



QUEEN CREEK MARKETPLACE

PAD DEVELOPMENT CRITERIA

May 30, 2007

Vestar Development Co.
2425 E. Camelback Road, Suite 750
Phoenix, AZ 85016
(602) 866-0900



SITE DATA

PHASE 1

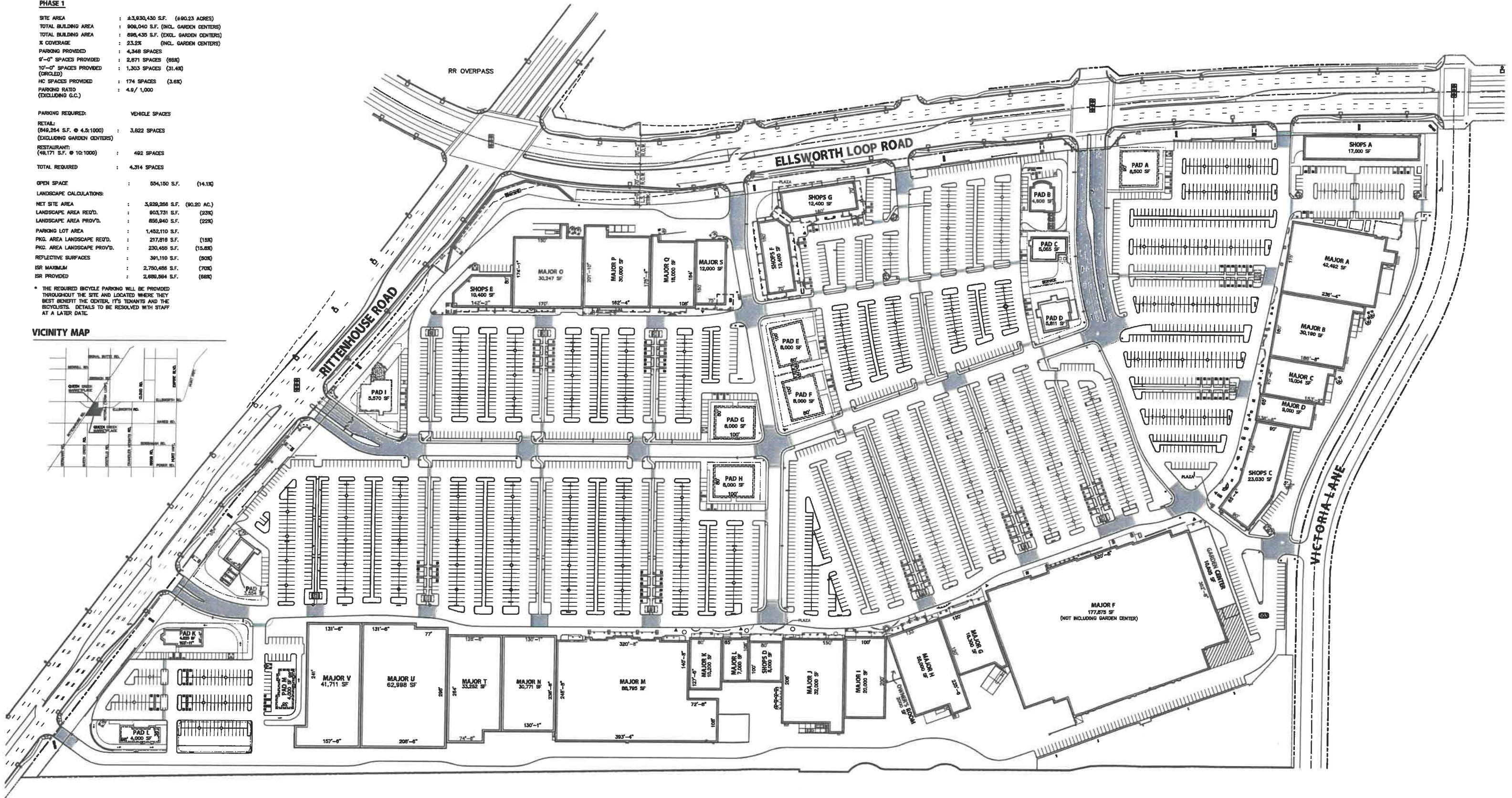
SITE AREA	: ±3,930,430 S.F. (±90.23 ACRES)
TOTAL BUILDING AREA	: 906,040 S.F. (INCL. GARDEN CENTERS)
TOTAL BUILDING AREA	: 896,435 S.F. (EXCL. GARDEN CENTERS)
% COVERAGE	: 23.2% (INCL. GARDEN CENTERS)
PARKING PROVIDED	: 4,348 SPACES
9'-0" SPACES PROVIDED	: 2,871 SPACES (66%)
10'-0" SPACES PROVIDED (CIRCLED)	: 1,303 SPACES (31.4%)
HC SPACES PROVIDED	: 174 SPACES (3.6%)
PARKING RATIO (EXCLUDING G.C.)	: 4.9 / 1,000

PARKING REQUIRED:	VEHICLE SPACES
RETAIL: (849,264 S.F. @ 4.5/1000) (EXCLUDING GARDEN CENTERS)	: 3,822 SPACES
RESTAURANT: (49,171 S.F. @ 10/1000)	: 492 SPACES
TOTAL REQUIRED	: 4,314 SPACES

OPEN SPACE	: 854,180 S.F. (14.1%)
LANDSCAPE CALCULATIONS:	
NET SITE AREA	: 3,928,268 S.F. (90.20 AC.)
LANDSCAPE AREA REQ'D.	: 903,731 S.F. (23%)
LANDSCAPE AREA PROV'D.	: 856,940 S.F. (22%)
PARKING LOT AREA	: 1,432,110 S.F.
PKG. AREA LANDSCAPE REQ'D.	: 217,818 S.F. (15%)
PKG. AREA LANDSCAPE PROV'D.	: 230,489 S.F. (15.6%)
REFLECTIVE SURFACES	: 391,110 S.F. (50%)
ISR MAXIMUM	: 2,750,486 S.F. (70%)
ISR PROVIDED	: 2,689,564 S.F. (68%)

* THE REQUIRED BICYCLE PARKING WILL BE PROVIDED THROUGHOUT THE SITE AND LOCATED WHERE THEY BEST BENEFIT THE CENTER, ITS TENANTS AND THE BICYCLISTS. DETAILS TO BE RESOLVED WITH STAFF AT A LATER DATE.

VICINITY MAP



SITE PLAN

DFD CornoyerHedrick

- architecture
- interior architecture
- space planning
- facilities management
- land planning
- landscape architecture
- graphic design

0' 100' 200' 300' 400'

All calculations are approximate and subject to change.

QUEEN CREEK
MARKETPLACE
Queen Creek, Arizona 85268
28.MAY.07

Vestor
3425 East Camelback Road
Suite 705
Phoenix, Arizona 85018

PAD DEVELOPMENT CRITERIA

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A. QUEEN CREEK MARKETPLACE OVERVIEW

The Queen Creek Marketplace is designed, through the guidelines defined in the Queen Creek's General Plan, as a distinctive rural village-themed retail development which creates a pedestrian-friendly shopping environment indicative of the rural history of the Town. The shopping center will offer a wide variety of retail goods and services for the residents of Queen Creek. Although separated by Ellsworth Loop Road, the overall development has been designed with complimentary building elevations, colors, materials and landscaping. In addition, a combination of entry elements and staggered building plans define the project and create a massing of elements typical to smaller scale projects.

The proposed development will be designed and built in stages, allowing for the completion of lighting, paving, landscaping, infrastructure and required retention/detention of all buildings. Off-site improvements will include signaling, street lights, landscaping and infrastructure.

The project features industry-leading building and design techniques with sustainable building types that are environmentally sensitive. Queen Creek Marketplace will include such techniques as water-harvesting, light-colored roofs and other design elements and features that are typically found in "green-oriented" developments. The end result is a more sustainable and environmentally-friendly project that will help to conserve, among other things, over 1.5 million gallons of water per year.

Queen Creek Marketplace will accommodate a variety of retail users that include anchor and junior anchor tenants, casual-themed sit-down restaurants, fast-food restaurants, banks, and other typical retail shopping uses, along with a multi-screen movie theater with typical attendant users. The organization of the perimeter buildings will provide a relationship to the overall project to assist in the reduction of massing and the impact of the parking areas, and to facilitate easy access around the site. The project will include shaded pedestrian walkways to create separation of the parking fields and tie the internal retailers to the perimeter buildings. Site amenities will be distributed throughout the project in both the length and the depth of the project. These amenities shall be, but not limited to, raised access planting areas, concrete paving surfaces, brick-like cobble pavers, seating areas, accent lighting, fountains, misting systems and public art.

While the boundaries of this site provide for maximum frontage along Rittenhouse Road and Ellsworth Loop Road, the orientation of the site plan, landscape concepts and buffers, the architecture and the placement of the buildings together help create a major gateway appearance at the intersection of Rittenhouse Road and Ellsworth Loop Road. This will give rise to not only a strong commercial intersection with a variety of building sizes and orientation with similar architectural elements but will also establish a strong sense of arrival and cohesiveness at this major intersection.

B. PROJECT DIRECTORY

DEVELOPER: **Vestar Development Company** Phone: (602) 866-0900
(Lessor) 2425 E. Camelback Road, Suite 750 Fax: (602) 955-2298
Phoenix, Arizona 85016

Primary Contact: Nick Roe, Development Coordinator Cell: (602) 763-7637
nroe@vestar.com

Other Contacts: Marc Grayson, Construction Manager Cell: (602) 385-2736
mgrayson@vestar.com

Ryan Desmond, Project Manager Cell: (602) 615-1525
rdesmond@vestar.com

Byron Oberg, Utilities Coordinator Cell: (602) 721-6156
boberg@vestar.com

GENERAL **Haydon Building Corp.** Phone: (602) 296-1496
4640 E. McDowell Rd. Fax: (602) 296-1495
Phoenix, Arizona 85008

Contacts: Warren Brule, Senior Project Manager
April Galvan, Project Coordinator

EXECUTIVE ARCHITECT: **DFD CornoyerHedrick** Phone: (602) 381-4848
2425 East Camelback Road, Suite 400 Fax: (602) 381-4844
Phoenix, Arizona 85016

Contact: Tom Zandler, Project Director Direct: (602) 381-4756
Joe Murray, Senior Designer Direct: (602) 381-4824
Tod Miller, Construction Administrator Cell: (602) 319-7913

CIVIL ENGINEER: **Optimus** Phone: (602) 286-9300
2323 E. Magnolia Street, Suite 107 Fax: (602) 286-9400
Phoenix, AZ 85034

Contact: Jeff Behrana, Principal Cell: (602) 677-7171

LANDSCAPE ARCHITECT: **Laskin and Associates, Inc.** Phone: (602) 840-7771
5112 North 40th Street, Suite 202 Fax: (602) 840-8021
Phoenix, Arizona 85018

Contact: David Ashby, Principal

SIGNAGE: **Bleier Industries, Inc.** Phone: (602) 944-3117
2030 W. Desert Cove Fax: (602) 395-0753
Phoenix, Arizona 85029

Contact: Paul Bleier, President

Traffic Consultant: **Kimley-Horn & Associates, Inc.** Phone: (602) 944-5500
7878 N. 16th Street, Suite 300 Fax: (602) 944-7423
Phoenix, Arizona 85016

Contact: Christine Tove White

SOILS ENGINEER: **Speedie & Associates** Phone: (602) 997-6391
3331 E. Wood Street Fax: (602) 943-5508
Phoenix, Arizona 85040

Contact: Gregg Creaser

Environmental Consultant: **Liesch Southwest, Inc.** Phone: (480) 421-0853
4300 N. Miller Rd, Suite 200 Fax: (480) 421-0889
Phoenix, Arizona 85040

Contact: Michael Hulpke

C. UTILITY COMPANIES

Electric **Arizona Public Service** Phone: (623) 975-5740
16800 N. Dysart Rd. Fax: (623) 975-5748
Surprise, AZ 85374

Contact: Brenda Buccigrossi

Natural Gas **Southwest Gas Corporation** Phone: (602) 395-4139
10851 N. Black Canyon Highway Fax: (602) 395-4040
Phoenix, AZ 85029-4755

Contact: Jim Cunday, Account Executive

Public Water **Queen Creek Water Company** Phone: (480) 987-3240
22713 S. Ellsworth Road, Bldg A Fax: (602) 987-9326
Queen Creek, AZ 85242

Contact: Mike Johnson Direct: (480) 987-3217

Sewer **Town of Queen Creek** Phone: (480) 358-3003
22350 S. Ellsworth Rd. Fax: (602) 358-3133
Queen Creek, AZ 85242

Contact: Tom Narva Direct: (480) 358-3137

ATV **Cox Communication** Phone: (623) 328-3423
1550 W. Deer Valley Road Fax: (623) 322-7500
Mail Stop DV@-01
Phoenix, AZ 85027

Contact: Ken Degraffenreid, OSP Engineer

Telephone **Qwest** Phone: (602) 630-3462
1022 N. 25th Avenue, Suite 100 Fax: (623) 395-2412
Phoenix, AZ 85021

Contact: Kathy Erickson, Design Engineer

D. GOVERNING AGENCIES

Town of Queen Creek Phone: (480) 358-3063
22350 S. Ellsworth Road Fax: (480) 358-3001
Queen Creek, AZ 8542

Christopher Ramos, Site Planner

James P. Leubner, Engineering Manager

Sam Garcia, Engineering Plans Examiner

Rick Cratte, Fire Marshal

Fred Brittingham, Planning Manager

E. MARICOPA COUNTY – DEPARTMENT OF HEALTH

Public Health Administration Phone: (602) 506-6900
4041 N. Central Avenue Fax: (602) 506-6885
Phoenix, AZ 85012

F. CODE REFERENCE

2003 Uniform Building Code

2003 Uniform Mechanical Code

1994 Uniform Plumbing Code

2002 International Electrical Code-Administrative Provisions

2002 National Electrical Code

2003 International Fire Code

2003 International Property Maintenance Code

2003 Americans with Disabilities Act

2004 Americans with Disabilities Act Accessibility Guidelines (ADAAG)

A. SITE DEVELOPMENT

Queen Creek Marketplace is situated on approximately 133 acres at the southwest and southeast corners of Rittenhouse Road and Ellsworth Loop Road, north of Ocotillo Road in the Town of Queen Creek ("Town"). The project will be developed as a Regional Shopping Center with in-line major tenants and junior tenants ranging in size from 178,000 to 7,000 square feet. The current parking configuration and alignment provides 4,348 parking stalls. Additional retail shops will be located both in-line and on freestanding pads and will range from 8,500 to 4,600 square feet. Several freestanding pad buildings can accommodate such retailer users as restaurants, banks, etc. The pads will range in size from 5,600 to 4,000 square feet.

The design and development of all site requirements and improvements within the contracted boundaries of the Lessee's parcel is the sole responsibility of the Lessee, unless specifically noted otherwise in the Lease Agreement. All design development for site improvements must conform to codes and requirements as set forth by the Town of Queen Creek Planning and Zoning Department, the Town of Queen Creek General Plan and requirements outlined throughout this criteria package.

1. GENERAL REQUIREMENTS:

Building setbacks and landscape setbacks will be in compliance with the C-2 Zoning standards of the Town, except as requested in the development standard modifications outlined herein.

The corner of Rittenhouse Road and Ellsworth Loop Road will be designed as a focal point for the main project. All of the building setbacks will include a 30 foot landscape buffer from the arterial street. All site visibility issues shall be in compliance with the standards enforced by the Zoning Code.

2. SITE GRADING:

Parcels will be provided a nominal rough grade elevation as indicated on the Civil Engineer's drawings. Building pads will be constructed to within .10% and 95% compaction with a typical 5' blow-up. Lessor will provide certifications evidencing the foregoing.

The Lessee shall be responsible for all other grading related to its leased parcel. Exporting or importing of materials will be at the Lessee's expense. Neither removal of soil/materials from adjacent site parcels or dumping of soil/materials on adjacent site properties is allowed.

Underground utility systems will be installed as a part of the on-site improvements and will be stubbed to the parcels.

3. PARKING LOT DESIGN:

The Planned Area Development (PAD) proposes a parking lot landscaping equivalency by providing 9' wide landscaped medians in between the Town's required 20' wide shaded pedestrian walkways every 4th row, with trees approximately 30' on center.

The PAD provides for 6' x 6' landscape diamonds every six spaces (maximum). This use of the parking diamonds will provide additional shading and will minimize the impact of the parking field.

Parking Stall Size:

The Town requires parking stalls to be 10' x 19'. In order to allow for additional parking field landscaping and to provide an adequate parking ratio for the retailers and restaurants within their pads, a minimum of 1,400 stalls (33%) shall be 10' x 19'.

A minimum of 170 stalls (4%) shall be handicap spaces. The remainder of the parking stalls will be reduced to 9' x 19' throughout the rest of the parking field (approximately 63%).

B. LANDSCAPE / IRRIGATION / HARDSCAPE:

The design and installation of all landscape improvements and irrigation systems are the responsibility of the Lessee. The landscape and hardscape design should compliment the architecture and be cohesive across the parcel and strengthen the unified look of the whole shopping center. The landscape must match the approved landscape palette (See Section 6).

The Lessee is responsible for submitting a site hardscape plan to the Lessor delineating walkways, sidewalk finishes and accent detailing at entries, patios and outdoor spaces.

The Lessee is responsible for providing a time clock controlled site irrigation system that services Lessee's parcel. The Lessee is responsible for all accruing utility fees.

C. SITE LIGHTING:

A complete site lighting design must be provided by the Lessee and approved by the Lessor. This design should provide for site lighting necessary to ensure public safety, security, lighting pedestrian walkways and accenting architectural elements such as building facades, entries, outdoor seating, patios, etc.

Arizona has a "Dark Sky" ordinance that prohibits random up-lighting on architectural elements. Indiscriminate illumination of large architectural elements or landscape areas will not be allowed. The Lessee should ensure that accent lighting design is established through wall washing down lights or low level wall mounted up lights in accordance with the "Dark Sky" ordinance. Lights mounted on ground or on poles specifically for the purpose of illuminating the building facade are prohibited.

Site lighting fixtures and poles are to match Queen Creek Marketplace standard fixtures in design and detailing (see Section 5).

Maximum fixture heights are as follows:

Parking Lot Pole: 30'-0"

Walkway Pole: 15'-0"

Site lighting should provide 1.0 average maintained foot candle level on site with an average to minimum uniformity ratio of 3:1 and a maximum to minimum uniformity ratio of 6:1. Full cut off fixtures shall be used throughout. Maximum lighting level at property lines shall not exceed 1.0 foot candle.

Lessee to coordinate with Developer to determine the hours the site lights will be turned on or off.

