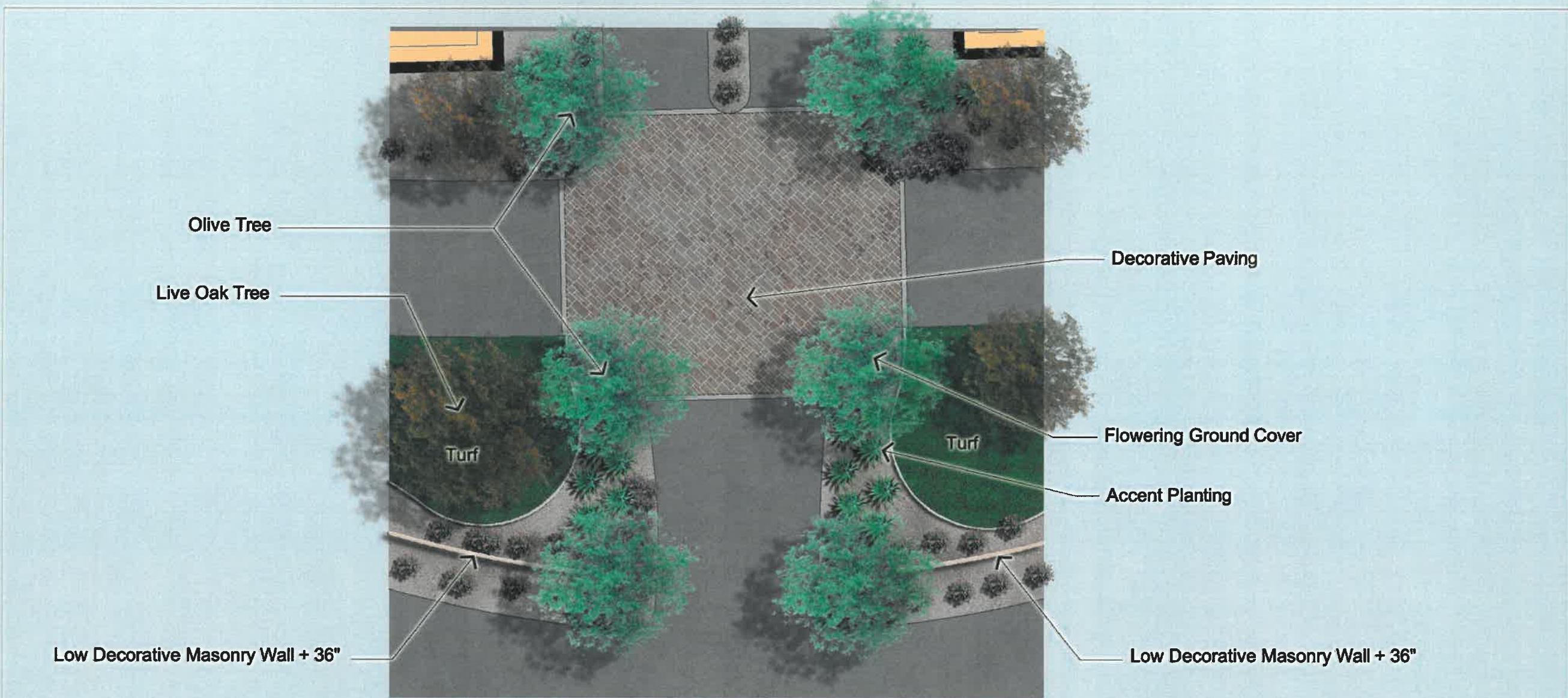
SECTION THROUGH PEDESTRIAN LINK





**PLAZA ENLARGEMENT AT SPECIALTY SHOPS / RESTAURANTS**





Olive Tree

Live Oak Tree

Turf

Turf

Decorative Paving

Flowering Ground Cover

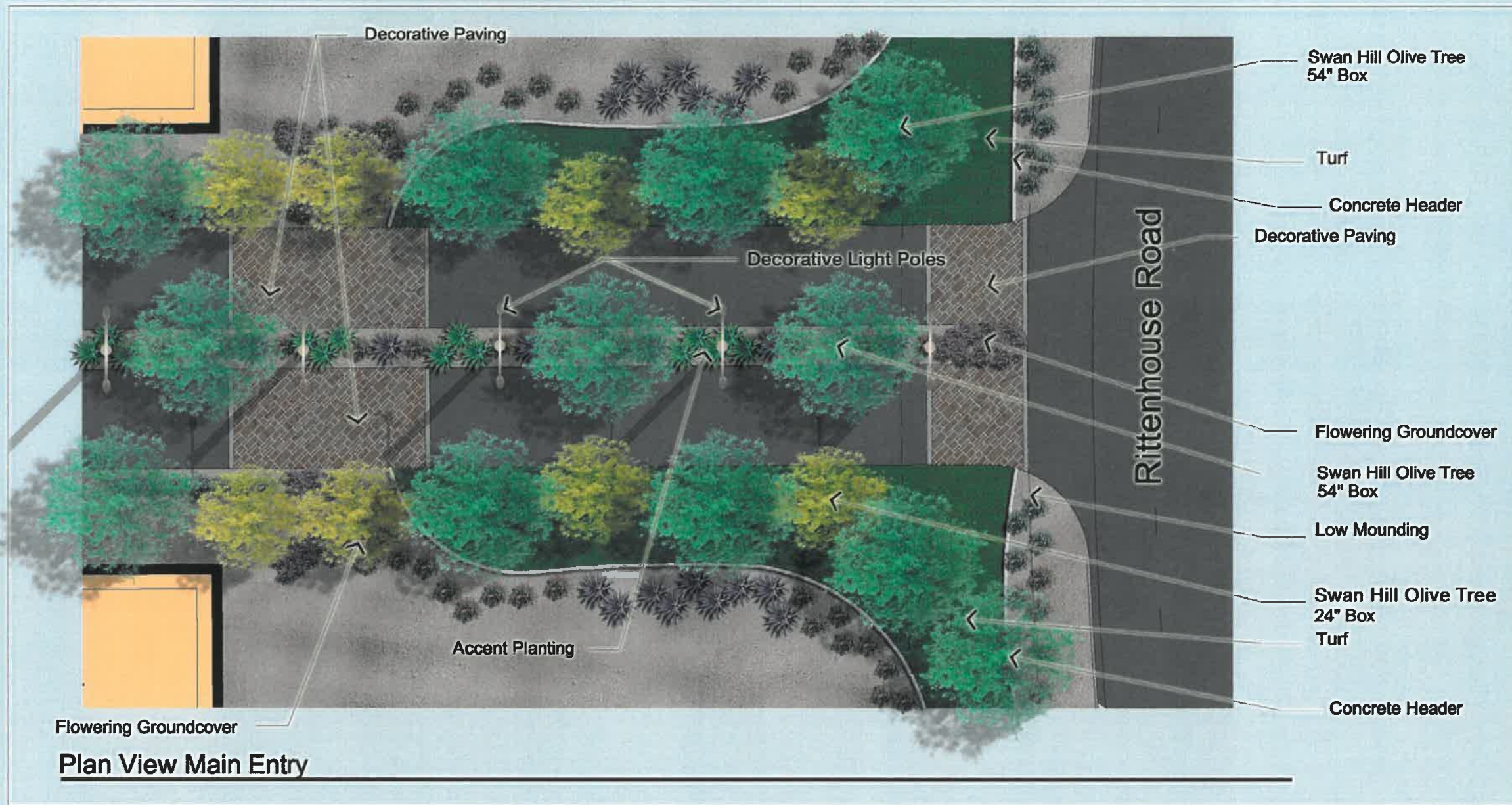
Accent Planting

Low Decorative Masonry Wall + 36"

Low Decorative Masonry Wall + 36"