D. BUILDING IMPROVEMENTS AND APPURTENANCES:

The Lessee is strongly encouraged to incorporate, with design sensitivity and accuracy of detailing, some of the architectural elements noted in this section. Details of the architectural elements listed below are available at the Lessee's request from the Lessor's architect, DFD CornoyerHedrick.

- Veneer Stone
- Metal Roofing
- Approved Material & Color Palette
- Storefront Type and Glazing
- Green Screen woven steel lattices
- Accent Light Fixtures and decorative pavers

1. BUILDING ELEVATIONS:

The building elevations will match Article 5.10 of the Town's Zoning Ordinance in preserving the particular influences and design goals embodied by the Town, including details, materials, colors, and finishes. Large single use buildings are designed to create easily identifiable areas as entries, porticos, arcades, or towers.

Colors and materials for the project will reflect a neutral palette of stucco, brick, stone veneer, patterned block, steel details, metal roofs, and integral colored concrete.

Large, uninterrupted wall planes are minimized, and all sides of structures visible from adjacent streets are given architectural emphasis.

The design character also allows for numerous roof forms including gables, hipped roofs and flat cornices.

All roof top mechanical equipment shall be completely screened by parapet walls or within roof structure.

All ground mounted mechanical equipment shall be completely screened by screen walls with color and texture to match the building.

Roof-mounted communication equipment, including satellite dishes, shall be completely screened by the parapet walls or free-standing screen walls subject to Lessor approval.

Ground-mounted communication equipment, including satellite dishes, shall be completely screened by free-standing screen walls subject to Lessor approval.

2. ROOF ACCESS:

No visible exterior ladders allowed.

3. ROOF DRAINAGE:

Provide interior roof drainage.

4. SCREEN WALLS

Screen walls shall be decorative and designed to compliment the color, materials, and design of the project. Screening along Rittenhouse and Ellsworth frontages are proposed to replicate split-rail fences to evoke the rural heritage of the area and will be used in combination with decorative and masonry screen walls and landscaped berms. Twelve foot high screen walls at truck docks are exposed to public view. No gates will be provided at the truck docks. Loading bay and service bay doors will be screened from street view. The orientation of free-standing pad buildings which have drive-up or drive-thru requirements will be in compliance with Town Development Standards. The screening of the drive-up or drive-thru windows will be achieved by the use of berming and screen walls or a combination of the two.

5. REFUSE COLLECTION:

Where service areas occur, they should be gated and screened from view by fences or walls. The pad area in front of the enclosure must be *black pigmented concrete*. Trash enclosures shall be incorporated into the building footprint or be constructed as freestanding gated enclosures, surrounded by walls of at least 8 feet in height. Enclosure to be CMU with painted, sand finished stucco or integral colored concrete masonry units and gate to match center detail.

Refuse enclosures shall be constructed to Town of Queen Creek specifications (see Section 5).

An area ten feet (10'-0") in length shall be provided for approach to refuse enclosures with the slope consistent with enclosure floor in order to facilitate container pick-up.

Enclosures must:

- Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 35 inside and 55 outside.
- Be positioned to facilitate collection without backtracking.
- Be easily accessible by a simple route.
- Not require backing up of more than 50 feet.
- Not be located on dead-end parking aisles.



Enclosure services on one side of a drive must be positioned at a 30 degree angle to the centerline of the drive.

E. BUILDING MATERIALS AND FINISHES

In keeping with the distinctive look of the shopping center, the use of sand finished stucco on masonry is required. Design colors approved by the Lessor are noted in the Exhibit section of this package. The shopping center primary materials are the following (see Section 4 for complete palette):

- Stucco: Synthetic Finish
- Stone Veneer: by Cultured Stone: 80% Bucks County Southern Ledgestone/20% Bucks County Dresses Fieldstone
- Storefronts: Arcadia AF 450
 - 2 x 4 with 1/2" offset
 - 1/4" glazing
- Storefront Color: Sherwin Williams 2848 Roycroft Pewter - LRV 11 %
- Green Screen: greenscreen.com or Tel: (800) 450-3494

A E.I.F.S /PRIMARY

- 1.  **SW2842 ROYCROFT SWEDE**
BY SHERWIN WILLIAMS
LRV 31%
- 2.  **SW6142 MACADAMIA**
BY SHERWIN WILLIAMS
LRV 50%
- 3.  **SW7036 ACCESSIBLE BEIGE**
BY SHERWIN WILLIAMS
LRV 58%
- 4.  **SW7038 TONY TAUPE**
BY SHERWIN WILLIAMS
LRV 37%
- 19.  **SW7011 NATURAL CHOICE**
BY SHERWIN WILLIAMS
LRV 73%


B E.I.F.S /ACCENT

- 5.  **SW0045 ANTIQUARIAN BROWN**
BY SHERWIN WILLIAMS
LRV 19%
- 6.  **SW6117 SMOKEY TOPAZ**
BY SHERWIN WILLIAMS
LRV 23%
- 7.  **SW6060 MOROCCAN BROWN**
BY SHERWIN WILLIAMS
LRV 21%
- 8.  **SW0012 EMPIRE GOLD**
BY SHERWIN WILLIAMS
LRV 39%
- 18.  **SW2843 ROYCROFT BRASS**
BY SHERWIN WILLIAMS
LRV 15%

C ACCENT COLORS

- 9.  **SW7040 SMOKEHOUSE**
BY SHERWIN WILLIAMS
LRV 13%
- 10.  **SW7041 VAN DYKE BROWN**
BY SHERWIN WILLIAMS
LRV 8%
- 11.  **SW6988 BOHEMIAN BLACK**
BY SHERWIN WILLIAMS
LRV 11%
- 12.  **SW6994 GREENBLACK**
BY SHERWIN WILLIAMS
LRV 8%

D STOREFRONT COLORS

- 14.  **SW2848 ROYCROFT PEWTER**
BY SHERWIN WILLIAMS
LRV 11%

F MASONRY A
RAILROAD BLEND
BY PHOENIX BRICK



G



MASONRY B
FOUNDERS FINISH
CANYON RED
BY SUPERLITE
BLOCK, INC.

H



MASONRY C
FOUNDERS FINISH
HIGHLAND BLEND
BY SUPERLITE
BLOCK, INC.

I ROOFING



1. **SEA MIST**
BY MBCI



2. **SANDSTONE**
BY MBCI



3. **EVERGLADE**
BY MBCI

L 4. COR-TEN
BY US STEEL



J1 CONCRETE



SIERRA
BY DAVIS COLORS

J2



CANYON
BY DAVIS COLORS

K STONE



1. **STONE VENEER**
80% BUCKS COUNTY SOUTHERN LEDGESTONE
20% BUCKS COUNTY DRESSES FIELDSTONE
BY CULTURED STONE



2. **SLATE**
SANTA FE COLLECTION; RUSTIC GOLD (12X12)
BY ARIZONA TILE

COLOR AND MATERIAL BOARD

DFD CornoyerHedrick

architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design

DEVELOPER APPROVAL :

SIGNATURE

DATE

TENANT APPROVAL :

SIGNATURE

DATE

QUEEN CREEK
MARKETPLACE
06268
Queen Creek, Arizona 09.NOV.06
24.APR.07



2425 East Camelback Road
Suite 750
Phoenix, Arizona 85016

All calculations are approximate and subject to change.

A. PLAN SUBMITTALS

1. GENERAL:

To assist the Lessee in organizing time schedules and planned work efforts by the Lessee's architectural and engineering team, the following guidelines for submittals have been developed. Prior to preparing designs, calculations and specifications, the Lessee and the Lessee's architectural and engineering team should be thoroughly familiar with the development criteria presented in this packet, all local building codes, provisions of the Lessee's Lease Agreement, development plans for the center and as-built conditions of the project.

2. CONCEPTUAL DESIGN SUBMITTAL:

Within thirty (30) days after Lessee's receipt of a fully executed copy of the Lease Agreement (unless otherwise noted in the Lessee's Agreement) and before Design Review Submittal to the Town, Lessee must submit to the Lessor's representative, Nick Roe for his approval two (2) copies of preliminary plans for the site and building. The Conceptual Design Submittal shall include:

- a) Overall site plan showing building footprint, parking lot layout complete with points of ingress and egress, loading area (if provided), trash enclosure, and hardscape and landscape areas. Ground signs should be clearly indicated, if allowed.
- b) Preliminary building floor plan, with overall dimensions.
- c) Conceptual colored exterior elevations for all building sides, including the indication of materials to be used and proposed building signage (with sign sizes and types noted).
- d) Material and color selection board.

3. SITE DEVELOPMENT PLAN SUBMITTAL:

Within thirty (30) days after the Lessor's approval of the Lessee's Conceptual Design Submittal (unless otherwise noted in the Lessee's agreement), and before Design Review Submittal to the Town, Lessee agrees to submit to the Lessor's representative, Nick Roe for his approval two (2) copies of the preliminary plans and specifications for the proposed site development and building. Lessor will submit this plan to the Queen Creek Marketplace Design Review Committee for approval on behalf of Lessee. The Site Improvement Plans must be at a minimum 1" = 30' scale and shall include:

- a) Overall Site Plan dimensioned to show building location, parking lot layout and all landscape and hardscape areas.
- b) Overall Landscape Plan with planting legend and tree sizes.
- c) Grading Plan.
- d) Preliminary Site Lighting Plan with fixture selections and site photometrics, if applicable.

- e) Building Floor Plan with overall dimensions. Plan to be 1/8" scale.
- f) Exterior Elevations: all building sides with signage shown and dashed roof line with roof mechanical equipment also shown dashed. Elevations to be 1/8" scale. All colors and materials shall be noted on the plans.
- g) Refuse enclosure elevations.

4. FINAL PLAN SUBMITTAL:

Within sixty (60) days after the Lessor's approval of the Lessee's Site Improvement Plan submittal (unless otherwise noted in the Lessee's agreement), and before Plans Review submittal to the Town, the Lessee agrees to submit to the Lessor's representative, Nick Roe two (2) blue-line copies of substantially complete plans and written specifications for the work along with the site and building signage locations and designs.

The Final Plan Submittal plans must be in substantial conformance with the approved Conceptual Design and Site Improvement Plan submittals.

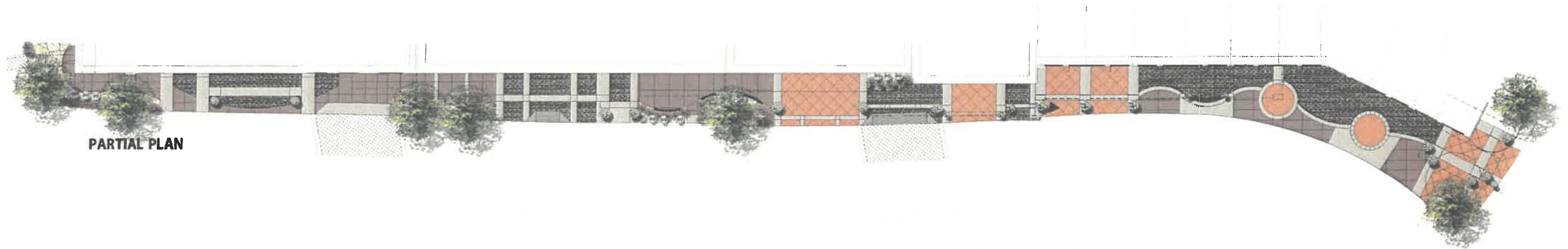
It is the Lessor's intent that the final plan submittal be based on approximately 80% complete working drawings to allow the Lessee and the Lessee's architect and engineer time to make Lessor-required corrections prior to the completion of the plans and submittal of documents for plan check. Once corrections have been made and the Lessee has secured all building permits, a record set of approved plans and specifications shall be forwarded to the Lessor.

5. SIGN SUBMITTAL

Prior to Sign Review Submittal to the Town, the Lessee agrees to submit to the Lessor's representative, Nick Roe two (2) color original copies of said submittal, including site plan and elevations indicating specific location(s) of signage and technical construction details of all proposed signage.



FRONT ELEVATION



PARTIAL PLAN



REAR ELEVATION

SHOPS C

TILLYS

OLD NAVY

ROSS

SPORTS CHALET



SIDE ELEVATION



SIDE ELEVATION

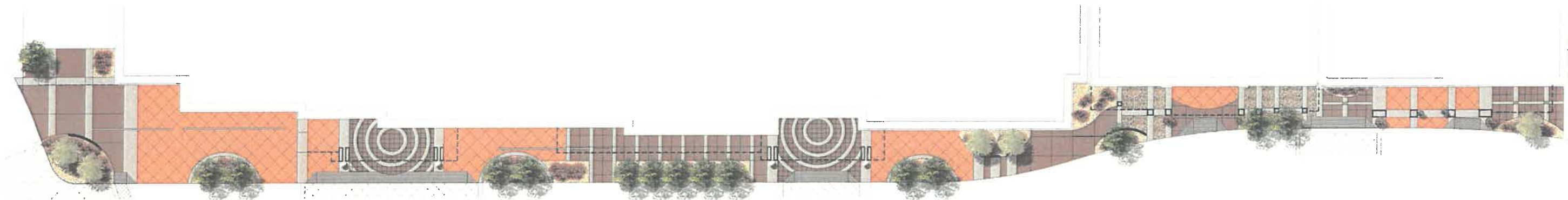
MAJOR A,B,C,D,E AND SHOPS C

DFD ComoyHedrick

- architecture
- interior architecture
- space planning
- facilities management
- land planning
- landscape architecture
- graphic design



FRONT ELEVATION



PARTIAL PLAN



REAR ELEVATION



SIDE ELEVATION

MAJOR F, G, AND H



- architecture
- interior architecture
- space planning
- facilities management
- land planning
- landscape architecture
- graphic design

0' 20' 40' 60' 80'

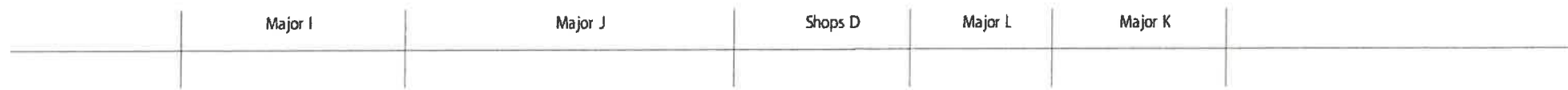
QUEEN CREEK
MARKETPLACE

06268
QUEEN CREEK, ARIZONA 06 SEPT. 2006

Vestar

2425 East Camelback Road
Suite 750
Phoenix, Arizona 85016

All subjects are approximate and subject to change.



REAR ELEVATION

DFD CarrigerBedrick
MAJORS I,J,K AND SHOPS D
 architecture
 interior architecture
 space planning
 facilities management
 land planning
 landscape architecture
 graphic design

0' | 20' | 40' | 60' | 80' | 100'
 1" = 20'-0" (approx. as shown on site plan)
QUEEN CREEK MARKETPLACE
 06268
 25.OCT.2006

 2425 East Camelback Road
 Suite 750
 Phoenix, Arizona 85016



FRONT ELEVATION



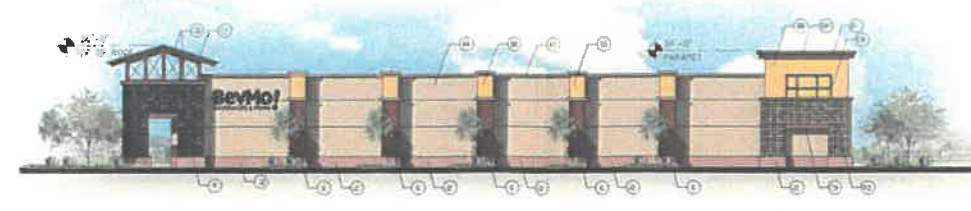
PARTIAL PLAN



REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

MAJOR O,P,Q,R,S AND SHOPS E

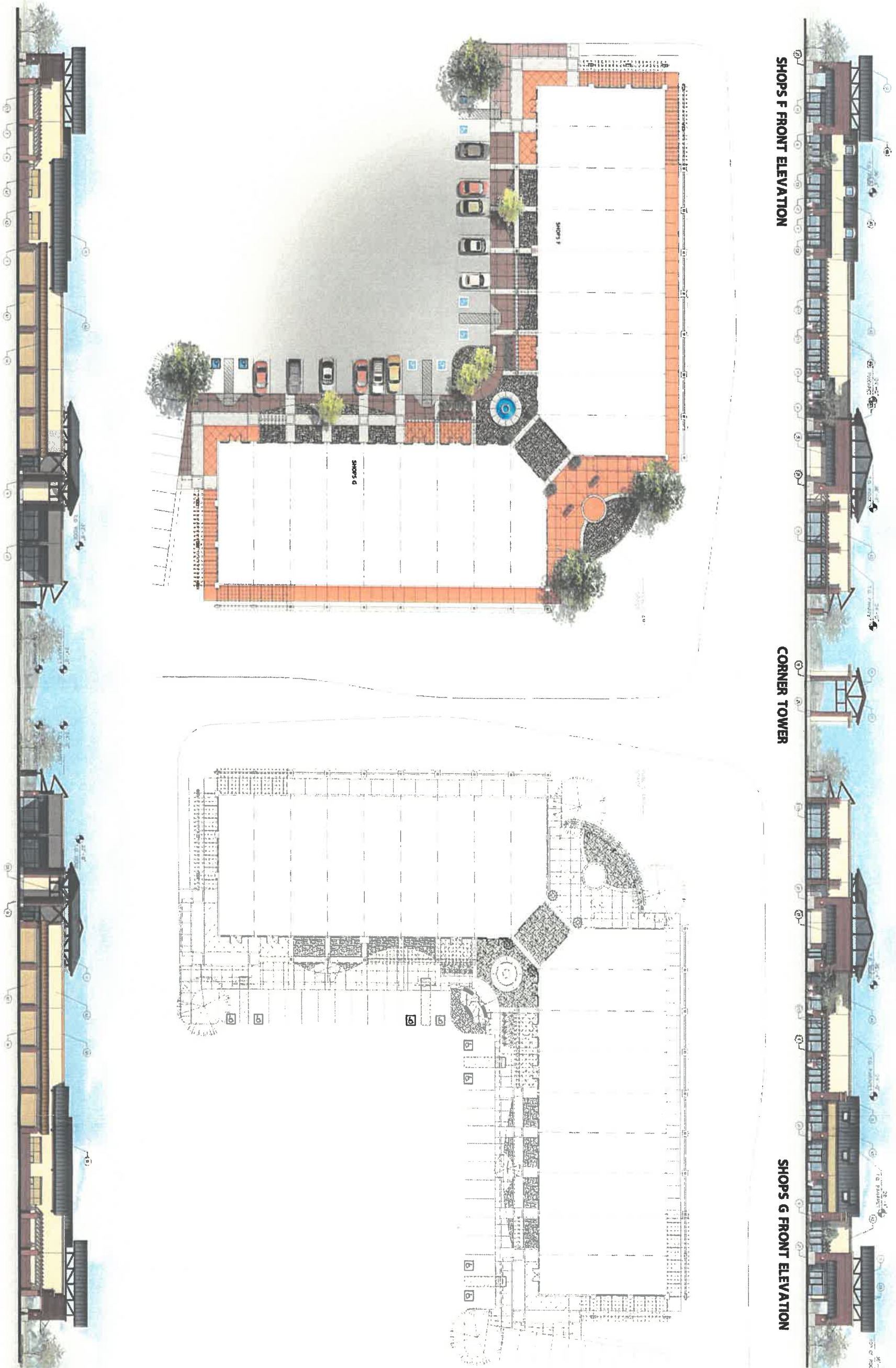
DFD CorreyHedrick

- architecture
- interior architecture
- space planning
- facilities management
- land planning
- landscape architecture
- graphic design