Plan View Interior Road Intersection





Flowering Groundcover

**Plan View Main Entry**

Decorative Paving

Accent Planting

Decorative Light Poles

Rittenhouse Road

Swan Hill Olive Tree  
54" Box

Turf

Concrete Header  
Decorative Paving

Flowering Groundcover

Swan Hill Olive Tree  
54" Box

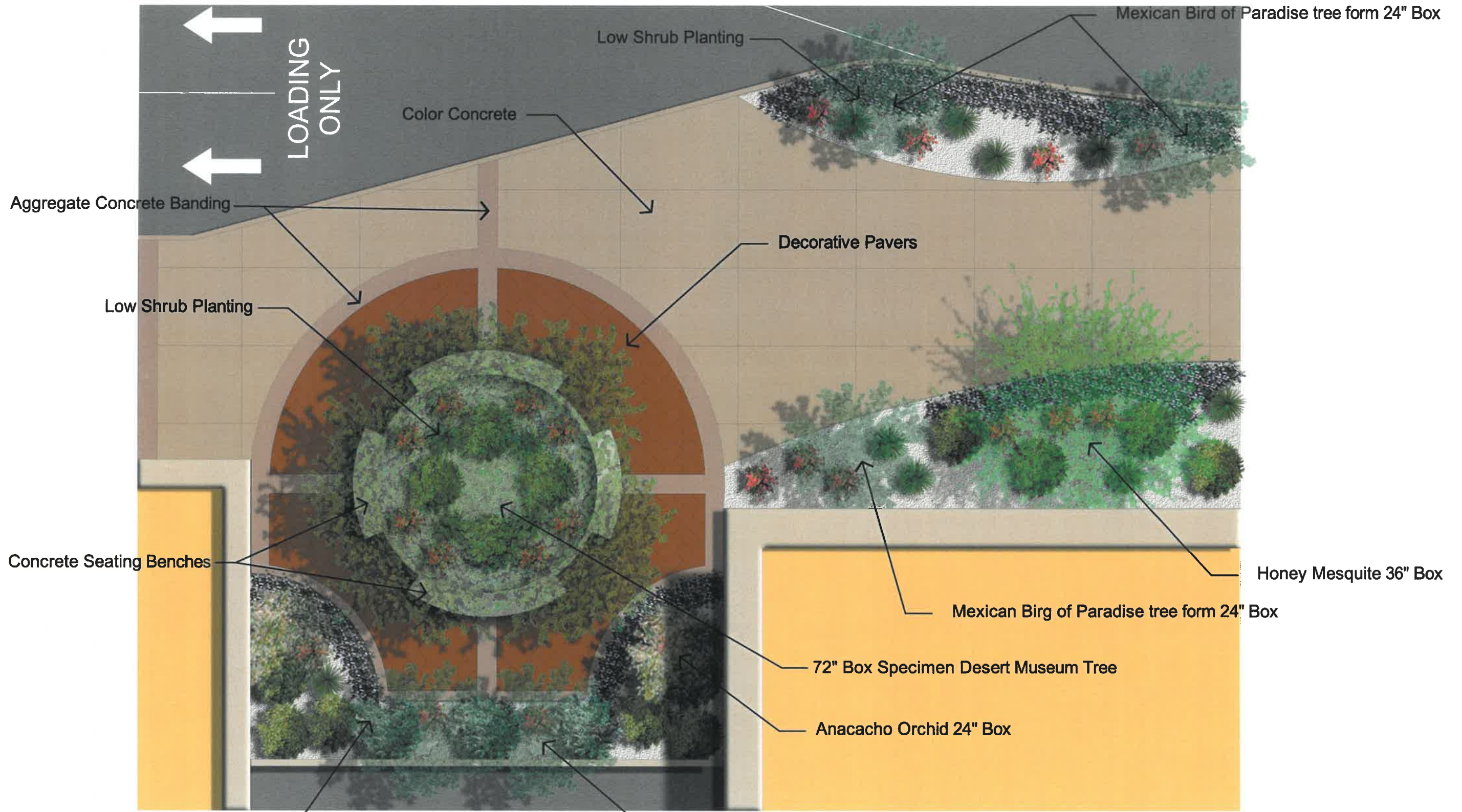
Low Mounding

Swan Hill Olive Tree  
24" Box

Turf

Concrete Header





**Plaza Feature**  
**BETWEEN MAJORS N & O**

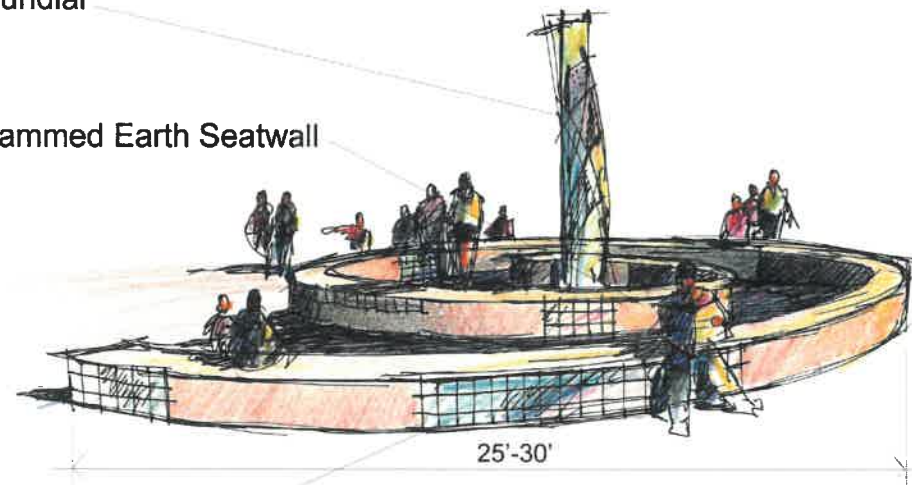




Sundial

Rammed Earth Seatwall

Decorative Tiles



INTERACTIVE PUBLIC PLAZA



KEY PLAN





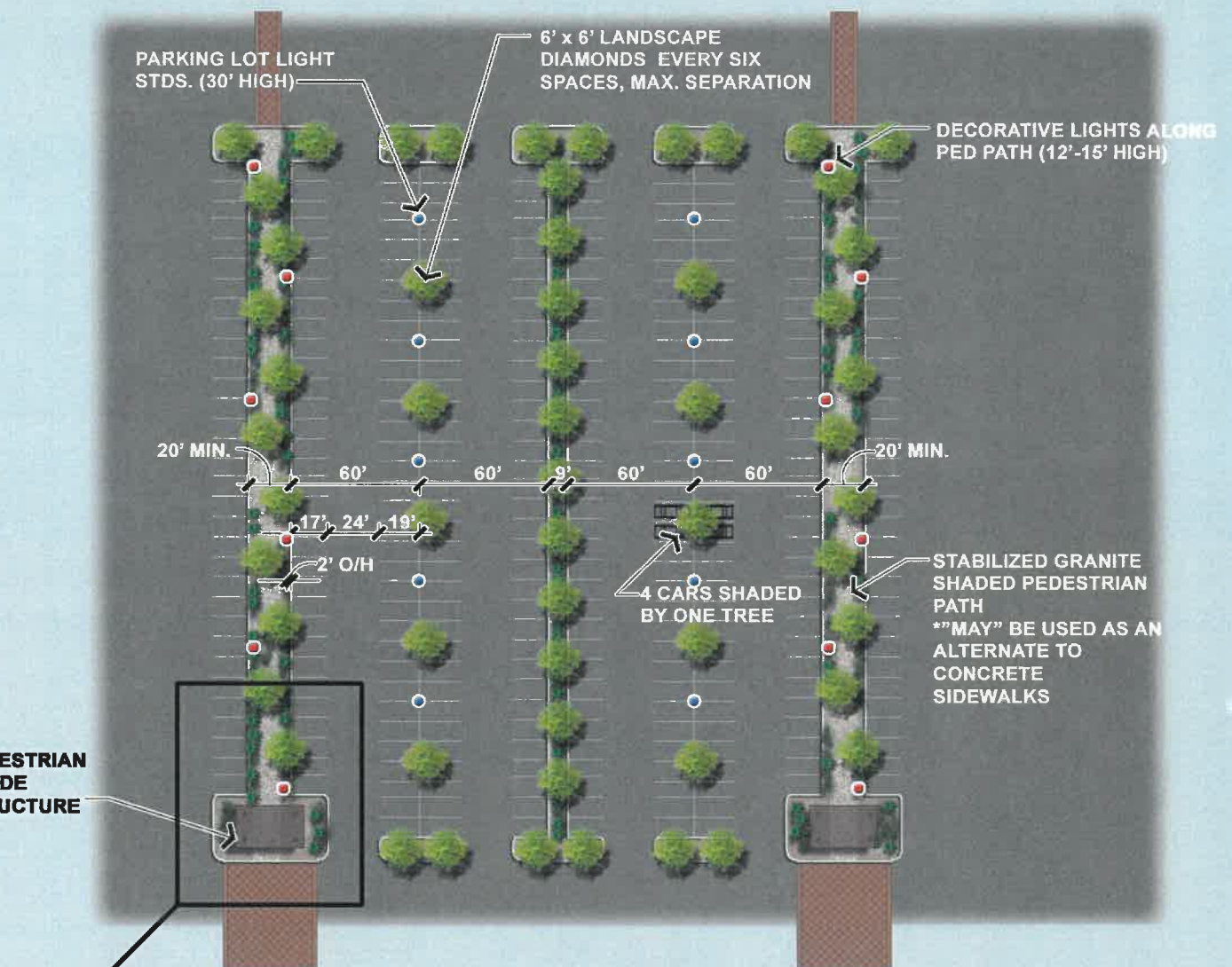
**LANDSCAPE "DIAMONDS"**



**SHADE STRUCTURE**



**ORDINANCE PARKING LOT STANDARD**  
TREES PROVIDED: 42



**PROPOSED PARKING LOT STANDARD**  
TREES PROVIDED: 65





**"PARTIAL" LIGHTING PLAN**

**LUMINAIRE SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	SA	18	TWIN HEAD LITHONIA KAD 400M R85/ S88 27.5" WITH 2.5" BASE	DIE CAST SHOEBOX MOUNTED @ 30'	TWO 400 PULSE START METAL HALIDE	94040801.IES	40000	0.72	800
○	SB	10	SELUX QHD-R2-1-H100 S35A35	DECORATIVE POST-TOP SPUN ALUMINUM SHADE, FLAT CLEAR LENS ALUMINUM REFLECTOR, SINGLE POLE, MOUNTED @ 15'	ONE- 100 WATT METAL HALIDE	QhdR2h175.Ies	9000	0.72	100

**STATISTICS**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Cell Zone #1	+	4.4 fc	20.0 fc	0.0 fc	N/A	N/A



FOUNTAINS INTERSPERSED  
THROUGHOUT DEVELOPMENT

CONCRETE PAVERS OVER  
SAND BASE (50% OF ALL  
HARDSCAPE AREAS IN  
FRONT OF BUILDINGS)



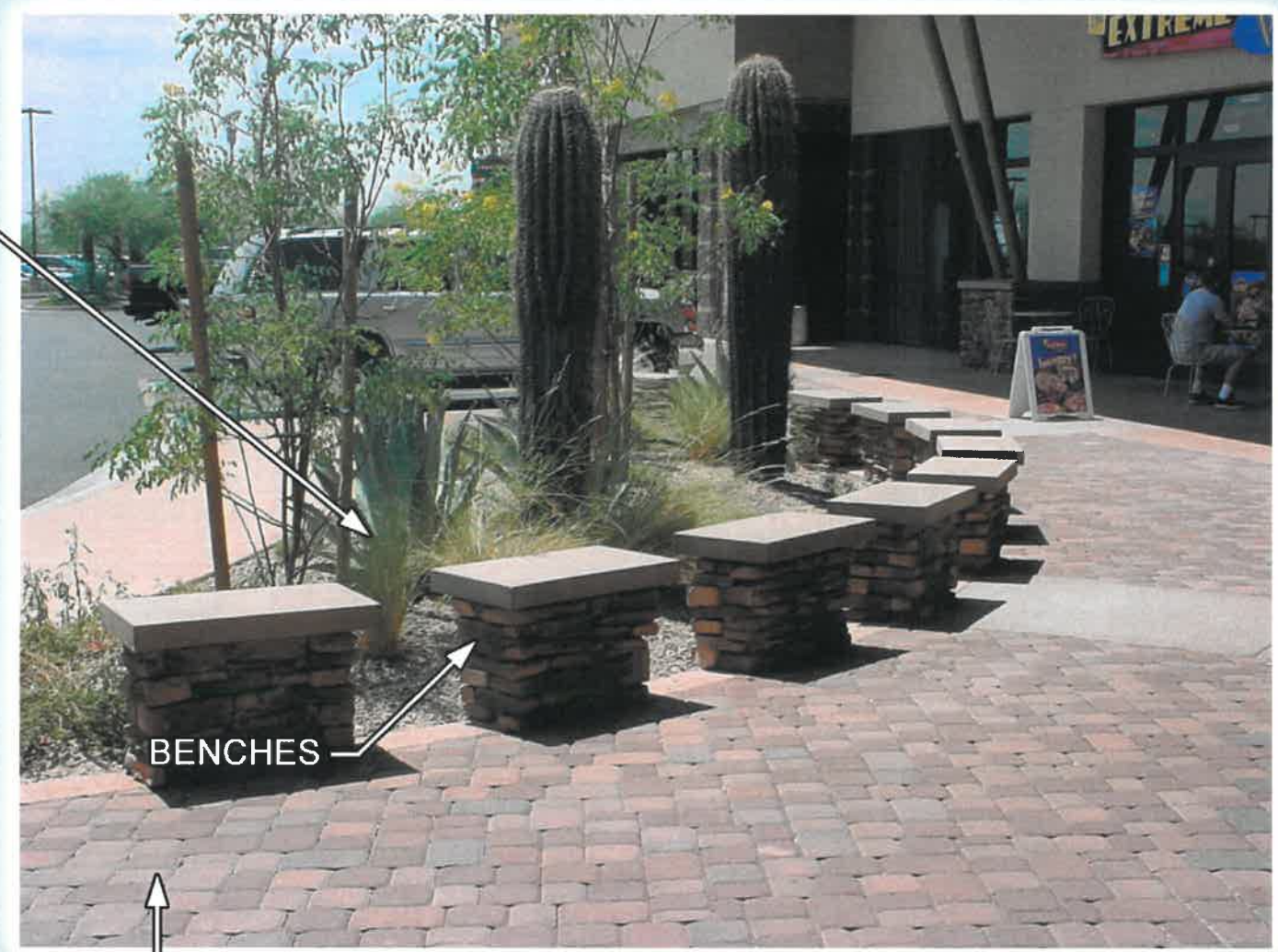




BENCHES

TRASH

LANDSCAPE  
"POCKETS"