SHOPS F FRONT ELEVATION

CORNER TOWER

SHOPS G FRONT ELEVATION



SHOPS G REAR ELEVATION

SHOPS F REAR ELEVATION

OTD Conroy/Hedrick

architecture
interior architecture
space planning
landscape architecture
historical preservation
urban planning
public design

SHOPS F AND G ELEVATIONS

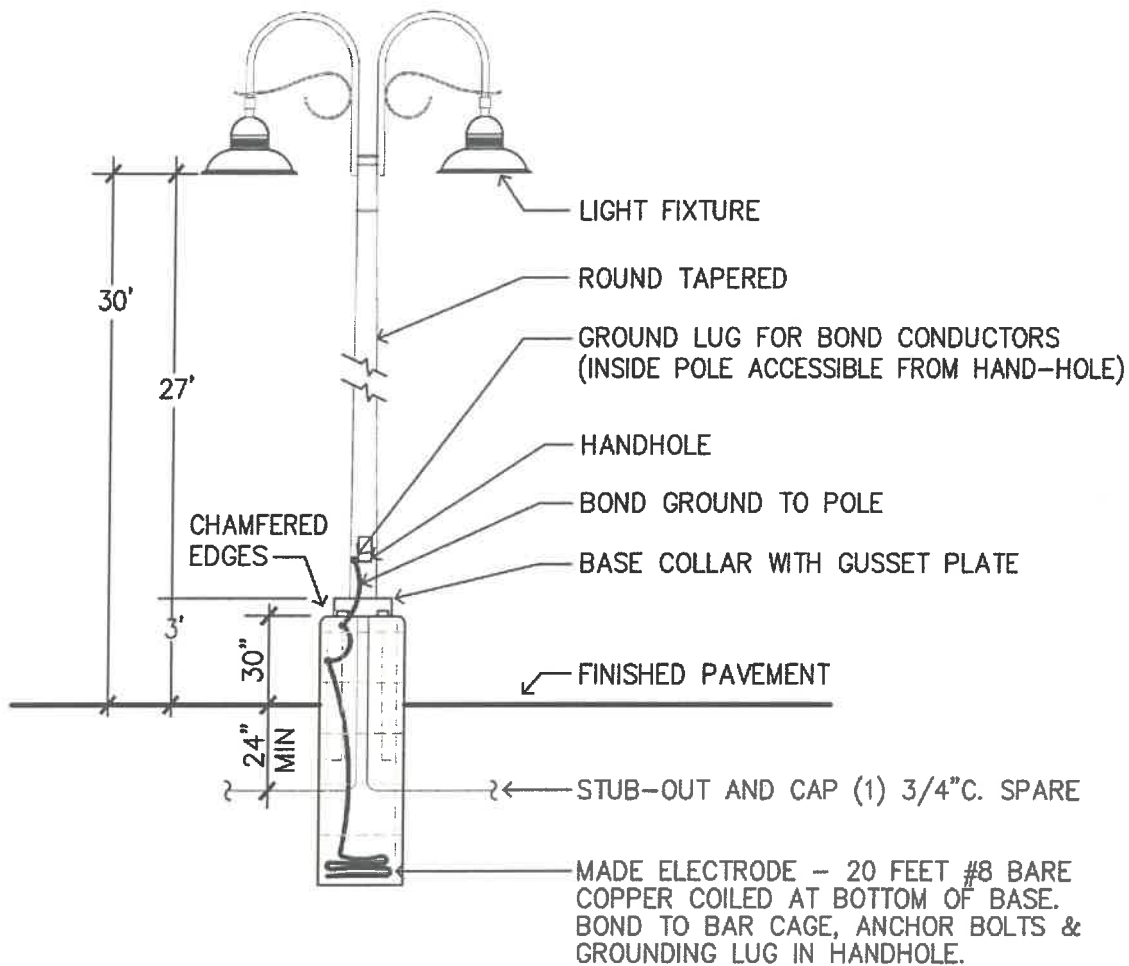
0' | 20' | 40' | 60' | 80'

QUEEN CREEK
MARKETPLACE
06269
QUEEN CREEK, ARIZONA 85142-0626

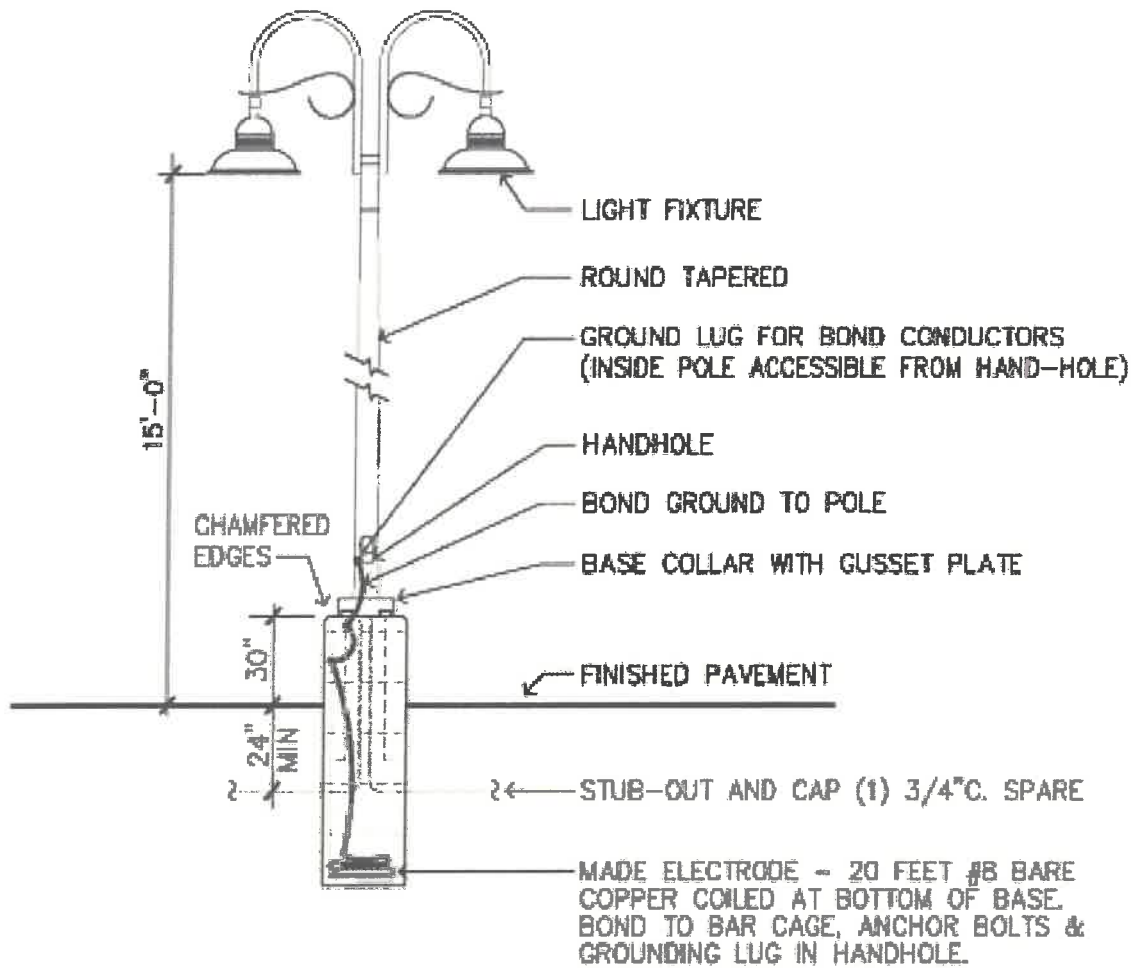
Vestor
3425 East Camelback Road
Suite 250
Phoenix, Arizona 85018

LIST OF TECHNICAL EXHIBITS

1. Lighting Standards
 - a. Pole Light 'SA', 'SB' and 'SD'
 - b. Pole Light 'SC'
2. Refuse Enclosure
 - a. Single Refuse Enclosure
 - b. Double Refuse Enclosure
 - c. Refuse Enclosure Wall
 - d. Refuse Enclosure Gate Jamb
 - e. Gate Wheel Assembly
 - f. Non-Decorative Pipe Bollard
3. Hardscape
 - a. Paver transition to landscape
 - b. Pavement transition w/ pavers
 - c. Pavement transition to landscape
 - d. Expansion joint
4. Parking Lot
 - a. Accessible stall
 - b. Accessible parking sign
5. Fixture and Furnishings
 - a. Bike rack
 - b. Site furnishings
 - c. Seat wall
 - d. Shade canopy
 - e. Multi tenant monument sign
 - f. Pad monument sign
 - g. ID monument sign
 - h. Screenwall
 - i. Green screen
6. Fascia Details
 - a. Steel canopy
 - b. Steel trellis
 - c. Roof fascia
 - d. Cornice details



POLE LIGHT 'SA', 'SB' AND 'SD'

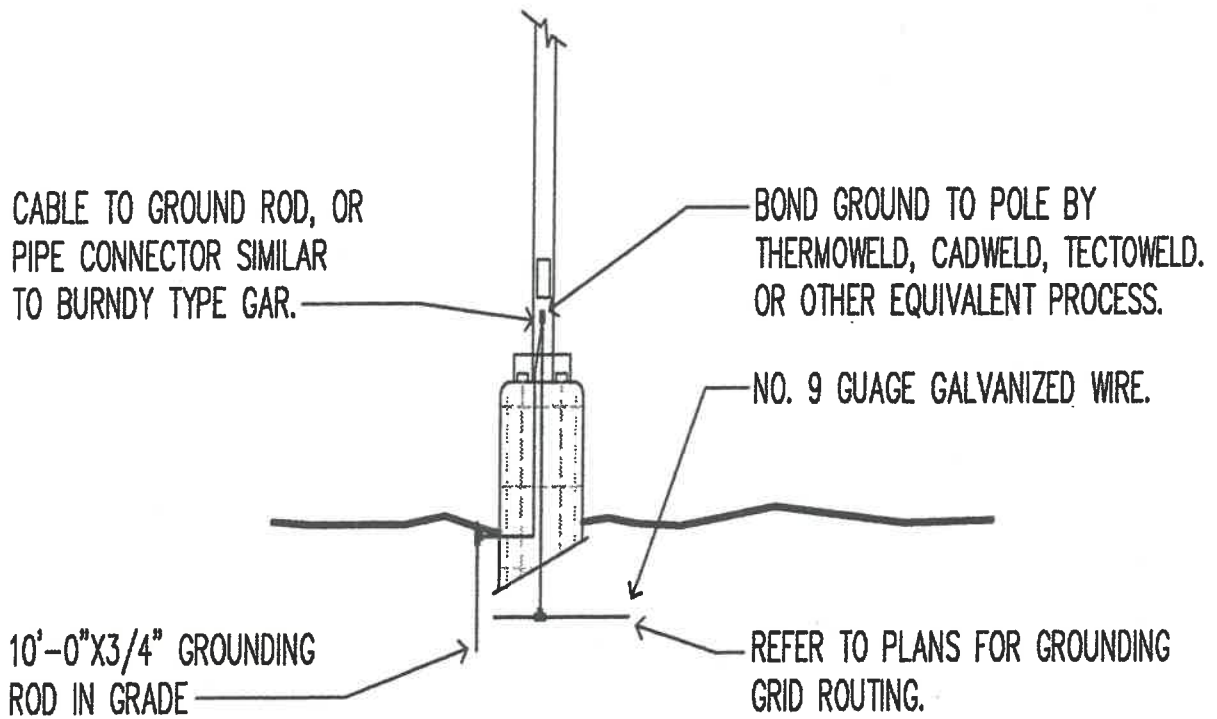


NOTE:

LIGHT FIXTURE DETAIL SHOWN FOR SCHEMATIC PURPOSES ONLY!
ELECTRICAL CONTRACTOR SHALL VERIFY ALL REQUIREMENTS WITH
STRUCTURAL ENGINEER PRIOR TO ANY WORK.

POLE LIGHT FIXTURE 'SC'

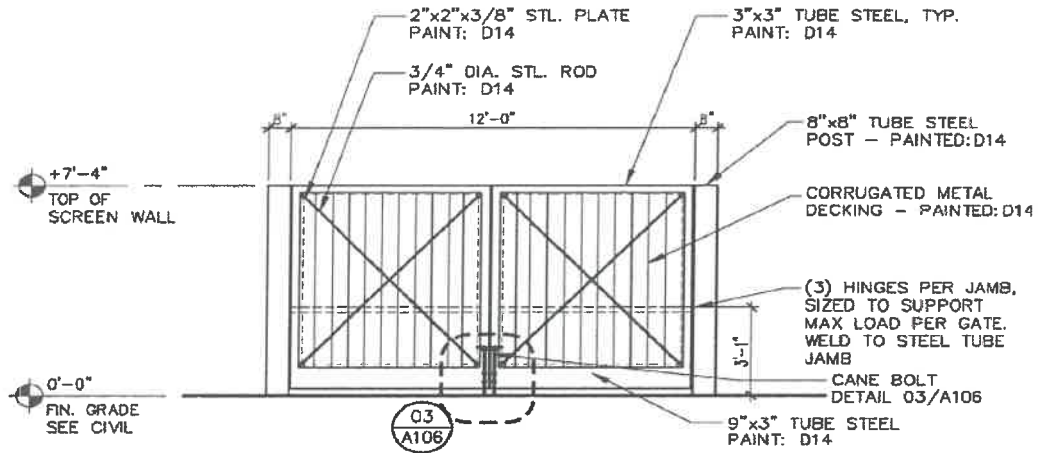




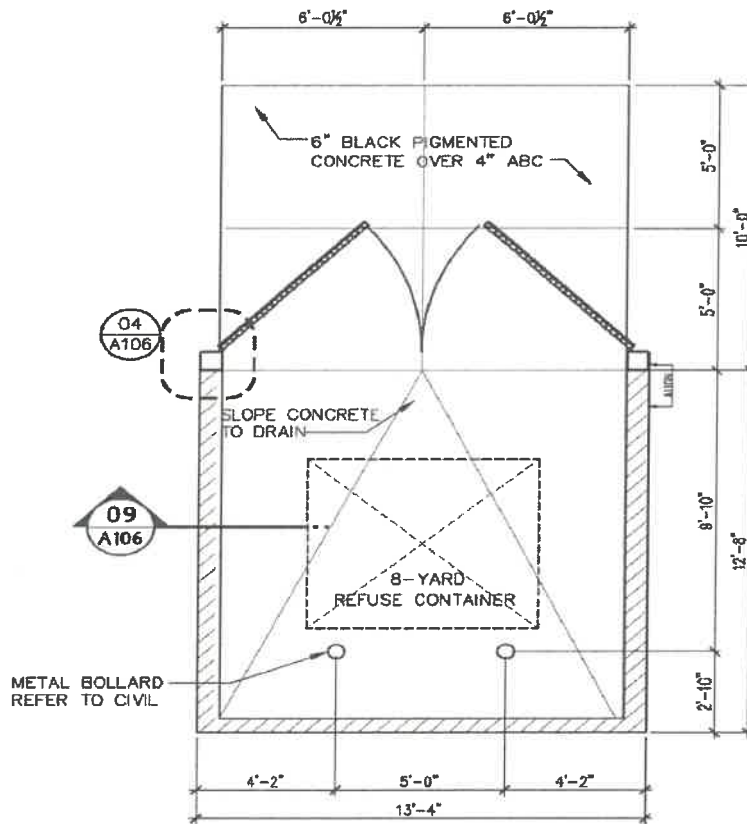
GROUNDING DETAIL (12' POLES UNDER TRANSMISSION LINES)

LIGHT STANDARD



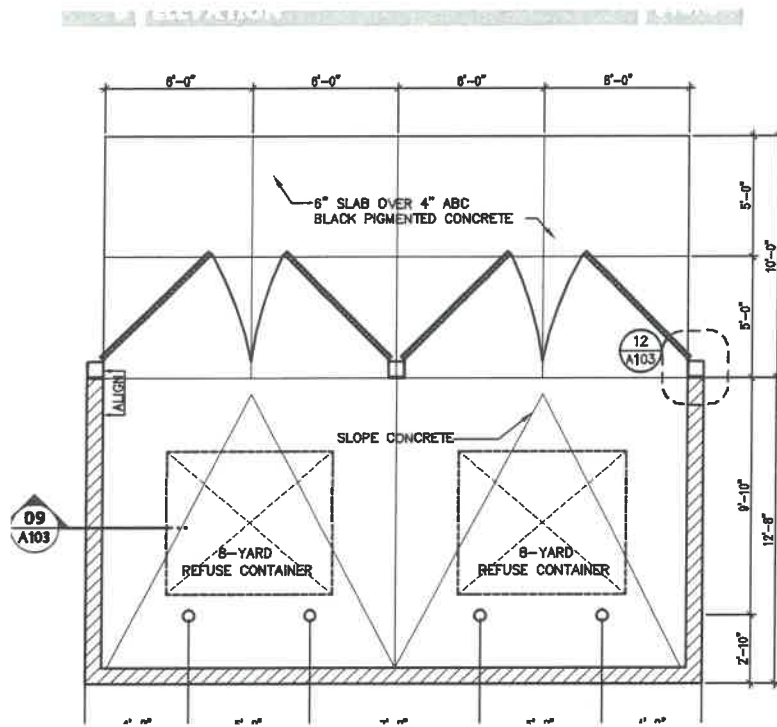
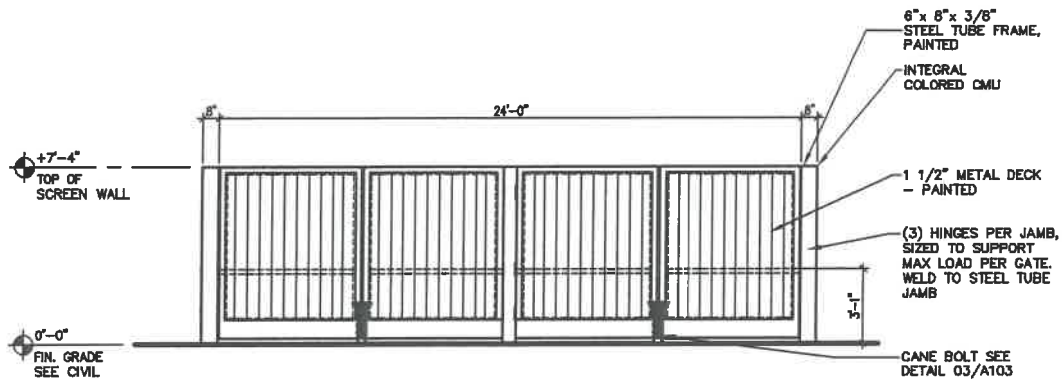