BENCHES

CONCRETE PAVERS OVER  
SAND BASE (50% OF ALL  
HARDSCAPE AREAS IN  
FRONT OF BUILDINGS)





CONCRETE PLANTER POTS



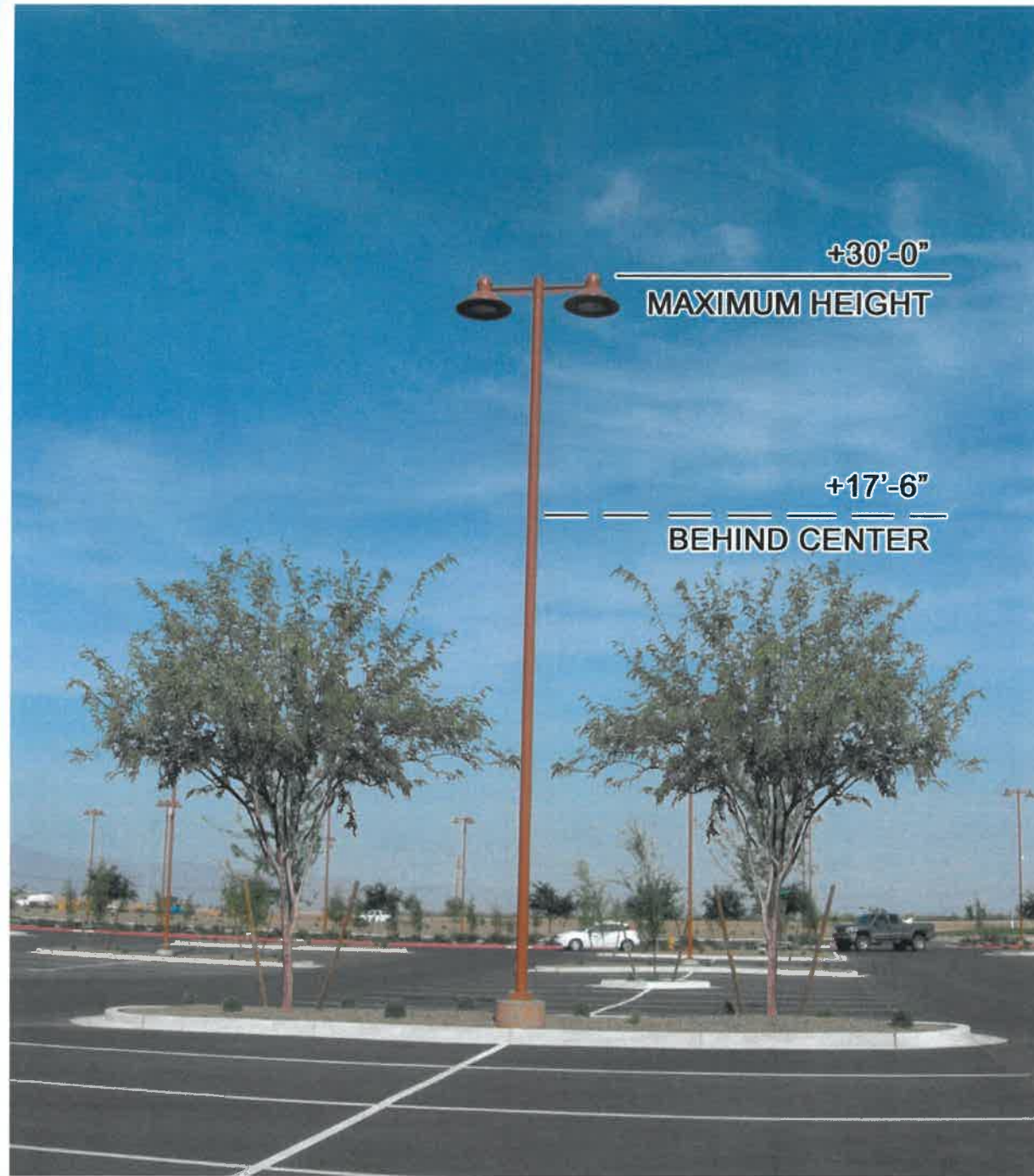
SEAT WALLS



HARDSCAPE EXHIBIT







**JUSTIFICATIONS FOR TALLER POLES:**

- PROVIDE MORE EVEN DISTRIBUTION OF LIGHTING THROUGHOUT PARKING LOT
- REQUIRE CONSIDERABLY LESS POLES WHICH IS AN AESTHETIC BENEFIT
- LESS IMPACTED BY TREES BLOCKING LIGHT
- PROVIDES SAFER CONDITIONS
- 17'-6" MAX. HEIGHT BEHIND CENTER

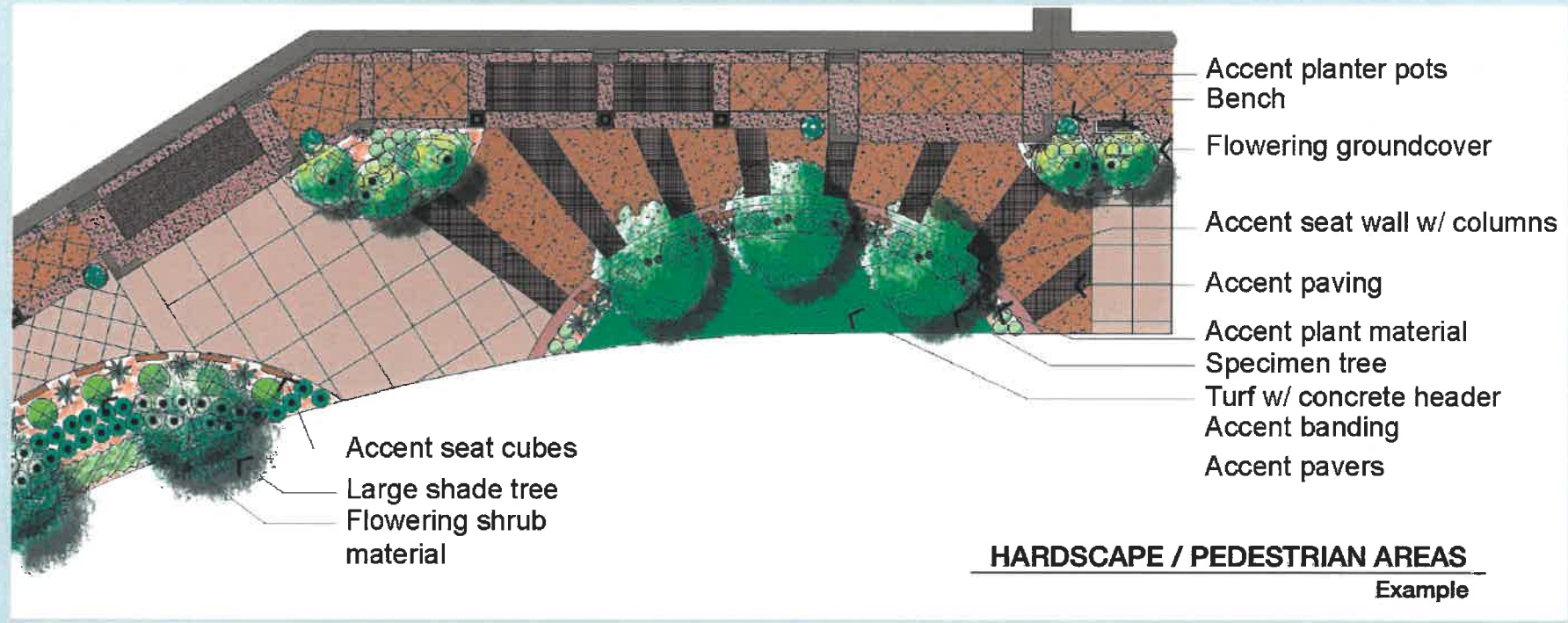
**LIGHT POLE EXHIBIT**



- CAN REDUCE THE SURROUNDING AIR TEMPERATURE AS MUCH AS 35 DEGREES.
- PROVIDES A SAFER, MORE COMFORTABLE SHOPPING EXPERIENCE.
- HELPS REDUCE HEAT RELATED EXHAUSTION AND STROKE.
- CREATES OUTDOOR "COOL ZONES" WHERE AIR CONDITIONING CAN'T BE USED.
- WILL BE INSTALLED AT ALL CANOPIES OF IN-LINE MAJOR TENANTS AND SHOPS.

**MISTING SYSTEM EXHIBIT**





Seat Walls



Outdoor dining areas



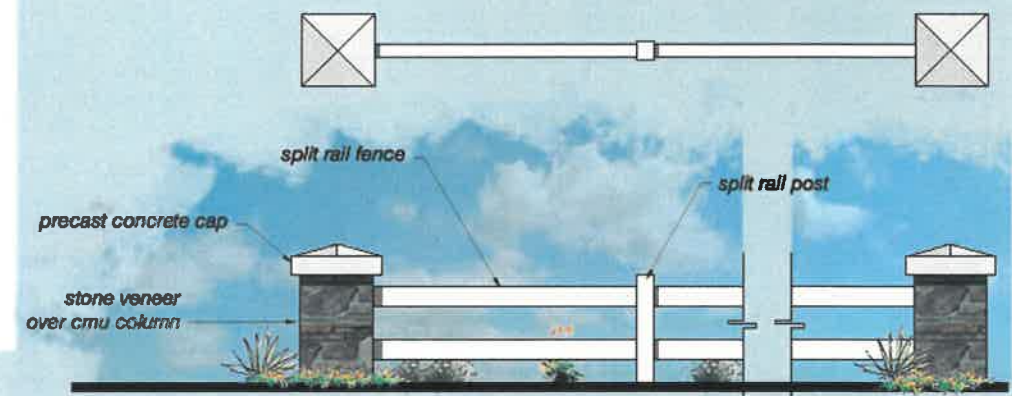
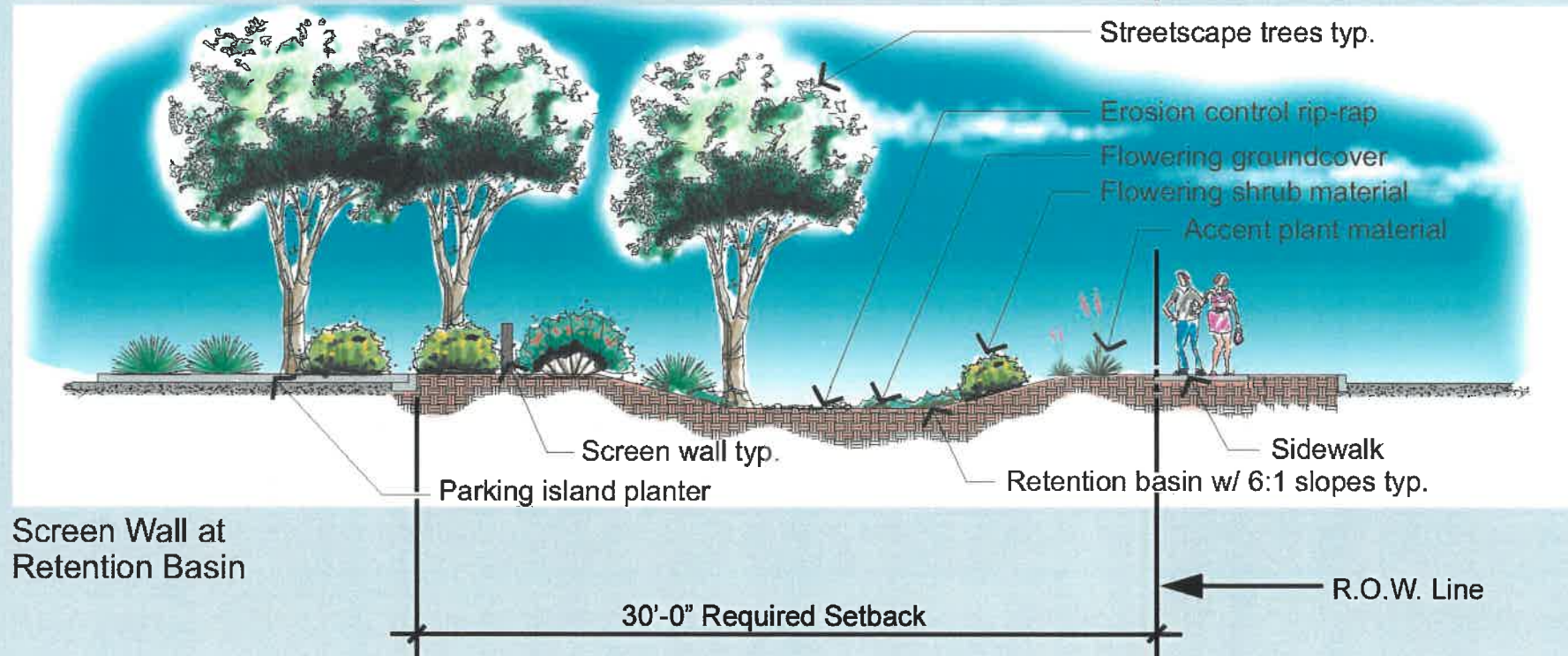
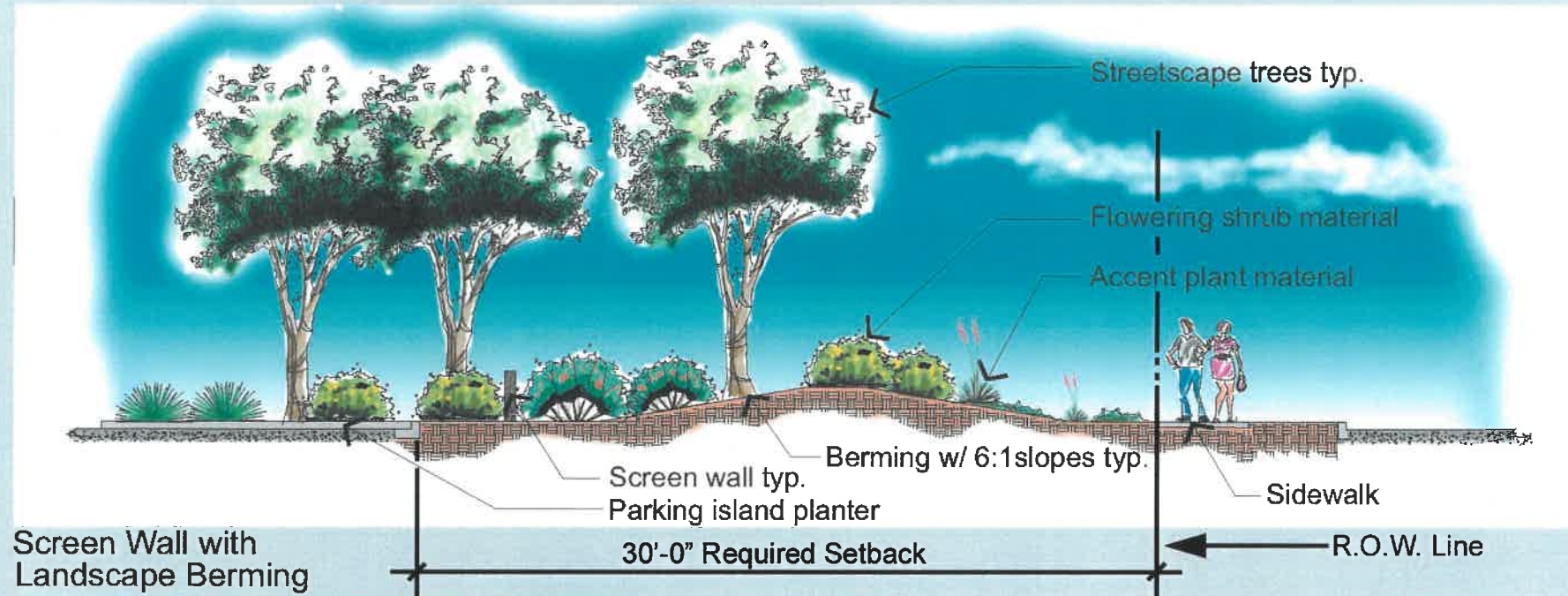
Landscape Pots

Benches

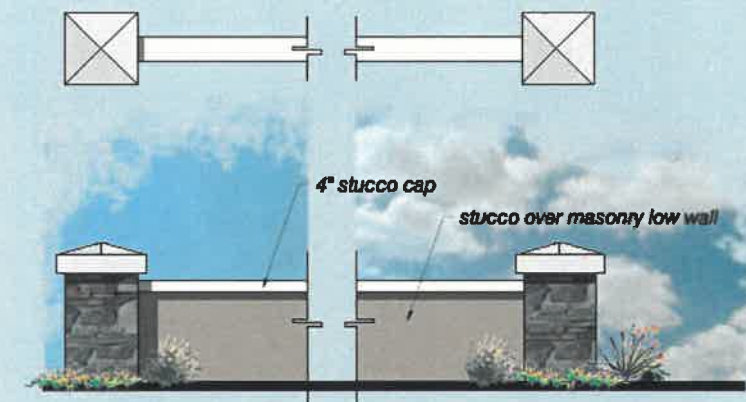


Seat Cubes





DECORATIVE FENCE



TYPICAL SCREENWALLS



## COMPREHENSIVE SIGN PLAN

Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Signage Consultant:



2030 WEST DESERT COVE AVE.  
PHOENIX, ARIZONA 85028  
802.844.3117  
FAX 802.355.0753  
SALES@BLEIERINDUSTRIES.COM

Architect:



**Butler Design Group, Inc**  
architects & planners





## General Requirements Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Queen Creek Marketplace for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations of the Town of Queen Creek Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval by the Town of Queen Creek as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved by the Town of Queen Creek, the latter shall prevail.

### I. GENERAL REQUIREMENTS

- A. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, design color, method of illumination, materials, and method of attachment of Tenant's building mounted signage.
- B. Tenant or Tenant's representative shall obtain all required permits for signs and their installation.
- C. All building mounted signs shall be constructed and installed at Tenant's sole expense. All freestanding site signage will be fabricated and installed by Developer's designated sign contractor. Tenant shall provide electronic artwork suitable for production to Developer's sign contractor who will produce Tenant's signage on the site signage. Tenant shall reimburse Developer for all site signage costs in accordance to the terms of their respective lease agreement.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of Developer or Developer's authorized representative.
- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign require maintenance or repair, Developer shall give Tenant thirty (30) days written notice to effect said

maintenance or repair. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's invoice.

- G. Advertising devices such as attraction boards, posters, banners and flags shall not be permitted except for temporary banners that may be permitted to announce a grand opening or seasonal sale. Temporary banners must be approved in writing by the Developer prior to its installation. Permits, if required by the Town of Queen Creek, shall be obtained prior to installation.

### II. SPECIFICATIONS - TENANT BUILDING SIGNAGE

- A. General Specifications
  - 1. No animated, flashing or audible signs shall be permitted.
  - 2. All signs, including temporary signs and their installation shall comply with all Town of Queen Creek building and electrical codes.
  - 3. No exposed raceways, crossovers or conduit shall be permitted unless physical circumstances exist that prohibit the signage to otherwise be installed. All tenant signage shall consist of individual letters and logos installed onto the building's wall surface. Sign cabinets are discouraged, however, may be approved if part of the Tenant's nationally recognized corporate identification program. Tenant signage shall not include any background color, material and/or structure used to delineate tenant's signage unless part of the Tenant's nationally recognized corporate identification program. The Developer shall have the sole and separate discretion in approving and/or varying any provision of these specifications.
  - 4. All cabinets, conductors, transformers and other equipment shall be concealed wherever possible.
  - 5. Temporary signs and banners and painted lettering shall not be permitted except as approved by the Developer and the Town of Queen Creek.
  - 6. Any damage to a wall surface or roof deck resulting from Tenant's sign installation shall be repaired at Tenant's sole cost. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's invoice.
  - 7. Upon removal of any sign by Tenant, any damage to a wall surface and/or architectural element shall be repaired at Tenant's cost. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's invoice.
- B. Location of Signs



1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed and authorized by the Developer.