ELEVATION



PLAN

SINGLE REFUSE ENCLOSURE

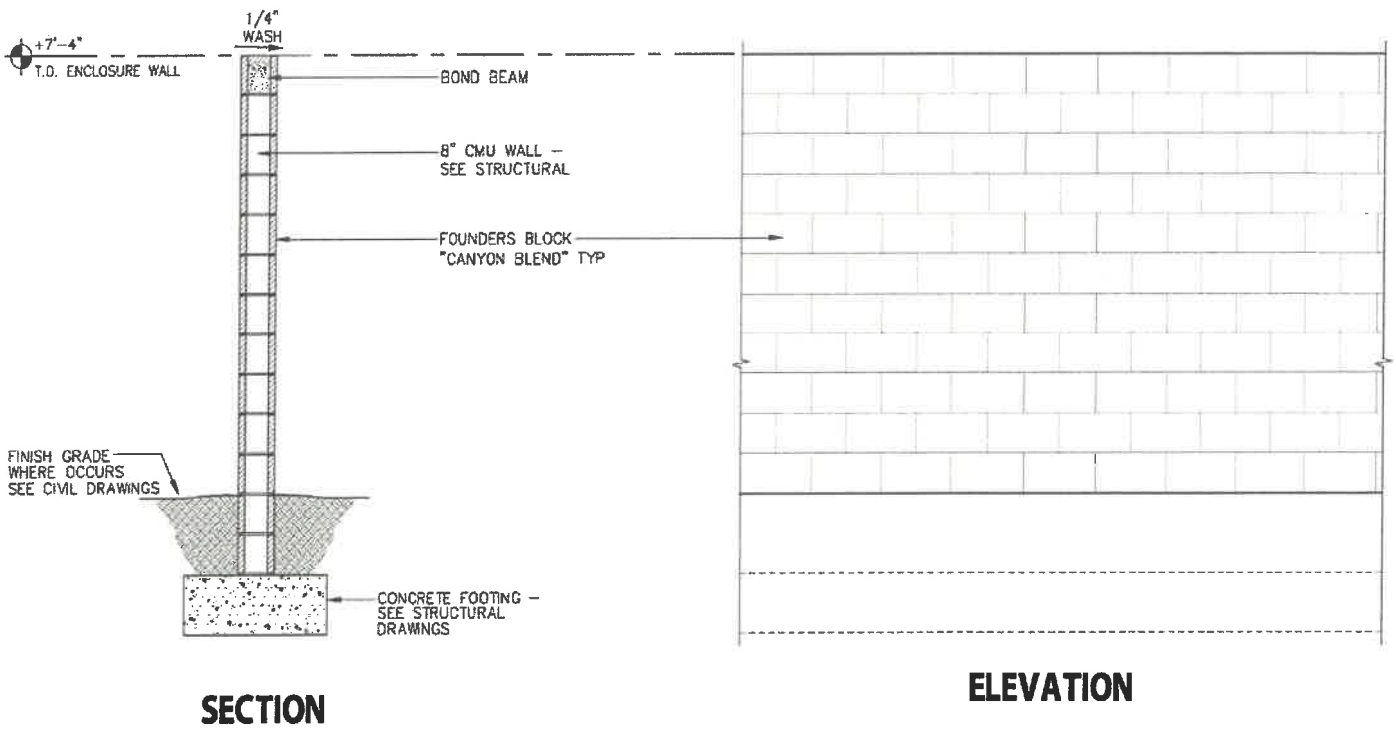


PLAN

DOUBLE REFUSE ENCLOSURE



DFD Conroy/Hedrick
 ARCHITECTURE
 INTERIOR ARCHITECTURE
 SPACE PLANNING
 FACILITY MANAGEMENT
 LEAD PLANNING
 FURNITURE INSTALLATION
 ACCESSORIES



REFUSE ENCLOSURE WALL



8" x 8" TUBE STEEL
FRAME — PAINTED: D14

STEEL POST FOOTING
SEE STRUCTURAL

EXTERIOR

3" x 3" TUBE STEEL —
PAINTED: D14

GATE IN CLOSED
POSITION

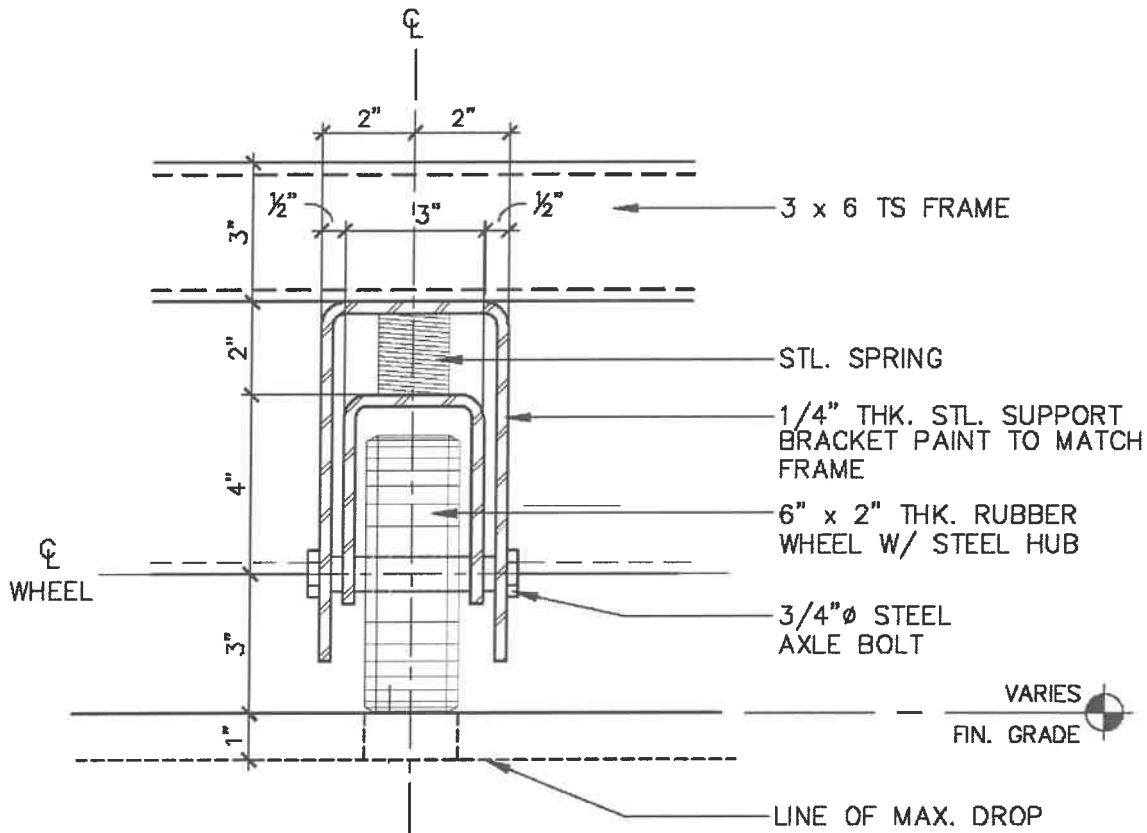
WELD HINGE TO
STEEL TUBE

INTERIOR

1/2" x 6" N.S.
@ 12" O.C.

1/4" STEEL PLATE,
3 PER JAMB

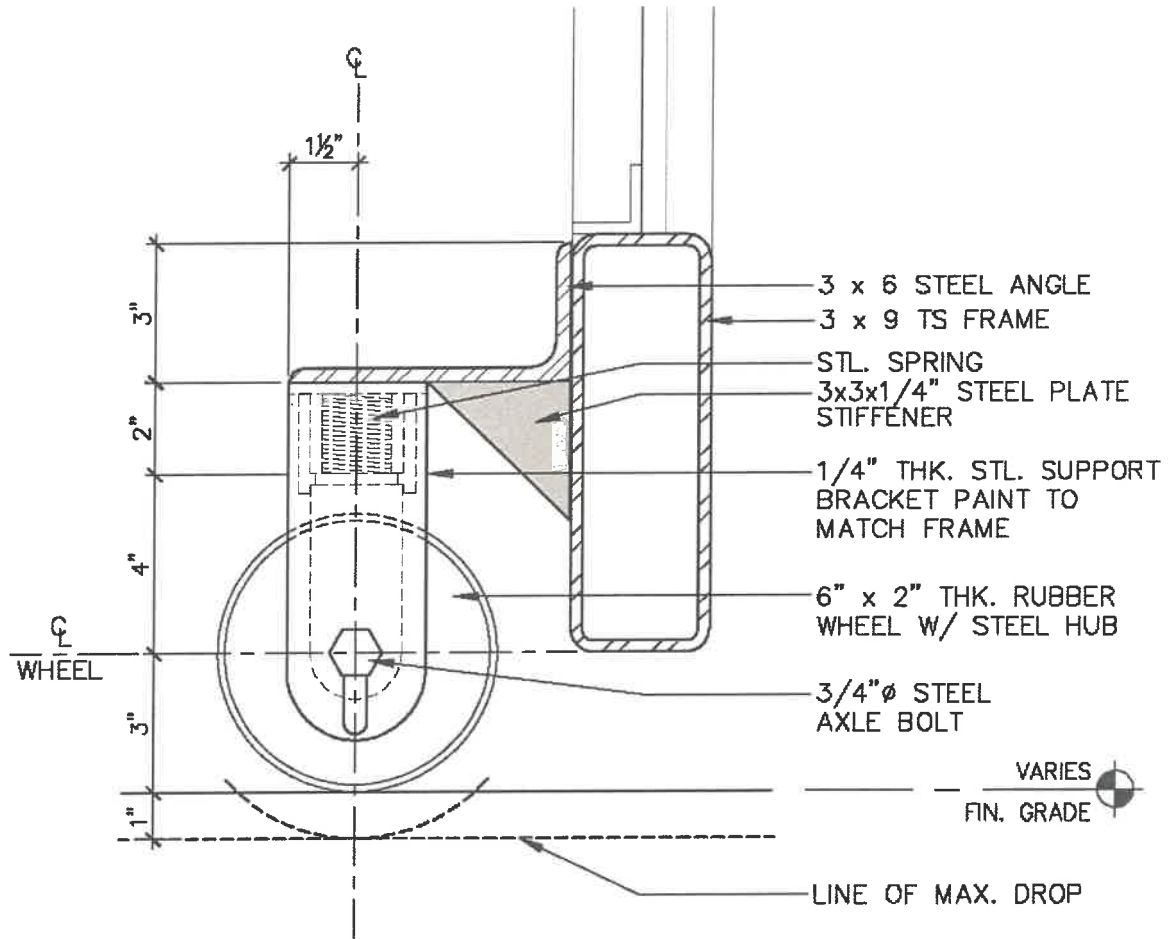
REFUSE ENCLOSURE GATE JAMB



GATE WHEEL ASSEMBLY- ELEVATION

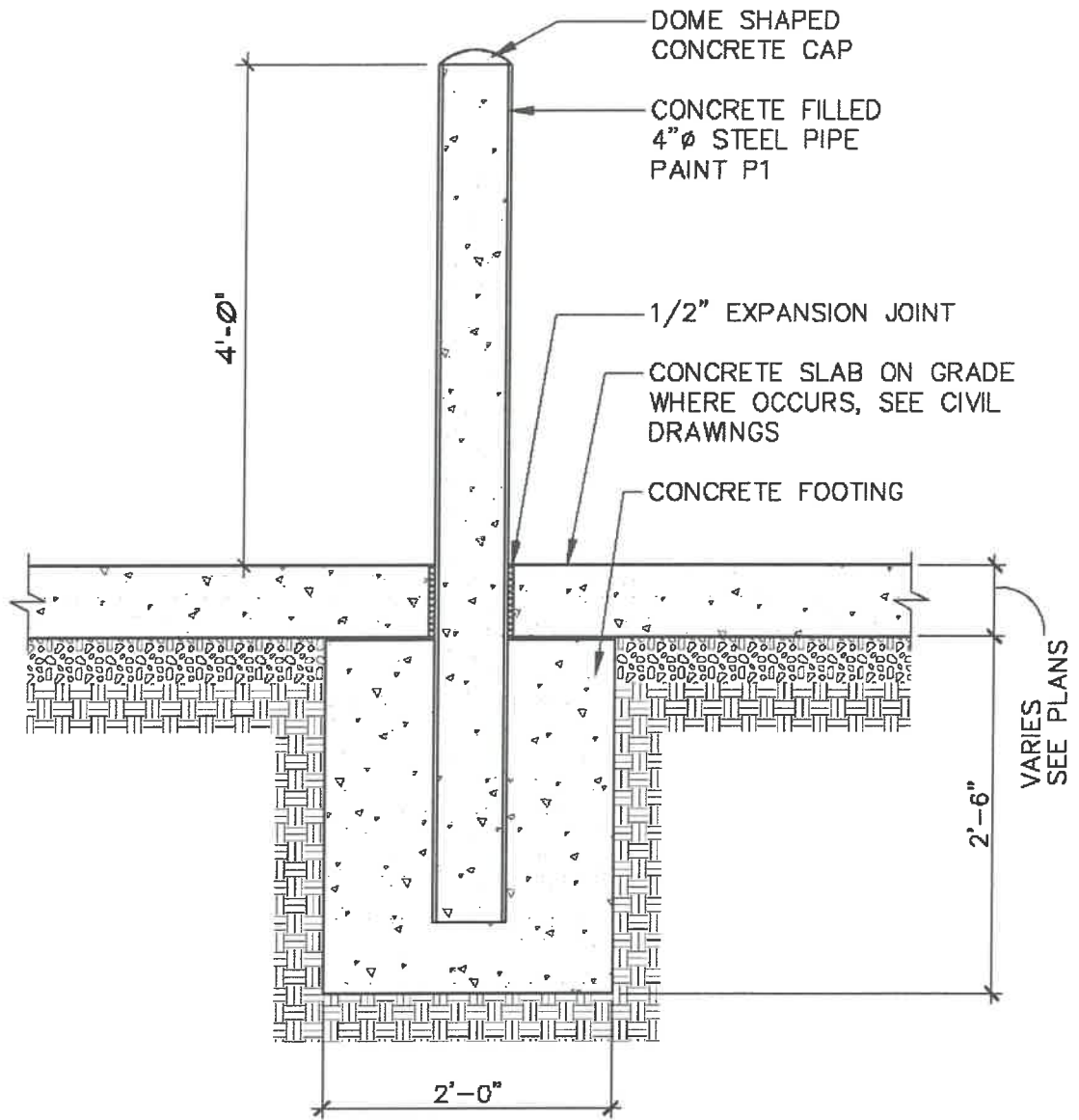
INTERIOR

EXTERIOR



GATE WHEEL ASSEMBLY- SECTION





NON-DECORATIVE PIPE BOLLARD

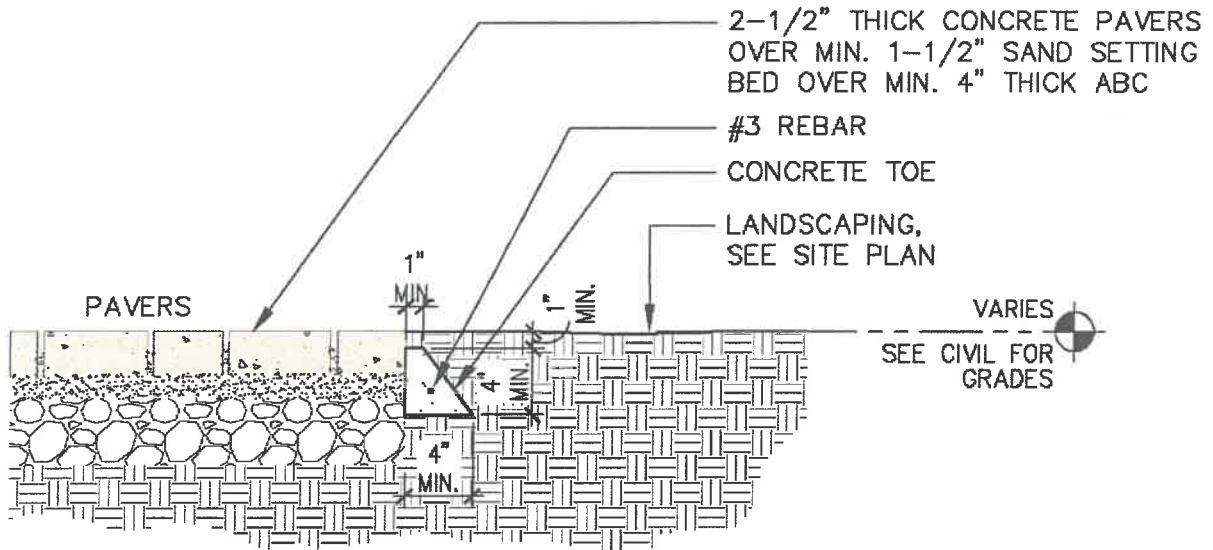


QUEEN CREEK
MARKETPLACE

DFD ConnorsHedrick

ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FACILITY MANAGEMENT
LEAD PLANNING
LANDSCAPE ARCHITECTURE
PUBLIC DESIGN

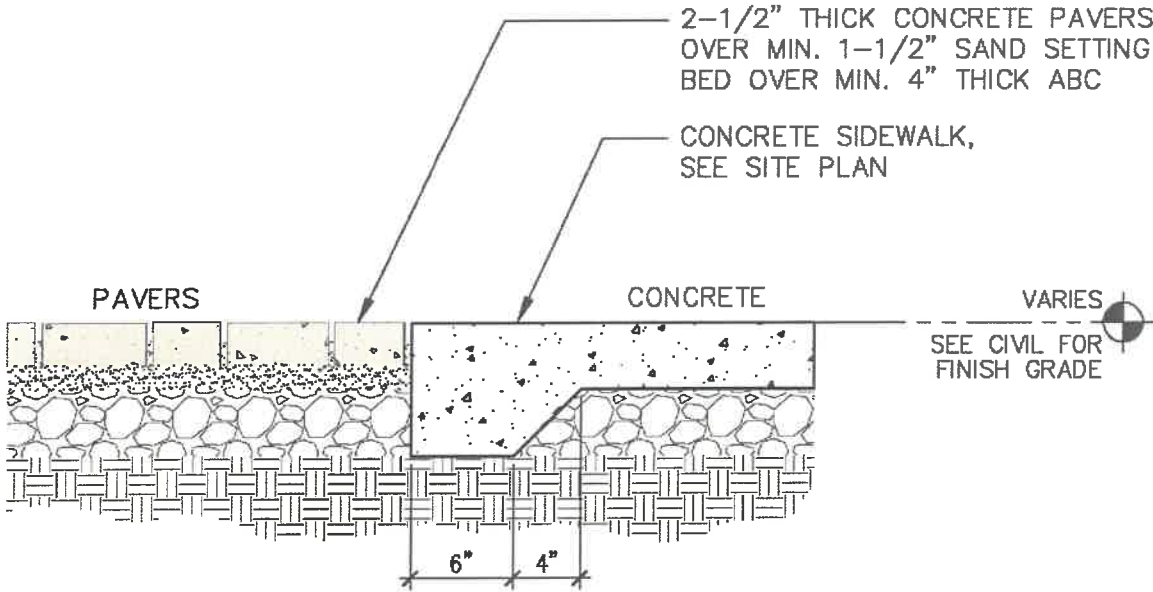
REFER TO PAVER SPECIFICATONS
FOR EXACT PAVER AND SAND BED
THICKNESS PRIOR TO INSTALLATION.