### III. DESIGN REQUIREMENTS BUILDING SIGNAGE

Individual illuminated letters and logos are recommended and may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. The letters are to be mounted onto the building fascia. Electrical connections shall be concealed to remote and/or self-contained transformers. All signage shall be installed in compliance to the Town of Queen Creek electrical code and UL 2161 / UL 48 specifications. Any sign installation found to be non-compliant shall be repaired immediately by the Tenant at Tenant's sole expense.

#### A. Sign Area

1. The maximum aggregate sign area per building elevation for each tenant shall be calculated by multiplying one and one-half (1.50) times the length of the Tenant's storefront(s) and/or elevation(s) occupied by the Tenant without limitation as to maximum sign area and/or number of sign elements. As a minimum allowance, Tenants occupying less than thirty three (33) feet of storefront and/or elevation shall be permitted a minimum of fifty (50) square feet of sign area.

#### B. Letter Height and Placement Restrictions

1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer and/or Developer's agents.
2. Majors and Pad tenants occupying less than 9999 SF shall be limited to a maximum letter height of thirty six (36") inches. Shop tenants shall be limited to a maximum letter height of twenty four (24") inches. Majors occupying 10000 SF through 49999 SF shall be limited to a maximum letter height of sixty (60") inches. Anchors occupying greater than 50000 SF shall be limited to a maximum letter height of seventy two (72") inches. Logos shall not be subject to maximum letter height restrictions herein established. However, Logos shall be included in sign area computations. Anchors, Majors, Pad, and Shop Tenants shall be permitted to utilize their corporate identification program subject to sign area limitations contained in the approved Comprehensive Sign Plan. All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Queen Creek Marketplace. The Developer and the Town of Queen Creek shall have discretion in varying any provision of these specifications.

3. Sign on Wall Surface: No sign shall exceed eighty (80%) percent of the height and/or width of the building elevation and/or wall surface upon which it is placed. The available surface area of the wall may affect letter height.
4. Where Shop Tenant signage is installed on a common sign band and/or wall surface, the overall length of the sign shall not exceed a maximum of eighty (80%) percent of the Tenant's leased storefront length. This percentage may be less if warranted by architectural conditions.

#### C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be Tenant's choice, subject to the approval of Developer and/or Developer's agents and the Town of Queen Creek.

#### D. Illumination

1. Tenant building signage may be internally illuminated, backlit to create a silhouette, and/or any combination of lighting methods mentioned herein.

#### E. Under Canopy Blade Sign

1. Each Shop Tenant shall be required to install graphic copy, at Tenant's cost, on the under canopy blade sign furnished by the Developer in accordance to the specifications contained in this Comprehensive Sign Plan. Anchor, Majors and Pad Tenants shall have the option to do so. For cost efficiencies and design/construction uniformity, all under canopy blade signs will be manufactured by the Developer's project sign contractor and purchased in bulk by Developer. Each Tenant that is required to have a blade sign shall reimburse the Developer for the cost of the display and its installation thereof.
2. All under canopy blade sign copy shall consist of flat cut out graphics and shall be surface applied to both sides of the display. The Developer and/or Developer's Agents shall approve in writing all copy and layout prior to its installation. Each Shop Tenant shall furnish and install the approved copy for said display at Tenant's sole and separate expense. For convenience, Tenant can furnish the copy to Developer's project sign contractor for mounting and/or can provide the project's sign contractor with electronic art suitable for production. Tenant shall pay for all costs associated with the production and mounting of Tenant's blade sign copy.
3. The blade sign shall be suspended and/or projected using a mechanism consistent with other under canopy blade signs throughout the Queen Creek Marketplace as specified.



**IV. GENERAL CONSTRUCTION REQUIREMENTS**

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All illuminated signage shall be fabricated in a manner to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. Required labels or other identification shall be permitted on the exposed surface of signs and shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof. Tenants shall employ licensed contractors and shall furnish to the Developer Certificates of Insurance for both General Liability and Workers Compensation prior to commencement of any sign installation.



FREESTANDING SIGNAGE AND  
WAYFINDING SYSTEM

Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.866.0900  
FAX: 602.955.2298

Signage Consultant:



2030 WEST DESERT DOVE AVE.  
PHOENIX, ARIZONA 85028  
602.844.3117  
FAX 602.365.0753  
SALES@BLAIRINDUSTRIES.COM

Architect:



**Butler Design Group, Inc**  
architects & planners



PROJECT: Queen Creek Marketplace Ellsworth & Rittenhouse Rd. Queen Creek, AZ	
TITLE: Sign Location Site Plan	
DESIGNER: Dan Horton	SALES: Paul Bleier
DESIGN NO: 2004-B-004	DATE: 05/02/06
SCALE: AS NOTED	REVISIONS:
SHEET NO: <b>SP-1</b>	

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APPROVED BY:

Developer:



2425 East Camelback Road • Suite 750 • Phoenix, Arizona 85016  
PHONE: 602-866-0800

Architect:



Butler Design Group  
Architects & Planners  
5555 E. Van Buren St.  
Suite 215  
Phoenix, Arizona 85008  
Phone: 602-957-1500  
Fax: 602-957-7722

**LEGEND**

- MAJOR TENANT
- SHOPS
- PADS
- ST-1 SIGN TYPES
- SIGN LOCATIONS

SCALE:  
0 75 150 300

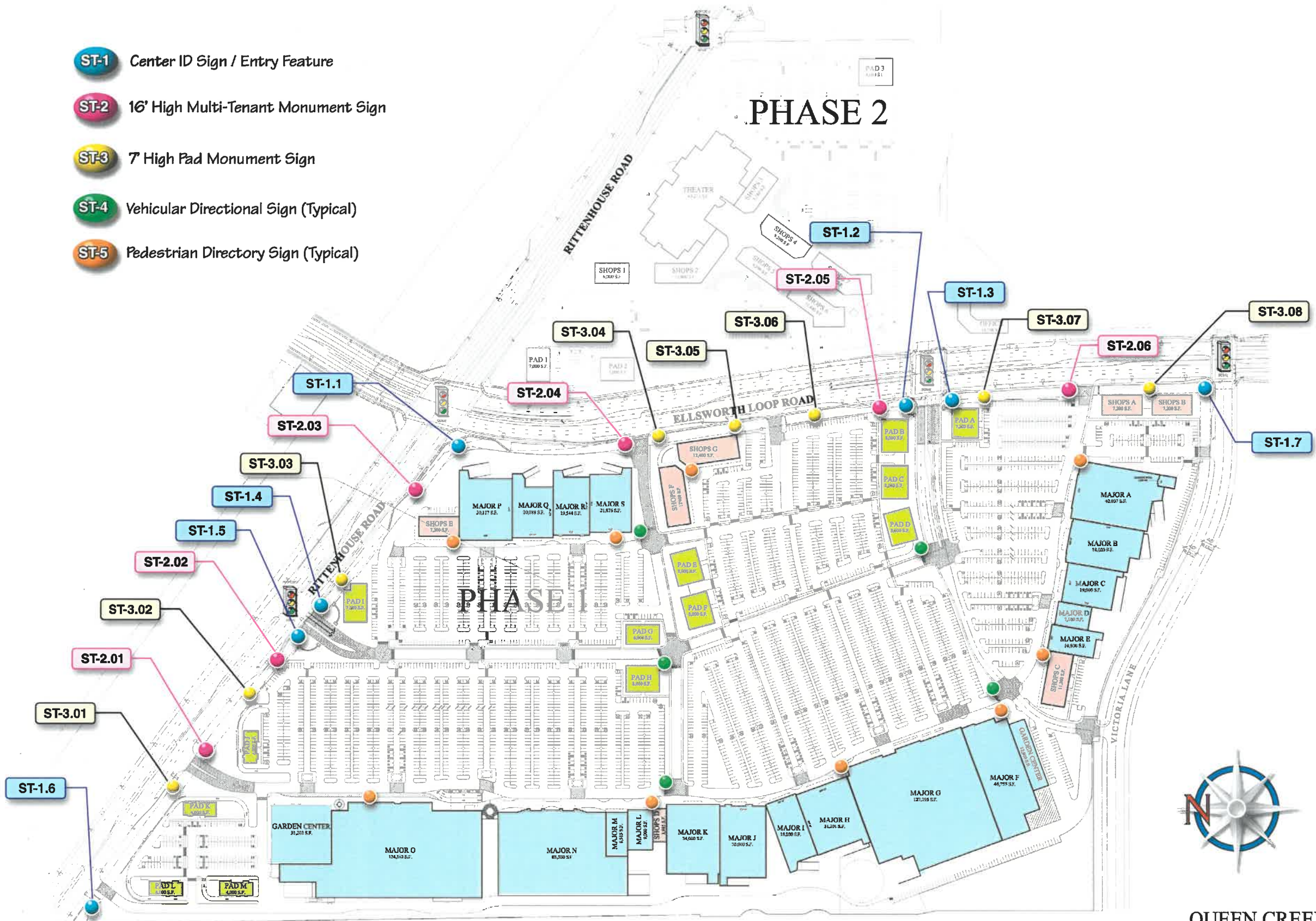
REVISED: 05/02/06



**QUEEN CREEK MARKETPLACE**

RITTENHOUSE ROAD & ELLSWORTH ROAD  
QUEEN CREEK, ARIZONA

SIGN LOCATION SITE PLAN



- ST-1** Center ID Sign / Entry Feature
- ST-2** 16' High Multi-Tenant Monument Sign
- ST-3** 7' High Pad Monument Sign
- ST-4** Vehicular Directional Sign (Typical)
- ST-5** Pedestrian Directory Sign (Typical)