PAVER TRANSITION TO LANDSCAPE

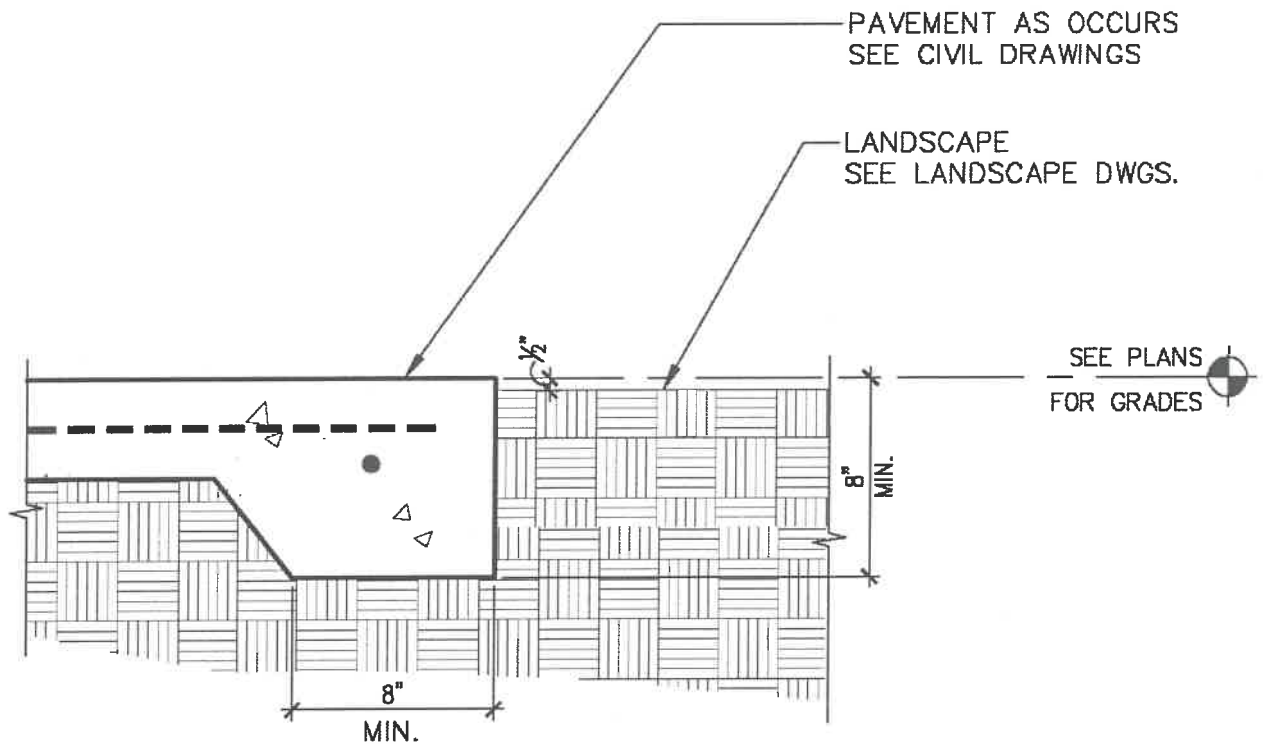


REFER TO PAVER SPECIFICATONS
FOR EXACT PAVER AND SAND BED
THICKNESS PRIOR TO INSTALLATION.



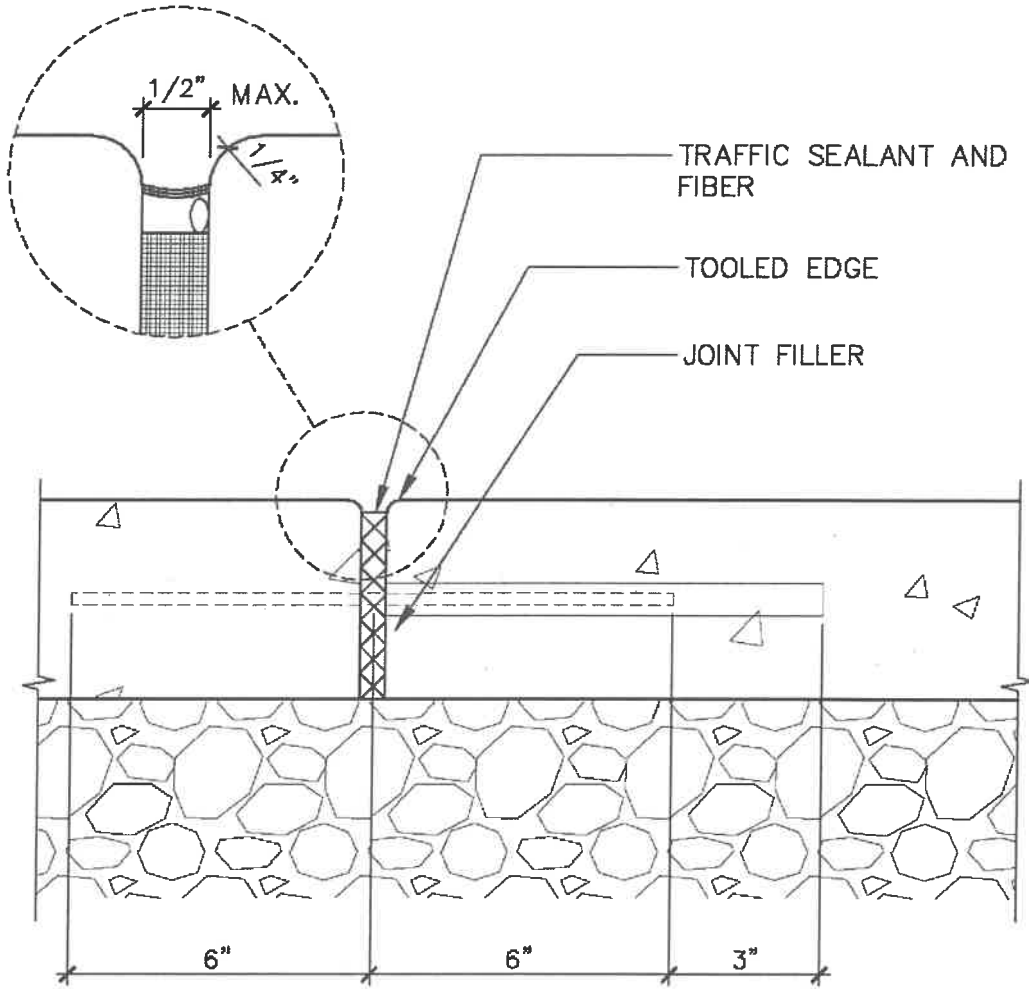
PAVEMENT TRANSITION W/PAVERS





PAVEMENT TRANSITION TO LANDSCAPE





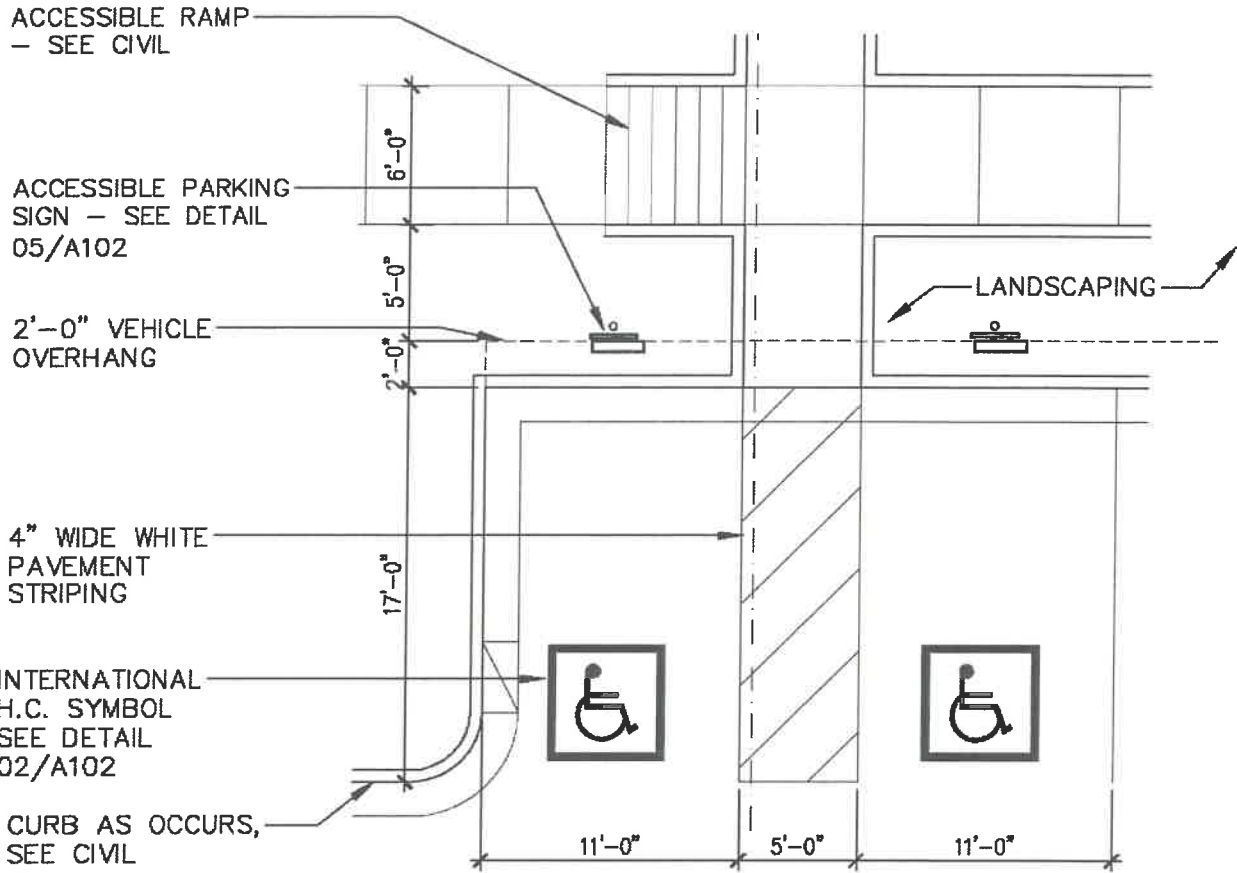
EXPANSION JOINT/ CONC. SLAB ON GRADE



QUEEN CREEK
MARKETPLACE

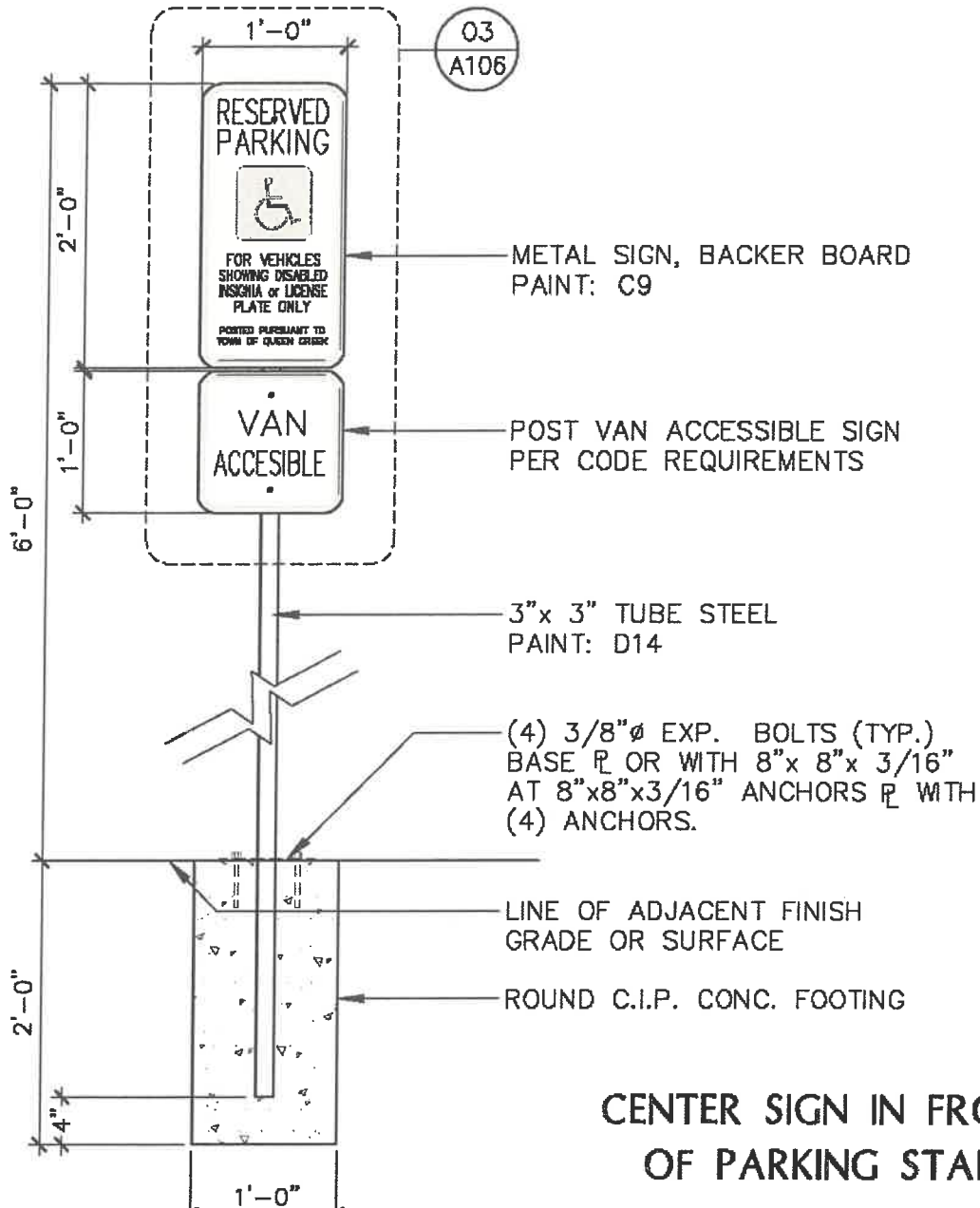
BFO ComynsHedrick

ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FACILITY MANAGEMENT
LEED PLANNING
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN



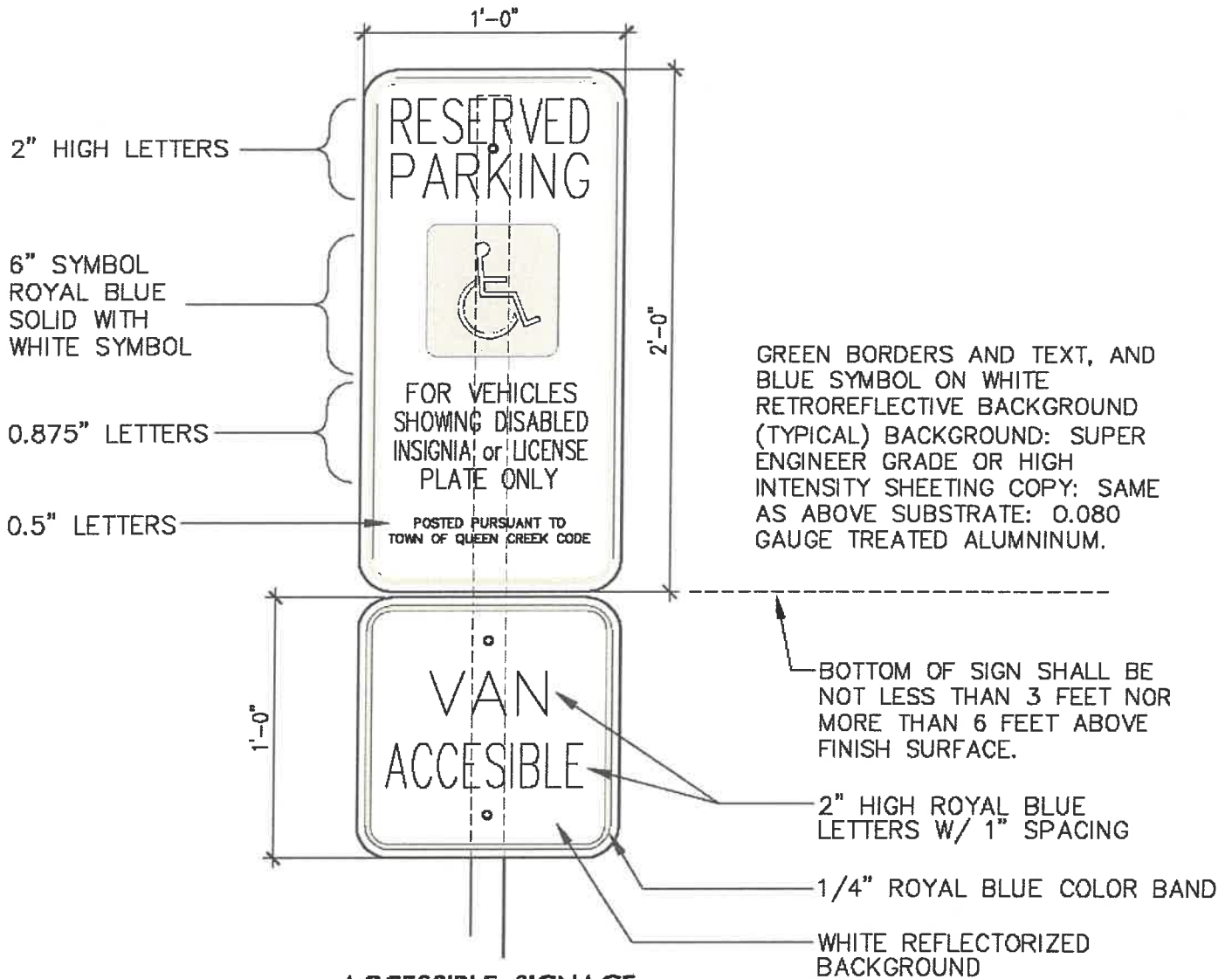
TYPICAL HANDICAPPED PARKING STALL





ACCESSIBLE PARKING SIGN

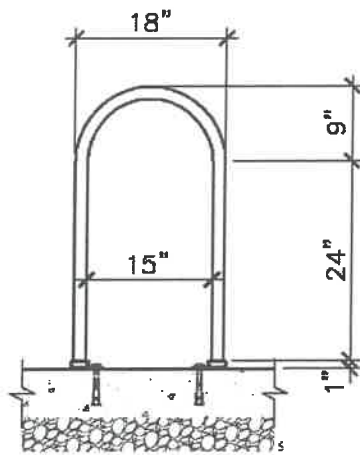
NOTE: LETTERING SHALL BE FHWA SERIES "B" ALPHABET OR HELVETICAL MED. COND.



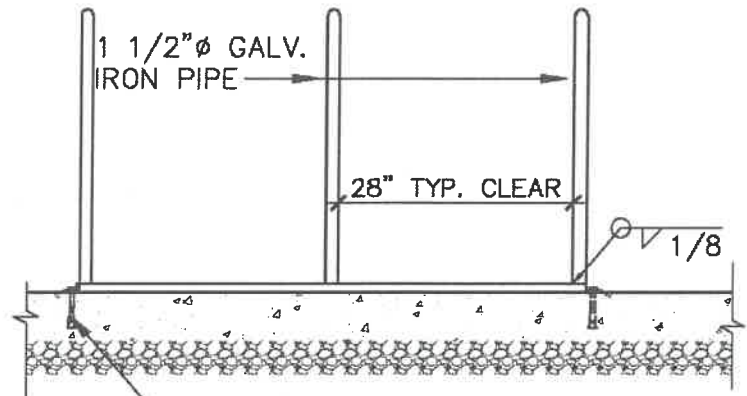
ACCESSIBLE SIGNAGE
ONE SIGN AT EACH
ACCESSIBLE PARKING STALL

ACCESSIBLE PARKING SIGNAGE



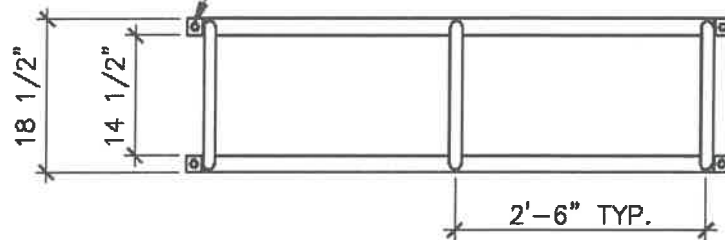


SECTION



ELEVATION

1" X 2" X 2" X 1/8" ANGLE
ANCHOR BRACKETS W/ 1/2" DIA.
HOLE WELD TO BASE
(SPACE @ 6'-3" O.C. MAX)



PLAN

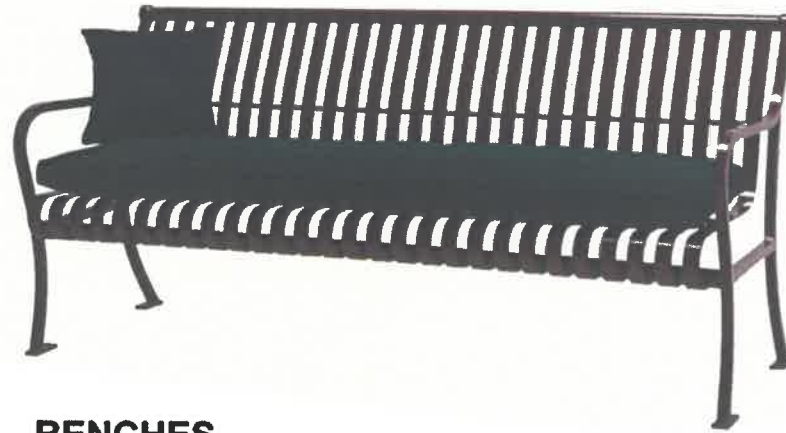
NOTE:

1. FINISH WITH WEATHER RESISTANT POWDER COAT TO MATCH BUILDING.
2. ANCHOR RACK TO CONCRETE W/ 1/2" DIA. X 2 1/2" WEDGE ANCHORS.

BIKE RACK



FOUND IN 'pad guidelines PDF's'
↳ Keystone product sheet



BENCHES

"Pullman" Series # P26, 6'-0" Long with back
Color : Bronze



BIKE RACKS

SN01-3
Color : Bronze



LITTER RECEPTACLES

"Midtown" Series # MT3-32
(with opt'l ash moat)
Color : Bronze

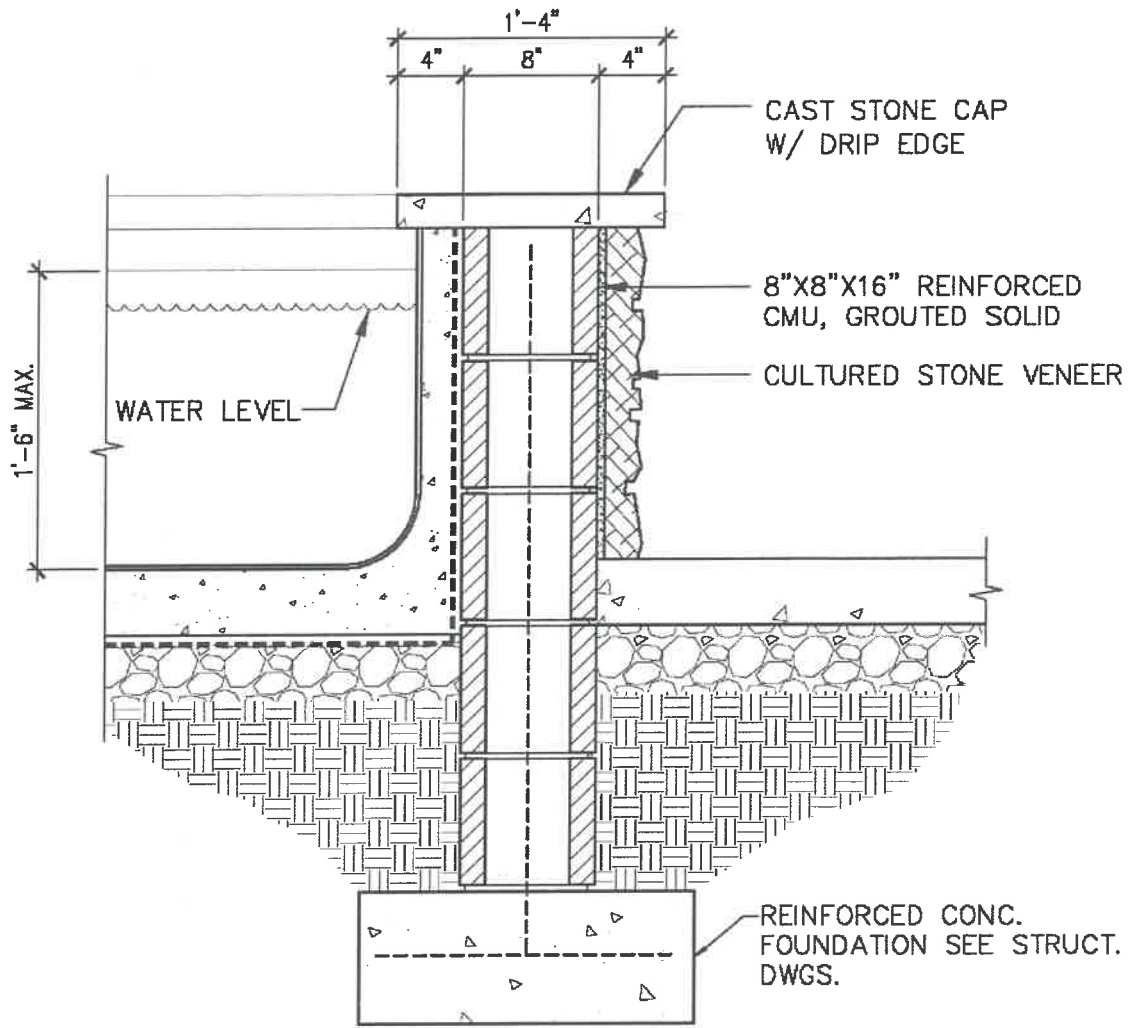


1.800.284.8208

SITE FURNISHINGS

QUEEN CREEK
MARKETPLACE

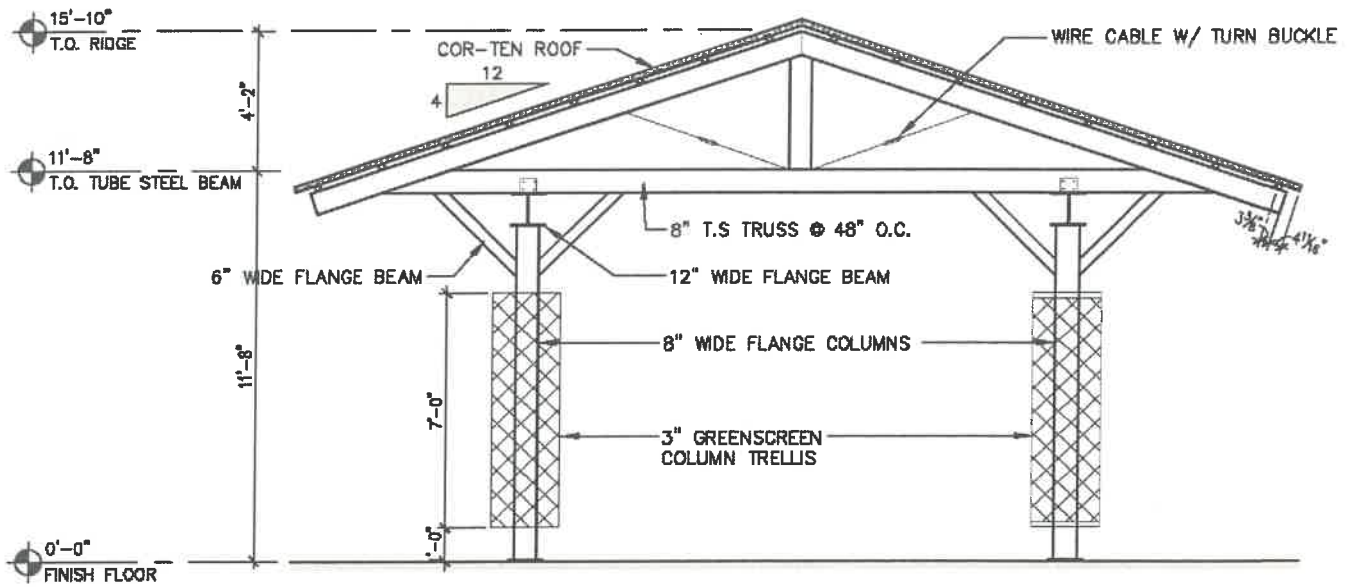




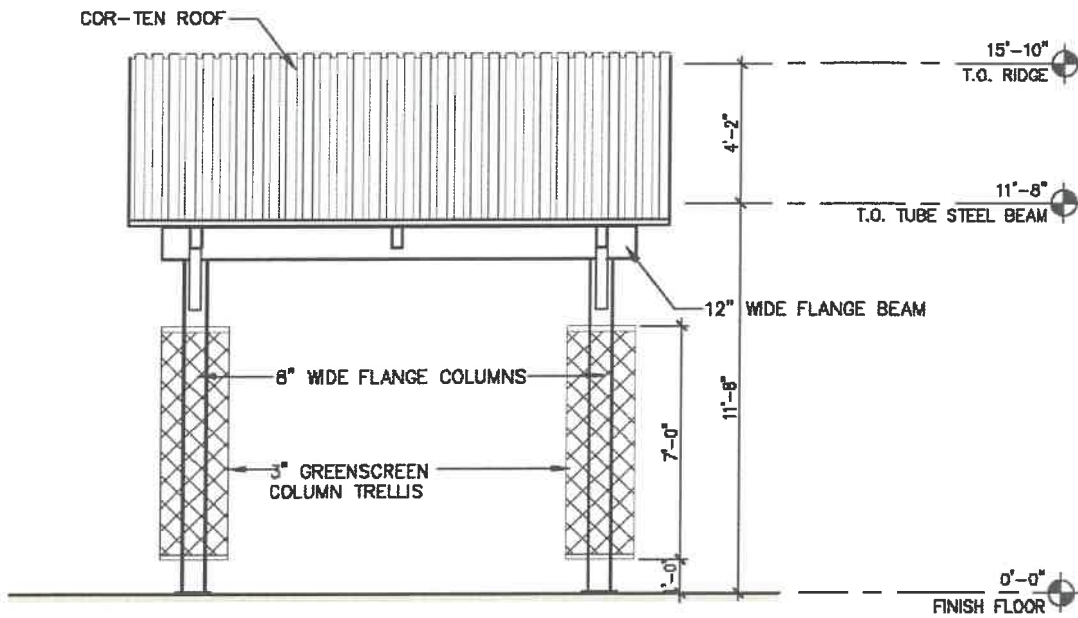
NOTE: PROVIDE UNDERGROUND VAULT, FILTER & CLEAN OUT AS SPECS. BY G.C.

SEAT WALL @ FOUNDATION





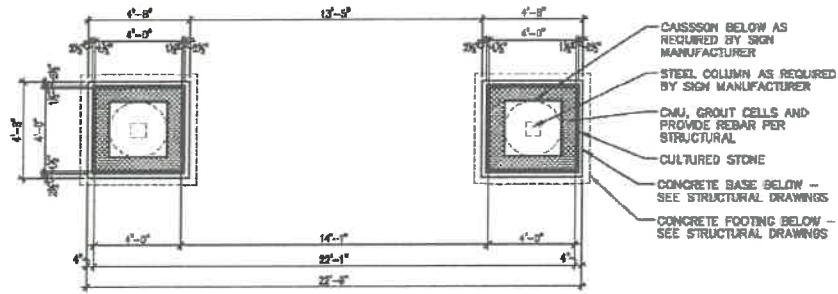
FRONT ELEVATION



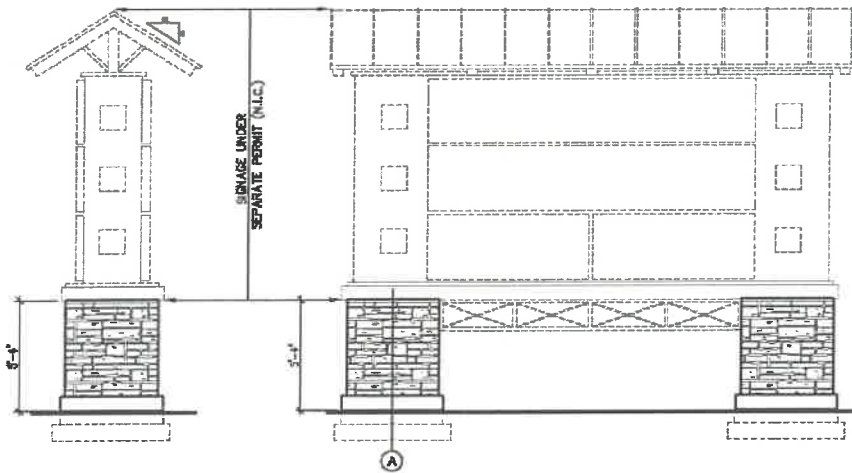
SIDE ELEVATION

SHADE CANOPY ELEVATIONS



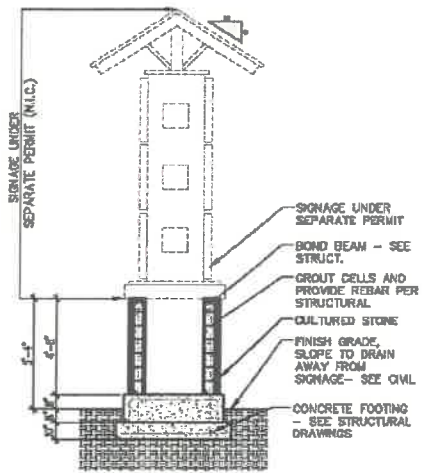


PLAN



ELEVATION

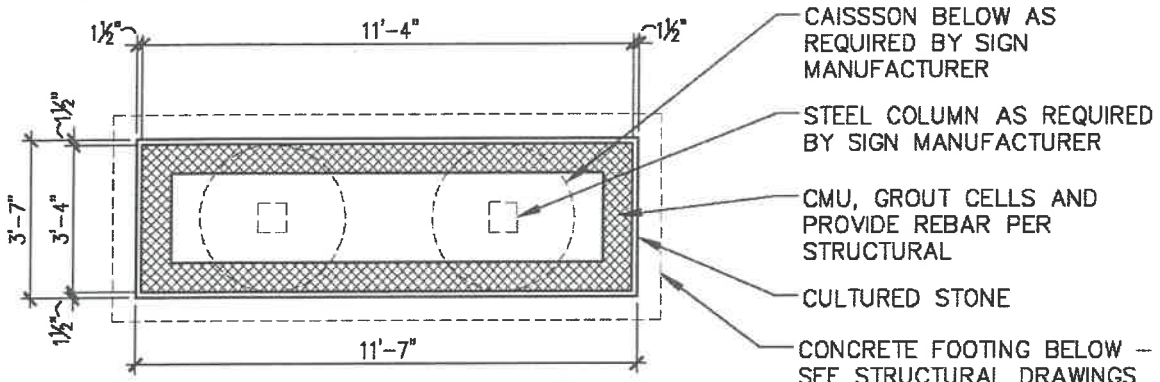
ELEVATION



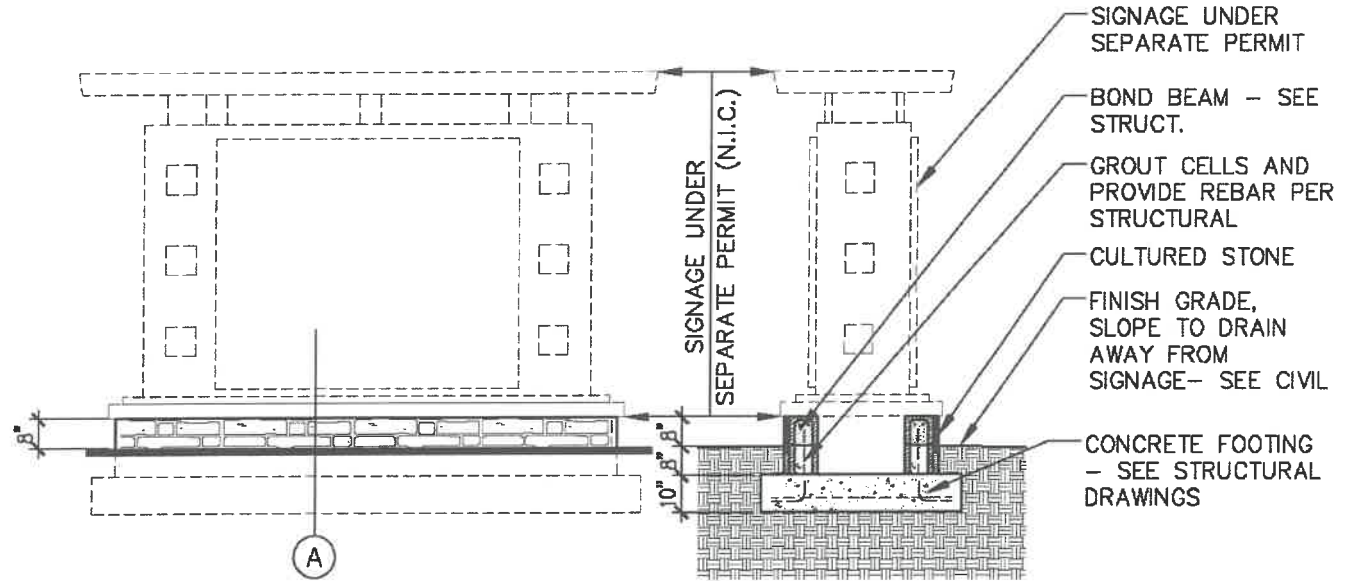
SIGN BASE SECTION 'A'