# QUEEN CREEK MARKETPLACE

## Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
<b>SIGN TYPE 1.1 Primary Entry Feature Wall</b>	Wall Feature	Center Identification	Intersection of Ellsworth Road and Rittenhouse Road	1	Primary Entry Feature	100 SF of Center Identification	Internal and/or ground Illumination	Masonry, Stucco, Textured Aluminum, Powder Coat and Acrylics
<b>SIGN TYPE 1.2, 1.3, 1.4 &amp; 1.5 Entry Feature Wall</b>	Wall Feature	Center Identification	Ellsworth Road Project Entrance and Rittenhouse Road Project Entrance	4	Entry Feature	50 SF of Center Identification	Internal and/or ground Illumination	Masonry, Stucco, Textured Aluminum, Powder Coat and Acrylics
<b>SIGN TYPE 1.6 &amp; 1.7 Entry Feature Wall</b>	Wall Feature	Center Identification	NWC of Property along Rittenhouse Road and Intersection of Ellsworth Road and Victoria Ln	2	Entry Feature	50 SF of Center Identification	Internal and/or ground Illumination	Masonry, Stucco, Textured Aluminum, Powder Coat and Acrylics
<b>SIGN TYPE 2 Multi-Tenant Monument Sign</b>	Monument	Multi tenant identification	Placed along Ellsworth Road and Rittenhouse Road	Ellsworth Road (3) Rittenhouse Road (3)	Sixteen (16') feet to top of sign section exclusive of architectural embellishments	150 SF Tenant Sign Area Exclusive of Architectural Embellishments	Internal and/or ground Illumination	Masonry, Stucco, Textured Aluminum, Powder Coat and Acrylics
<b>SIGN TYPE 3 Pad Monument Sign</b>	Monument	Pad Tenant Identification	Placed along Ellsworth Road and Rittenhouse Road	Ellsworth Road (5) Rittenhouse Road (3)	Seven (7') feet to top of sign section exclusive of architectural embellishments	40 SF Tenant Sign Area Exclusive of Architectural Embellishments	Internal and/or ground Illumination	Masonry, Stucco, Textured Aluminum, Powder Coat and Acrylics
<b>SIGN TYPE 4 Vehicular Directional Sign</b>	Monument	Vehicular Directional	Placed Throughout the Project Site	TBD	Six (6') feet to top of sign section exclusive of architectural embellishments	6 SF Directional Sign Area Exclusive of Architectural Embellishments	Non-Illuminated	Textured Aluminum, Powder Coat and Reflective Vinyl
<b>SIGN TYPE 5 Pedestrian Directory</b>	Kiosk	Pedestrian Directory / Site Map / Promotional	Placed Throughout the Project Site at Pedestrian Locations	TBD	Eight (8') feet to top of the architectural embellishment.	24 SF / Face (3 faces) of Sign Area Exclusive of Architectural Embellishments	Internal and ground Illumination	Textured Aluminum, Powder Coat and Acrylics









**ST-1.2, 1.3, 1.4 & 1.5**

Secondary Center ID Sign / Entry Feature - Scale: 3/8"=1'-0"

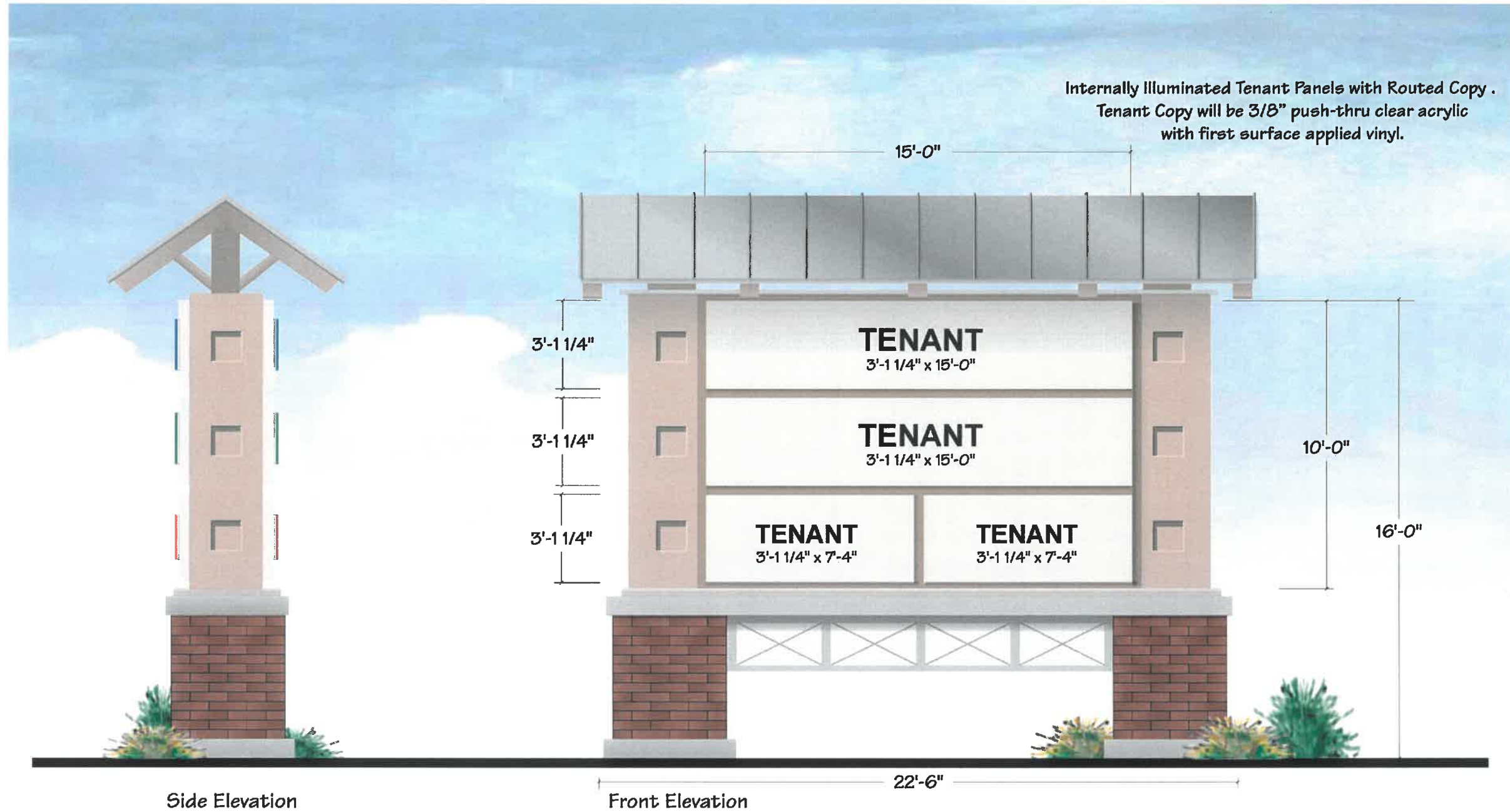




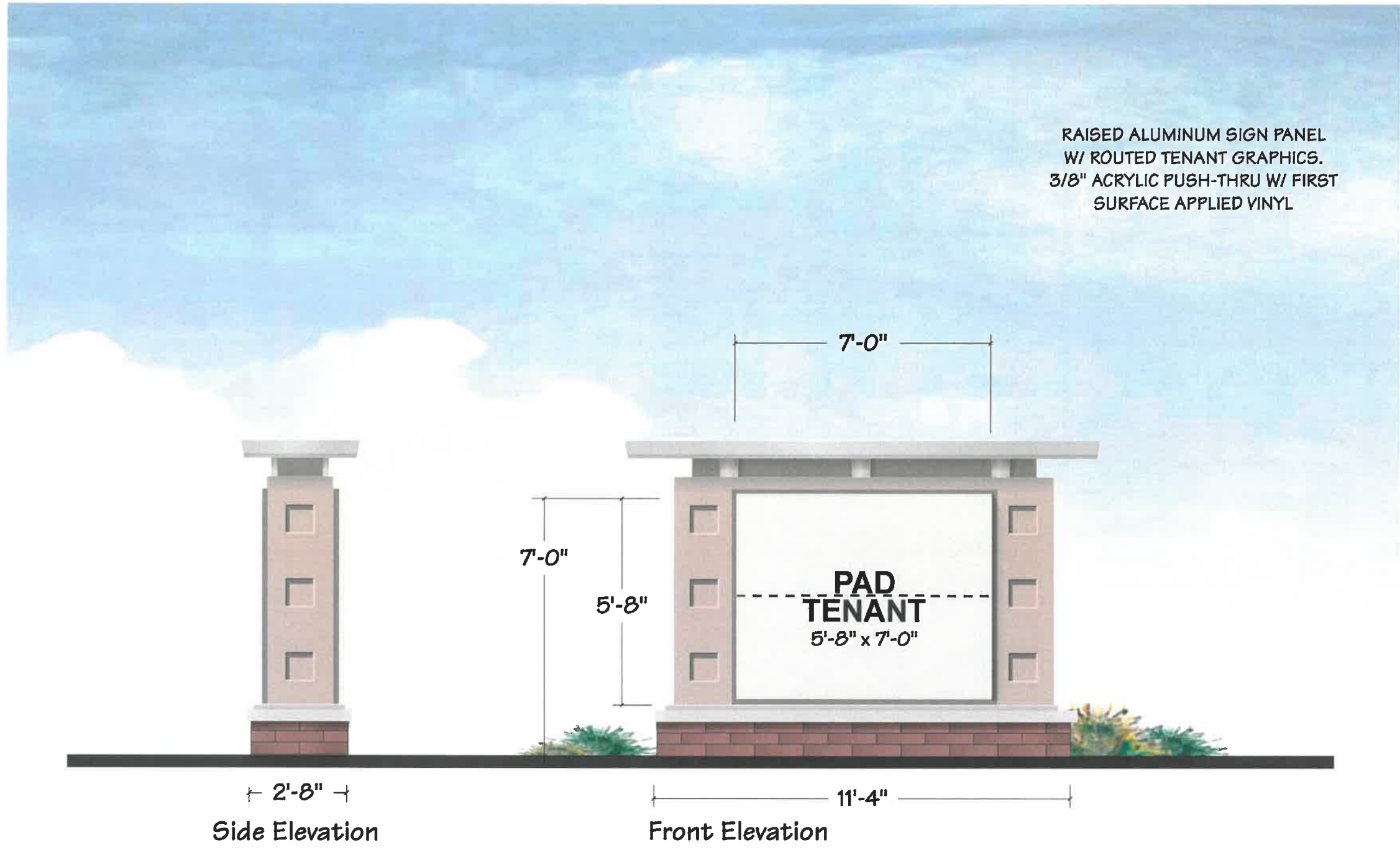
## ST-1.6 & ST-1.7

Tertiary Center ID Sign / Entry Feature - Scale: 1/4" = 1'-0"