MULTI TENANT MONUMENT SIGN





PLAN



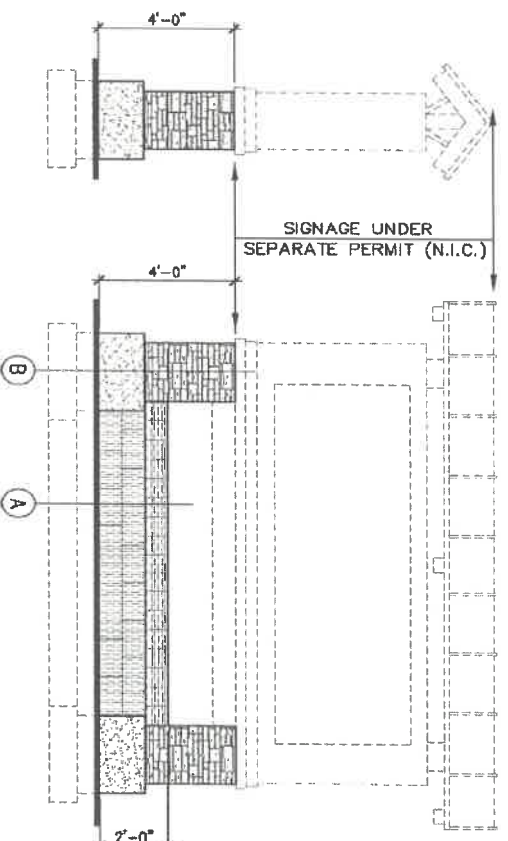
ELEVATION SECTION

PAD MONUMENT SIGN

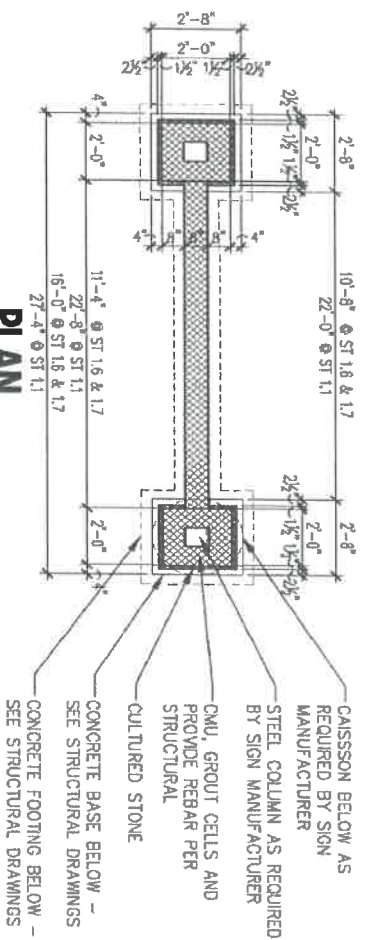


ENTRY ID MONUMENT SIGN

ELEVATION

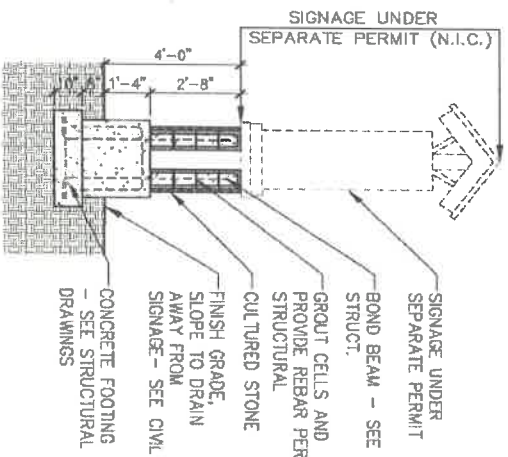


ELEVATION

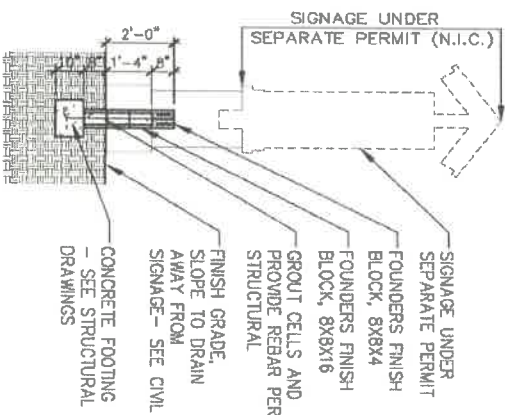


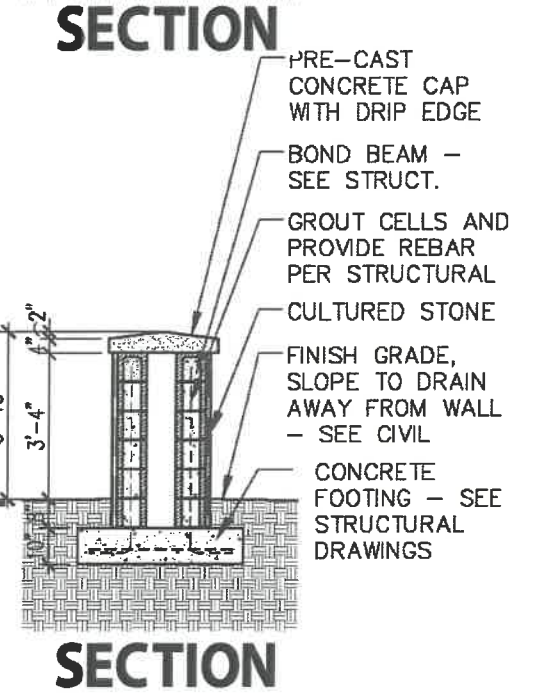
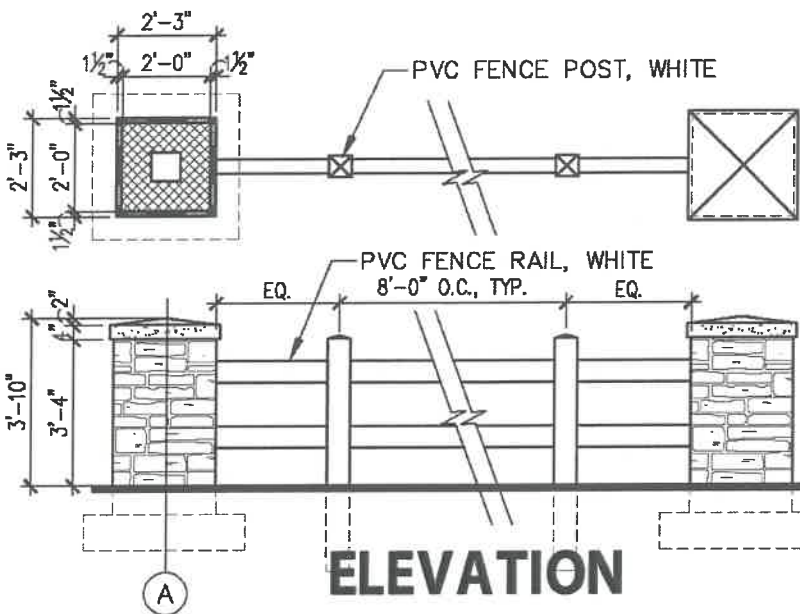
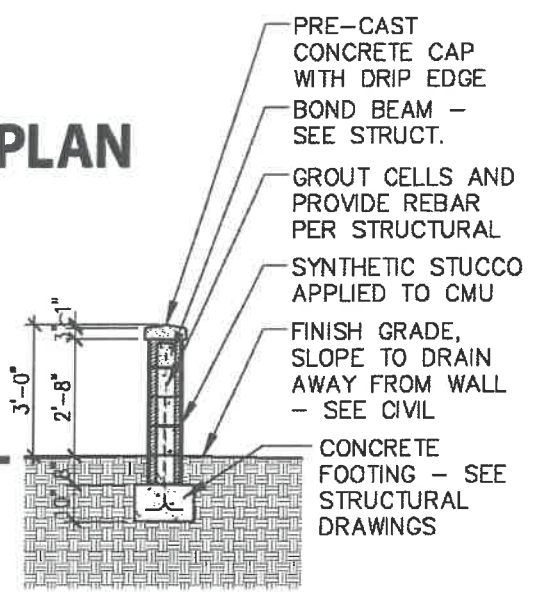
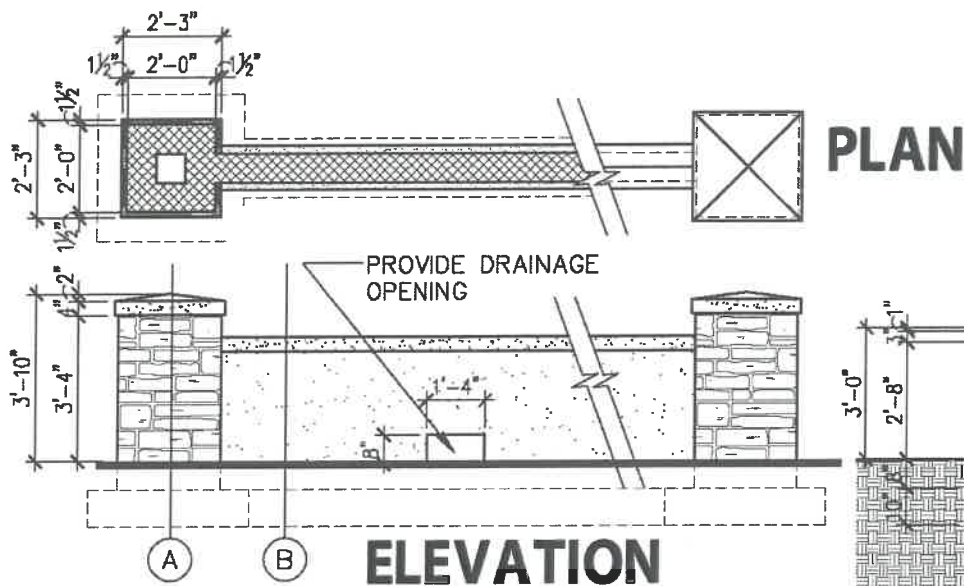
PLAN