RAISED ALUMINUM SIGN PANEL  
W/ ROUTED TENANT GRAPHICS.  
3/8" ACRYLIC PUSH-THRU W/ FIRST  
SURFACE APPLIED VINYL



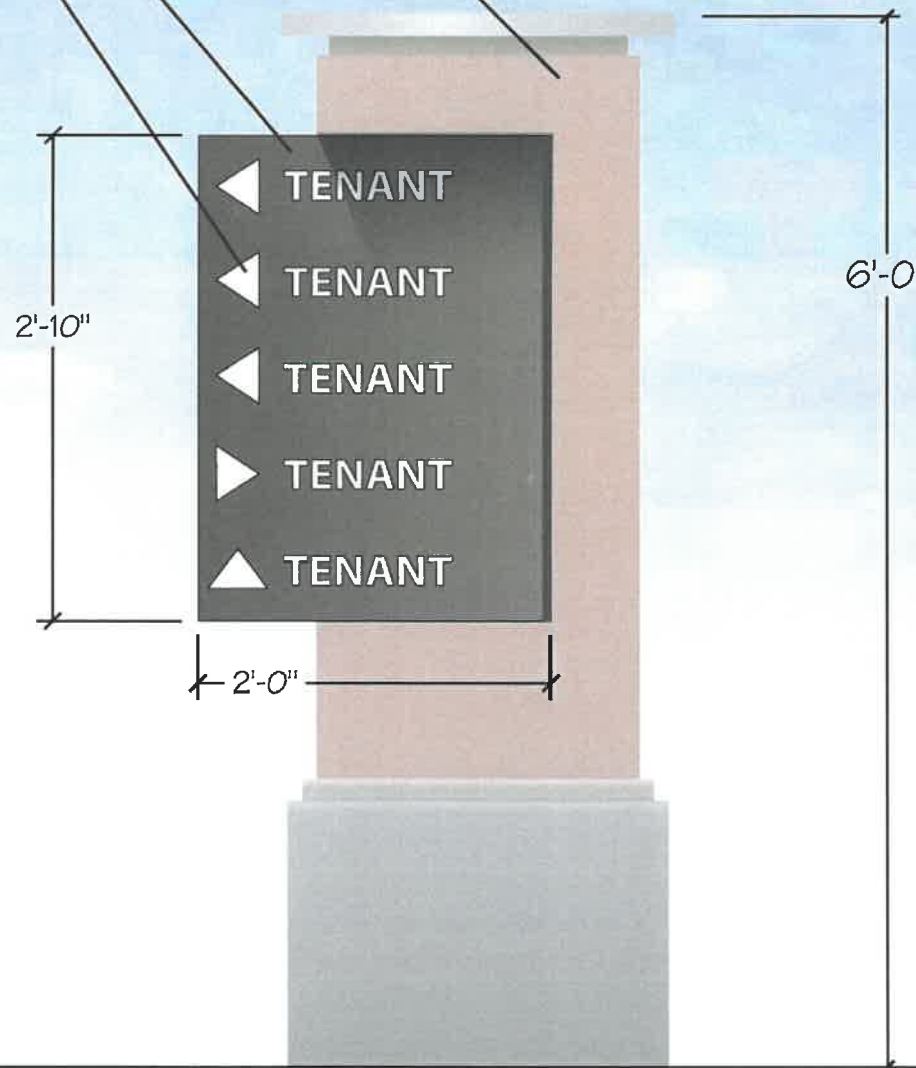
ALUMINUM CABINET / POLE COVER TEXTURED AND PAINTED

ALUMINUM PANEL PAINTED

WHITE REFLECTIVE VINYL LETTERING



SIDE ELEVATION

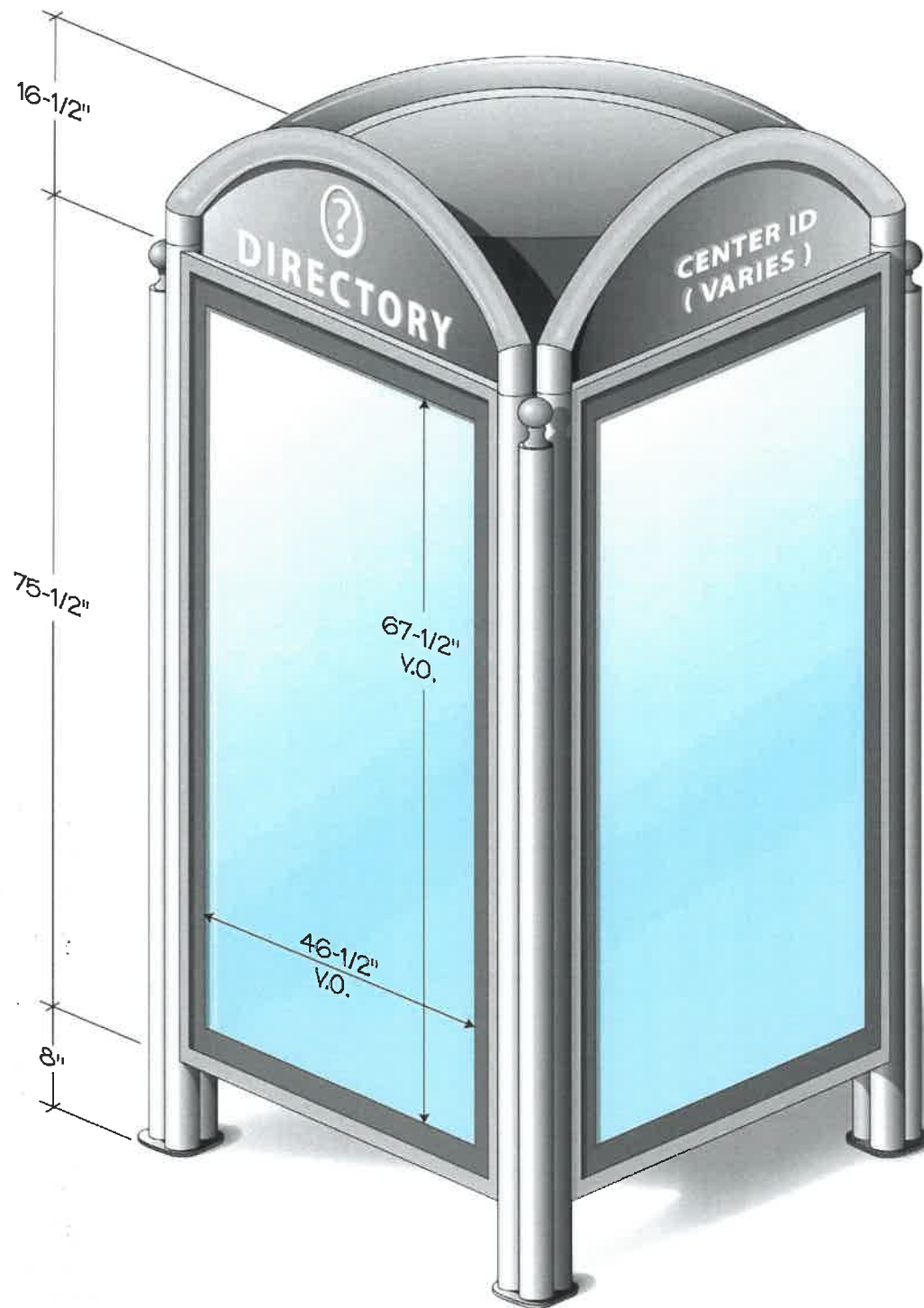


ELEVATION: VEHICULAR DIRECTIONAL 3/4"=1'-0"



### 3 SIDED - 3 POST - PEDESTRIAN DIRECTORY

#### ISOMETRIC VIEW



#### SPECIFICATIONS

##### ELECTRICAL

BALLAST - 1190-12R ( 250 watts ) OR 71A5793  
 LAMPS - (1) 250 watts INDOOR / OUTDOOR  
 VOLTS - 110-120  
 AMPS - NORMAL DRAW OF 2.3 AMPS

##### LIGHT BOX SECTION INCL. DOOR / FRAMES

DOOR/FRAMES - EXTRUDED ALUMINUM WELDED AND PAINTED  
 LIGHT BOX STRUCTURE FABRICATED STEEL (INDOOR),  
 STAINLESS STEEL (OUTDOOR) AND PAINTED.

##### UPRIGHT TUBING

3" OUTSIDE DIAMETER STEEL TUBING / INDOOR.  
 3" OUTSIDE DIAMETER STAINLESS TUBING / OUTDOOR.

##### ATTACHMENT OF TUBES TO LIGHT BOX

SCREW FROM INSIDE LIGHT BOX INTO STEEL TUBES.  
 (3) THREE SCREWS PER TUBE

##### ELECTRICAL FEED

FROM LOWER CORNER OF LIGHT BOX DOWN INSIDE  
 ONE TUBE THRU FLOOR PLATE AND CONNECTED  
 BY INSTALLERS TO FLOOR PLUG.  
 3 - PRONG PLUG SUPPLIED  
 WITH LINE CORD / INDOOR.  
 HARD WIRED / OUTDOOR.

##### GRAPHIC SIZE

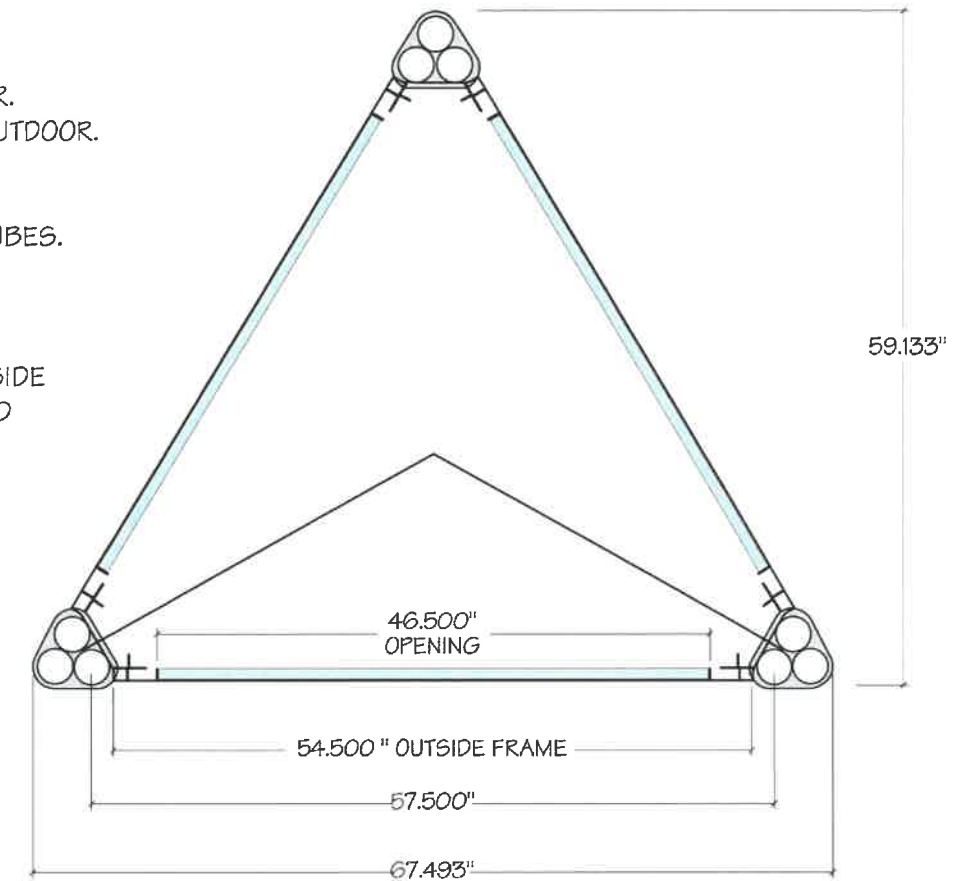
48" X 70"

##### VISUAL OPENING

46.50 X 67.50

##### NOTICE:

COLORS TBD



**FOOT PRINT - 3 SIDED - 3 POST - DIRECTORY SIZE**  
 SCALE: 1/2" = 1'-0"

**DIRECTORY UNIT FURNISHED BY VIACOM**

2030 WEST DESERT COVE AVE. • PHOENIX, ARIZONA 85029 • 602.944.3117 • FAX 602.395.0753 • SALES@BLEIERINDUSTRIES.COM



Queen Creek Marketplace Ellsworth & Rittenhouse Rd. Queen Creek, AZ	
TITLE: Pedestrian Directory	SALES: Dan Horton Paul Bieler

2004-B-004	03/27/06
SCALE: As Noted	REVISIONS:
DRAWING NO: ST-5	

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 APPROVED BY:



BUILDING SIGNAGE AND  
THEMATIC IMAGE GRAPHICS

Developed by:



**Vestar**

2425 E. CAMELBACK RD.  
SUITE 750  
PHOENIX, AZ 85016  
TEL: 602.886.0900  
FAX: 602.955.2298

Signage Consultant:



8030 WEST DESERT COVE AVE.  
PHOENIX, ARIZONA 85029  
802.844.2117  
FAX 802.395.0753  
SALES@BLEIERINDUSTRIES.COM

Architect:



**Butler Design Group, Inc**  
*architects & planners*



# QUEEN CREEK MARKETPLACE

## Building Sign Matrix Major Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Major Tenant with occupancy of 50,000 SF or greater	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	72" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy greater than 10,000 SF through 49,999 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	60" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy 9,999 SF or less	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	36" Maximum Letter Height Exclusive of Logos	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
All Major Tenants	Under Canopy Blade Sign (Optional)	Tenant Identification	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

*Comprehensive Sign Plan subject to Town of Queen Creek approval as part of a PAD*



Majors and shop tenants occupying less than 9999 SF shall be limited to a maximum letter height of thirty-six (36") inches exclusive of logos.

Majors occupying 10000 SF through 49999 SF shall be limited to a maximum letter height of sixty (60") inches exclusive of logos.

Majors occupying greater than 50000 SF shall be limited to a maximum letter height of seventy two (72") inches exclusive of logos.

All national retailers shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained in the approved Comprehensive Sign Plan.

All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Queen Creek Marketplace.

Developer shall have sole and separate discretion in varying any provision of these specifications.

Signage is illustrated to depict typical placements. Actual sizes and locations will be determined by tenant's corporate identification standards  
In accordance to criteria established as part of the csp submittal.



TYPICAL BUILDING SIGNAGE - MAJOR TENANT



TYPICAL MAJOR TENANT ELEVATIONS



# QUEEN CREEK MARKETPLACE

## Building Sign Matrix Shop Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Tenants	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	Within Building Silhouette	1.5 SF / Linear Foot of Building Street Frontage (Typical)  50 SF Minimum (Typical) Per Building Elevation Upon Which Signage is Placed  36" Maximum Letter Height Exclusive of Logos	Interior, Backlit or a Combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Tenants	Under Canopy Blade Sign (Mandatory)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

*Comprehensive Sign Plan subject to Town of Queen Creek approval as part of a PAD*



Shop tenants occupying less than 9999 SF shall be limited to a maximum letter height of thirty-six (36") inches exclusive of logos.

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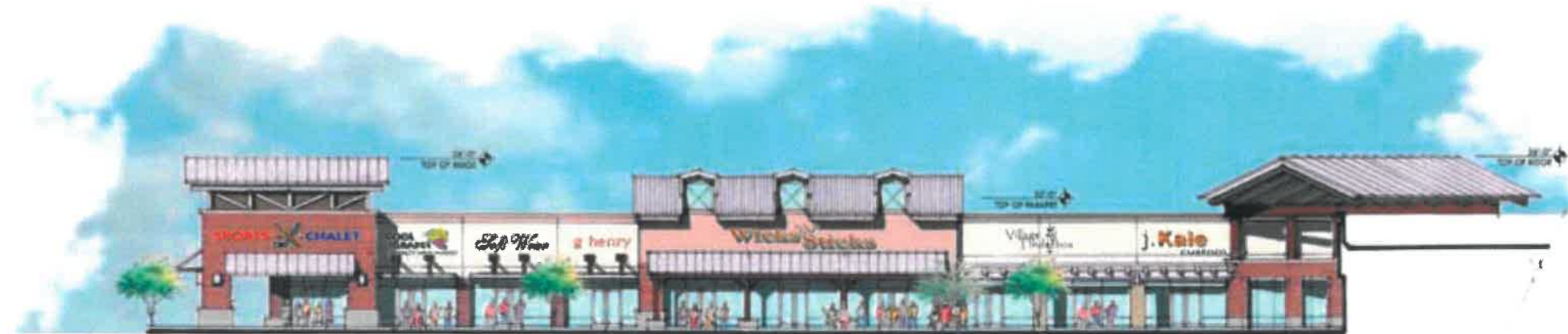
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TYPICAL BUILDING SIGNAGE - SHOP TENANTS



SHOPS TENANT ELEVATION CHARACTER



# QUEEN CREEK MARKETPLACE

## Sign Matrix Pad Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad Tenant	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	Within Building Silhouette	1.5 SF / Linear Foot of Building Street Frontage (Typical) 50 SF Minimum (Typical) 36" Maximum Letter Height Exclusive of Logos	Interior, Backlit, or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	Under Canopy Blade Sign (Optional)	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Menu Signs	Menu Display and Pricing	Drive Thru	Per Town of Queen Creek Sign Ordinance	Per Town of Queen Creek Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	Traffic Directionals	Vehicular	Driveways and Drive Thru as Required	Per Town of Queen Creek Sign Ordinance	Per Town of Queen Creek Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	ATM	ATM	Wall or Freestanding	Per Town of Queen Creek Sign Ordinance	Per Town of Queen Creek Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material

***Comprehensive Sign Plan subject to Town of Queen Creek approval as part of a PAD***



All national retailers shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained in the approved Comprehensive Sign Plan.

All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Queen Creek Marketplace.

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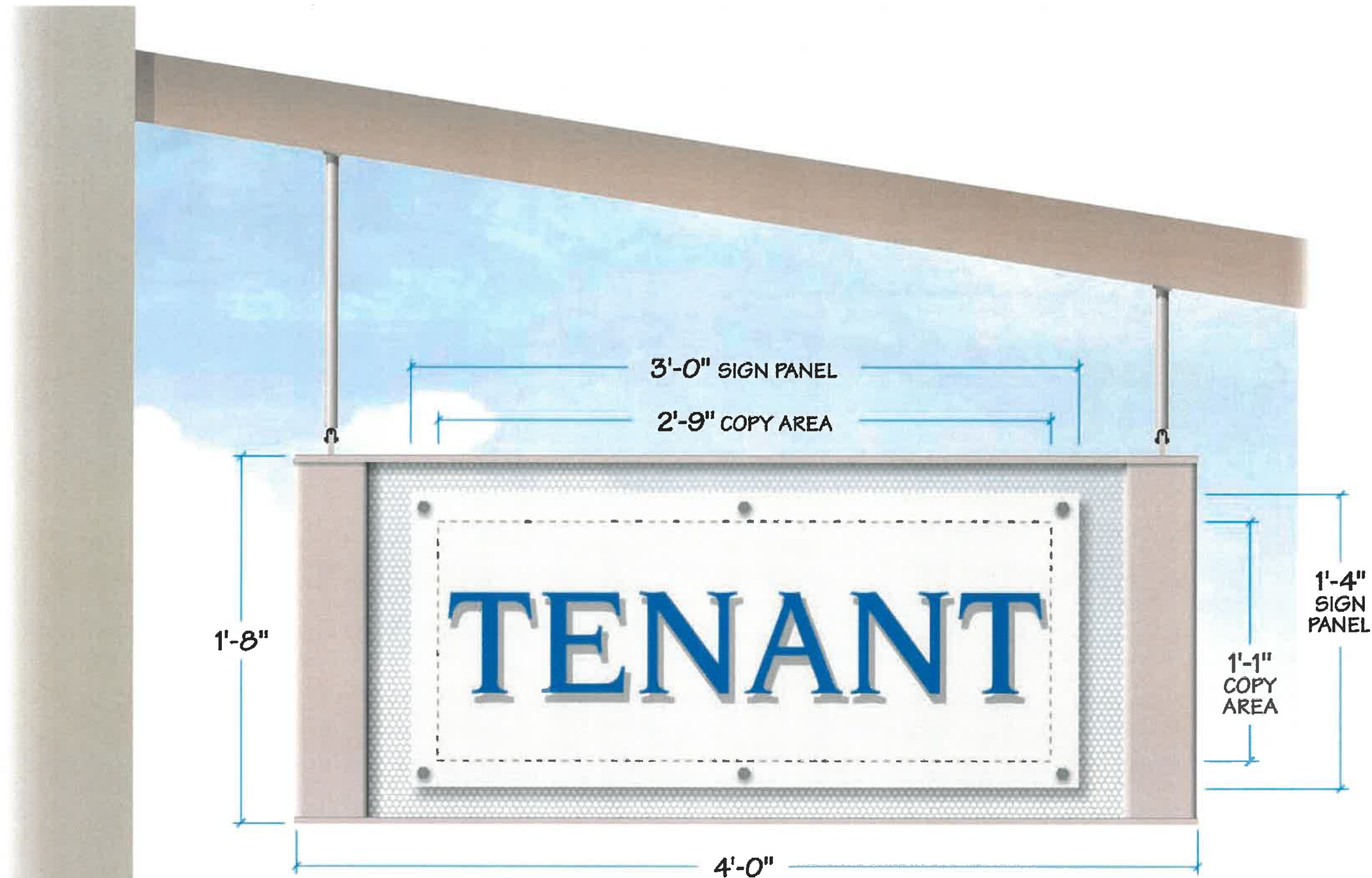
TYPICAL BUILDING SIGNAGE - PAD TENANTS



PAD TENANT ELEVATION CHARACTER







***D/F BLADE SIGN - ELEVATION***

***SCALE: 1-1/2"=1'-0"***



***END VIEW***

***SCALE: 1-1/2"=1'-0"***

Tenant copy to be FCO 1/4" thick sintra™ or aluminum.  
 Tenant copy to be painted per tenant's corporate colors and flush mounted to background.  
 Developer approval required for all layouts.