SECTION



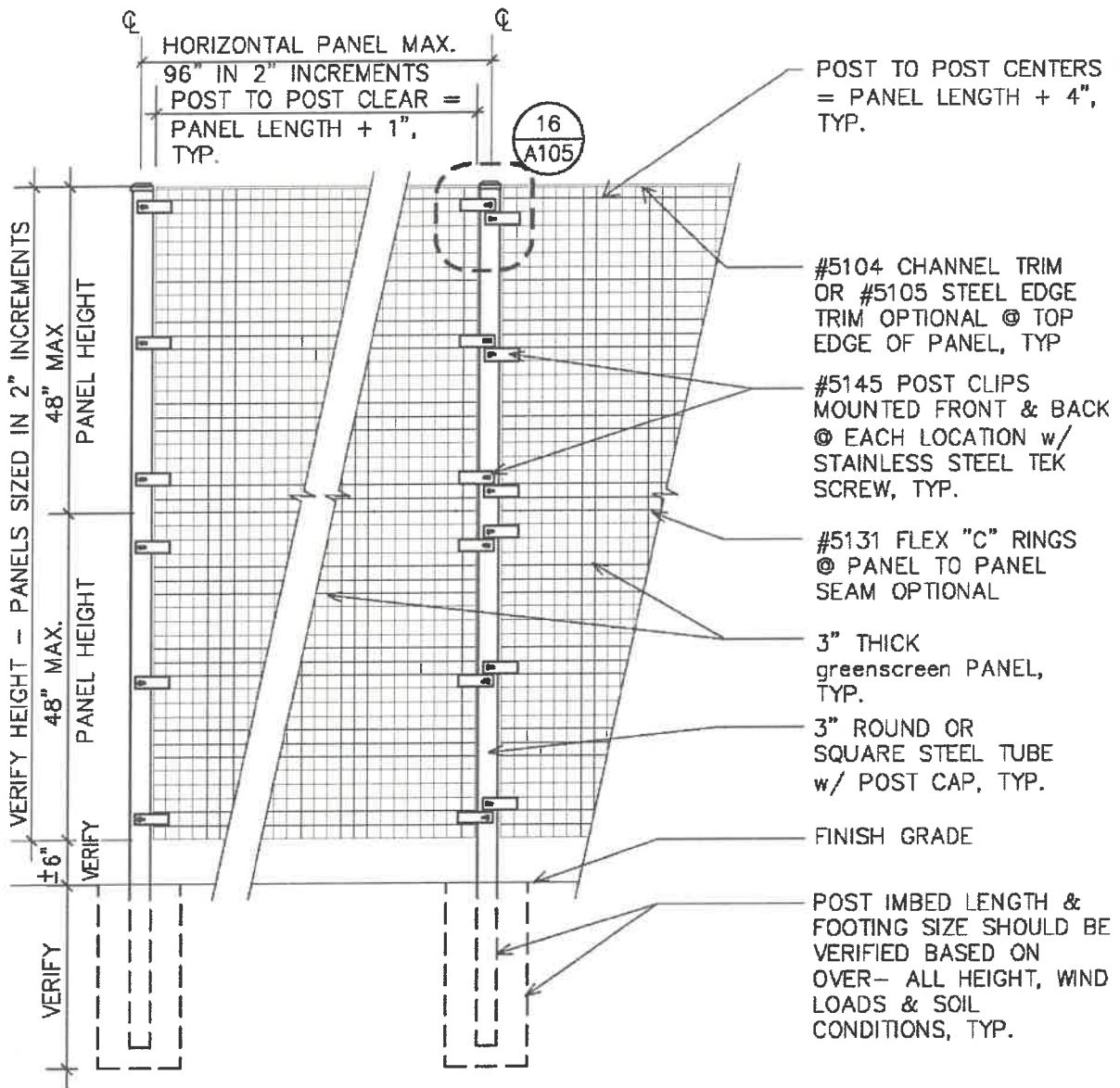
SECTION



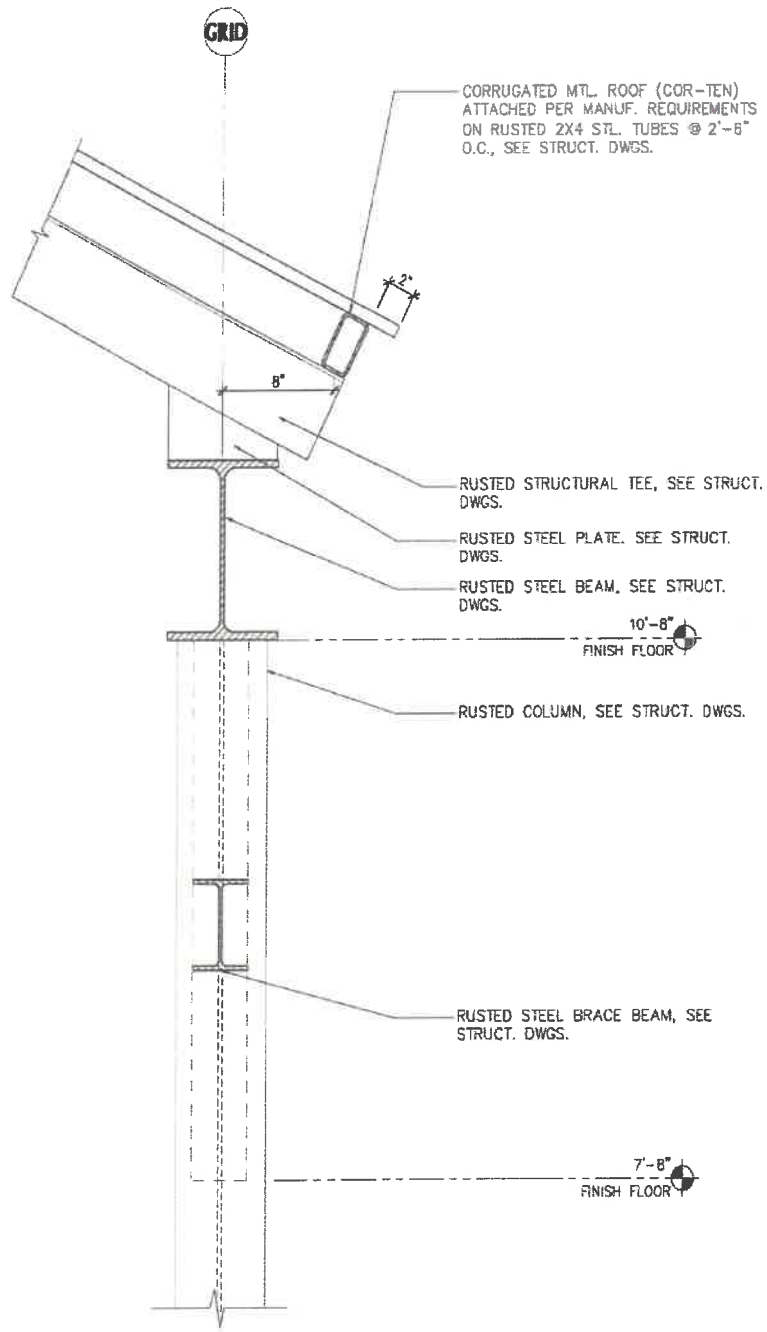


TYPICAL SCREENWALLS/FENCE





FREESTANDING GREEN SCREEN/ELEV

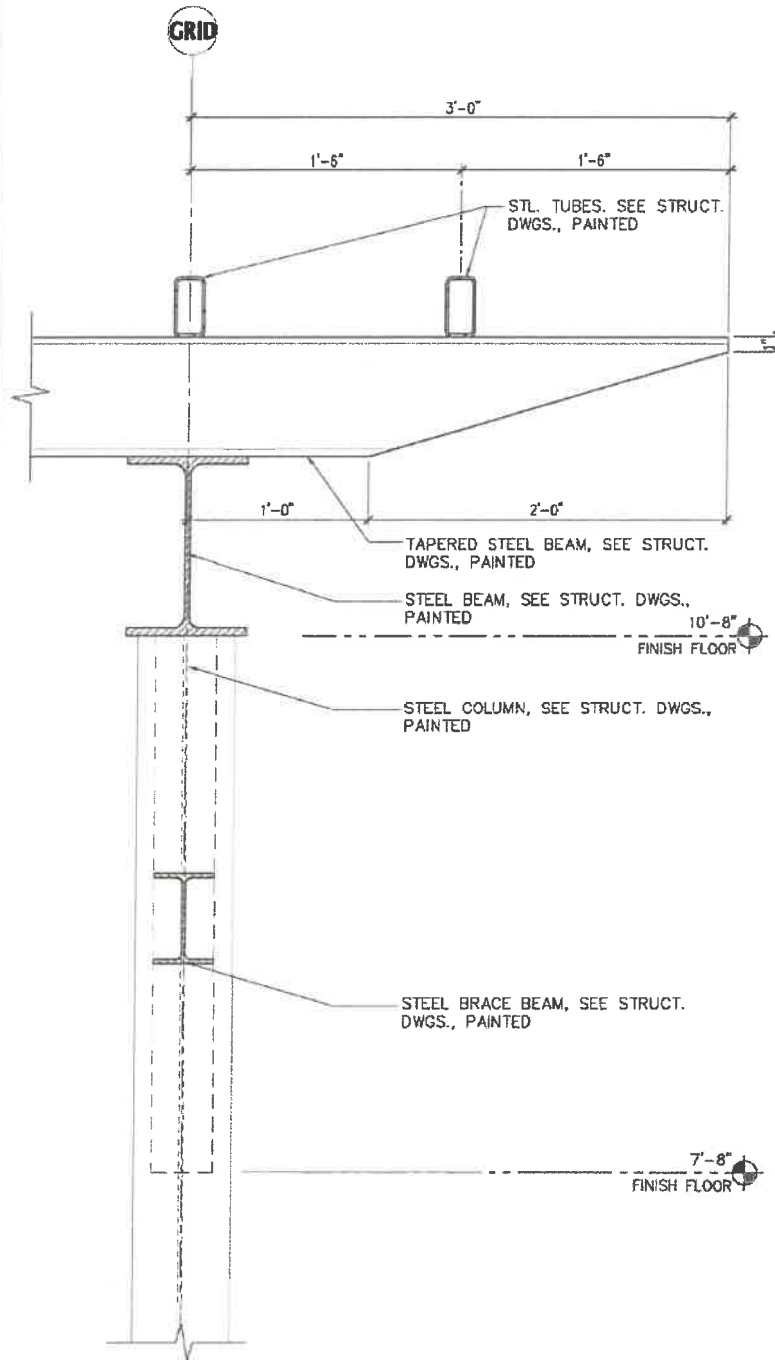


STEEL CANOPY DETAIL



QUEEN CREEK
MARKETPLACE

DRG ComagerFredrick
 architecture
 interior architecture
 space planning
 facilities management
 team planning
 landscape architecture
 graphic design



STEEL TRELLIS DETAIL



PRE-FINISHED METAL DECK, SLOPE TO DRAIN, SEE STRUCTURAL

PAINTED STL. ANGLE, SEE STRUCTURAL

PAINTED STL. TUBE, SEE STRUCTURAL

SHIM AS REQUIRED

CONT. SEALANT AND BACKER RODS
FIBERGLASS COMPOSITE PANEL

FASTEN TO I.S. PER MFR'S RECOMMENDATIONS

SLOPE TO DRAIN

PAINTED STL. CHANNEL, SEE STRUCTURAL

30'-6"
B.O. CHANNEL

PAINTED STL. ANGLE, SEE STRUCTURAL

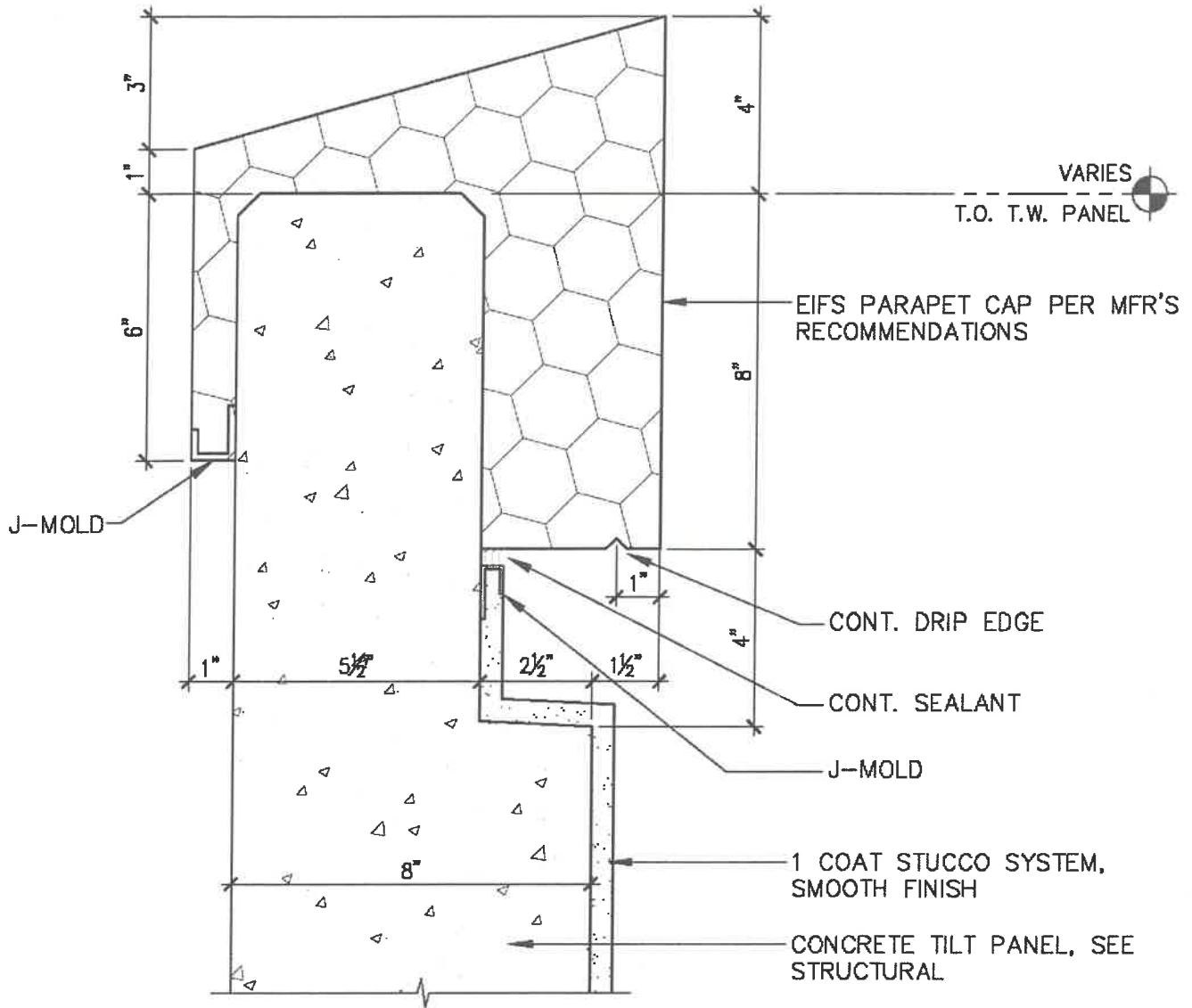
1/4" CAP PLATE, BUTT WELD ALL AROUND, GRIND ALL EDGES, SEE STRUCTURAL

PAINTED 3"x3" STL. PLATE, SEE STRUCTURAL

PAINTED 5/8" STEEL RODS, EACH SIDE OFFUNE, SEE STRUCT. DWGS.

ROOF FASCIA DETAIL @ THE TOWER



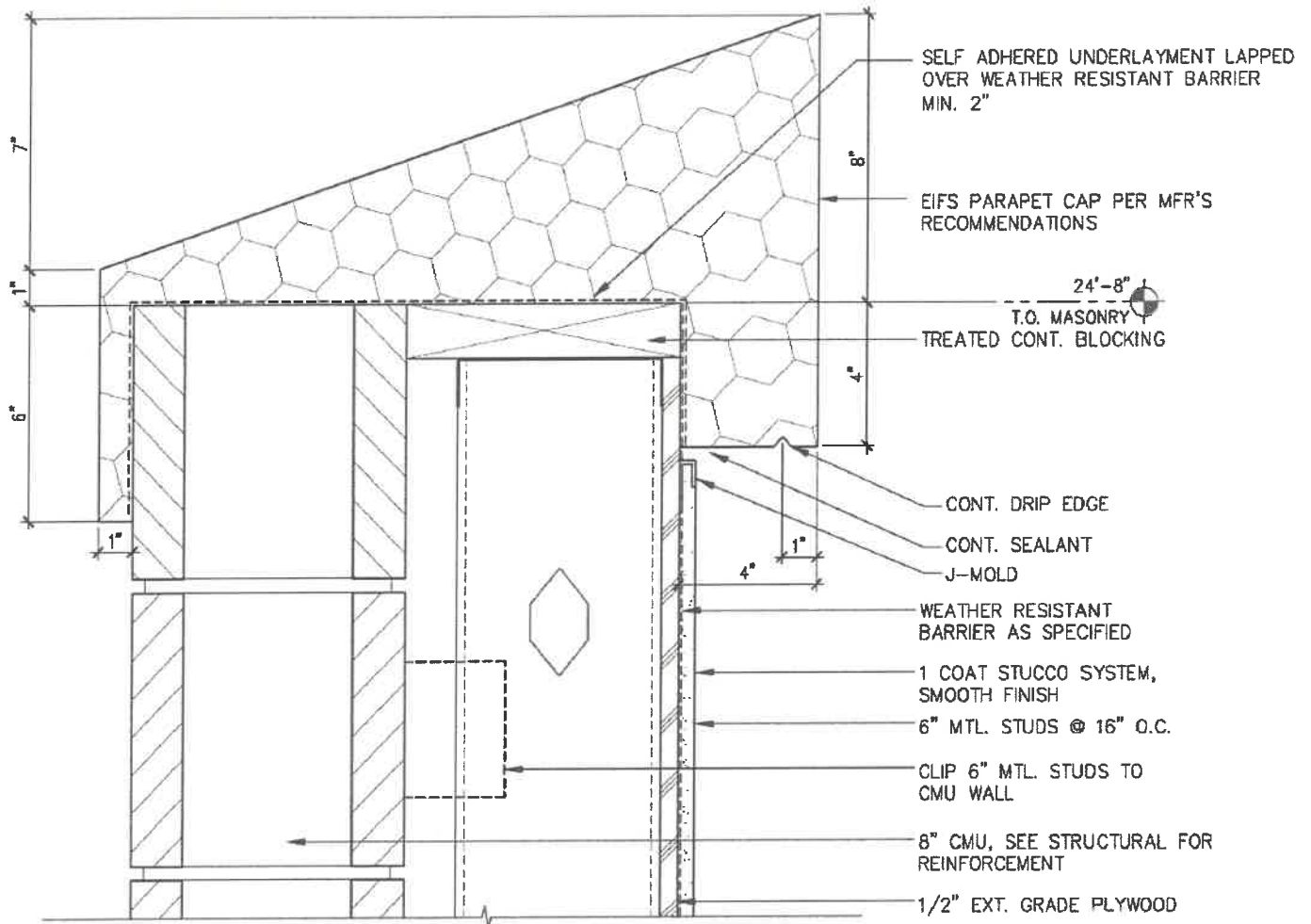


CORNICE DETAIL

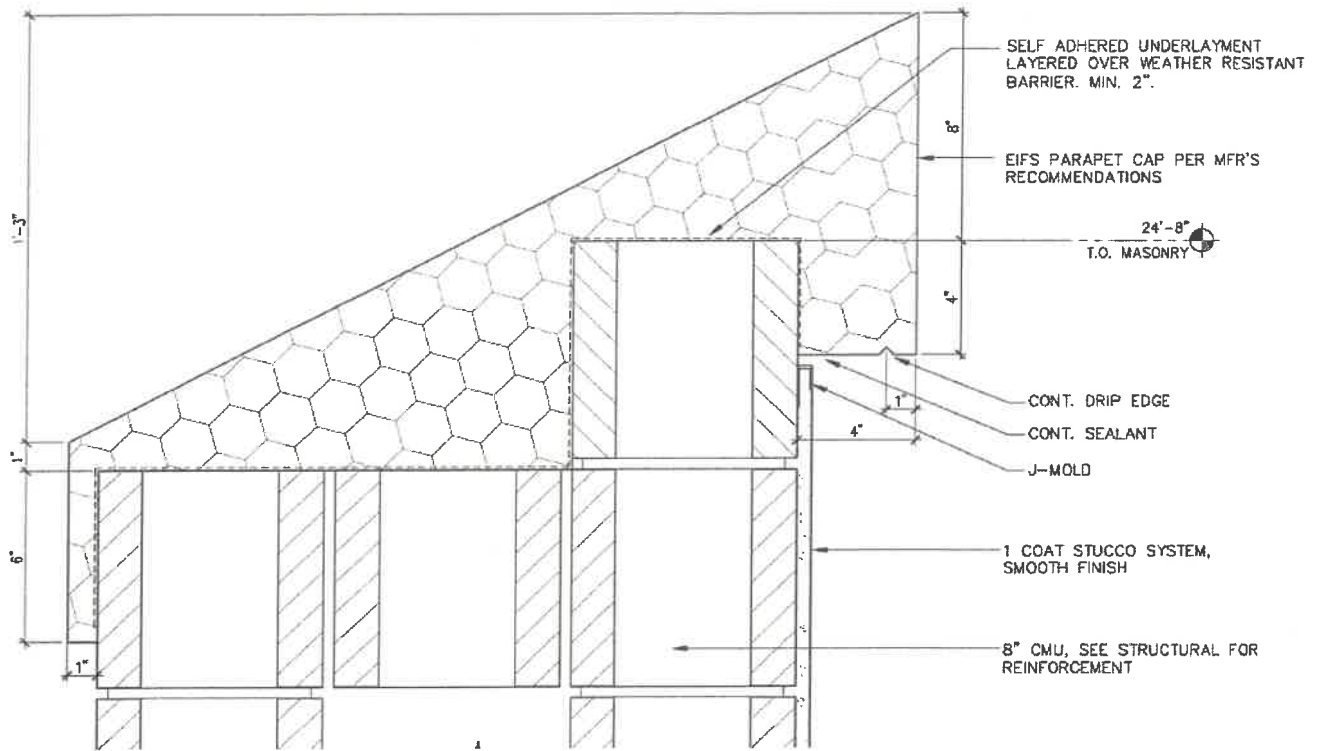


QUEEN CREEK
 MARKETPLACE

DFD Conroy/Hodrick
 ARCHITECTS
 1000 AVENUE
 SUITE 1000
 DENVER, COLORADO 80202
 TEL: 303.733.1111
 WWW.DFDARCHITECTS.COM



CORNICE DETAIL



CORNICE DETAIL



LIST OF LANDSCAPE EXHIBITS

1. Approved Landscape Palette
2. Main Entry Drive Landscape Enlargement
3. Corner Monument Feature Enlargement
4. Interior Road Intersection Enlargement
5. 2' Seating Cube Detail
6. Seating Wall Section
7. Raised Planter/Seat Wall
8. Screen Wall Section
9. Green Screen Wall
10. Planter Pot Planting Detail



Queen Creek Marketplace Approved Landscape Palette

TREES

Acacia Farnesiana
Sweet Acacia

Cercidium hybrid
Sonora Hybrid

Caesalpinia Mexicana
Mexican Bird of Paradise

Carnegia gigantea
Saguaro

Cercidium floridum
Blue Palo Verde

Acacia stenophylla
Shoestring Acacia

Prosopis Glandulosa 'thornless'
Thornless Honey Mesquite

SHRUBS / ACCENTS

Calliandra eriophylla
Pink Fairy Duster

Justicia californica
Chuparosa

Cassia phyllodenia
Silver Cassia

Leucophyllum laevigatum
Chihuahuan Sage

Caesalpinia pulcherrima
Red Bird of Paradise

Encelia farinosa
Brittlebush

Ruellia penninsularis
Ruellia

Leucophyllum frutescens 'Green Cloud'
Green Cloud Sage

Hesperaloe parviflora
Red/Yellow Yucca

Agave geminiflora
Twin - Flowered Agave

Bougainvillea 'San Digeo Red'
Red Bush Bougainvillea

Bougainvillea 'Barbara Karst'
Bougainvillea
(staked. remove & espalier to W.I.)

Leucophyllum langmaniae 'Rio Bravo'
Rio Bravo Sage

Dasylium wheeleri
Desert Spoon

Nerium oleander 'Petite Pink'
Petite Pink Oleander

Muhlenbergia Capillaris

SHRUBS / ACCENTS

Agave fourcroydes
Agave sp. (requires L.A. Approval)

Yucca alofolia
Spanish bayonett

Larrea tridentata
Creosote Bush

Agave Weberii
Weber's Agave (requires L.A. Approval)

Asclepias subulata
Desert Milkweed

Eremophila 'valentine'
'Valentine' Eremophila

GROUNDCOVER / ACCENT

Penstemon sp.
Penstemon

Baileya multiradiata
Desert Marigold

Dalea Greggii
Trailing indigo bush

Rosmarinus Off. Prostratus
Dwarf Rosemary

Acacia redolens 'Desert Carpet'
Desert Carpet Acacia

Lantana montevidensis
New Gold & Purple Trailing Lantana
(All Lantana's located at buildings will be 5 Gallon material)

Wedelia trilobata
Yellow Dots

Euphorbia rigens
Gopher Plant

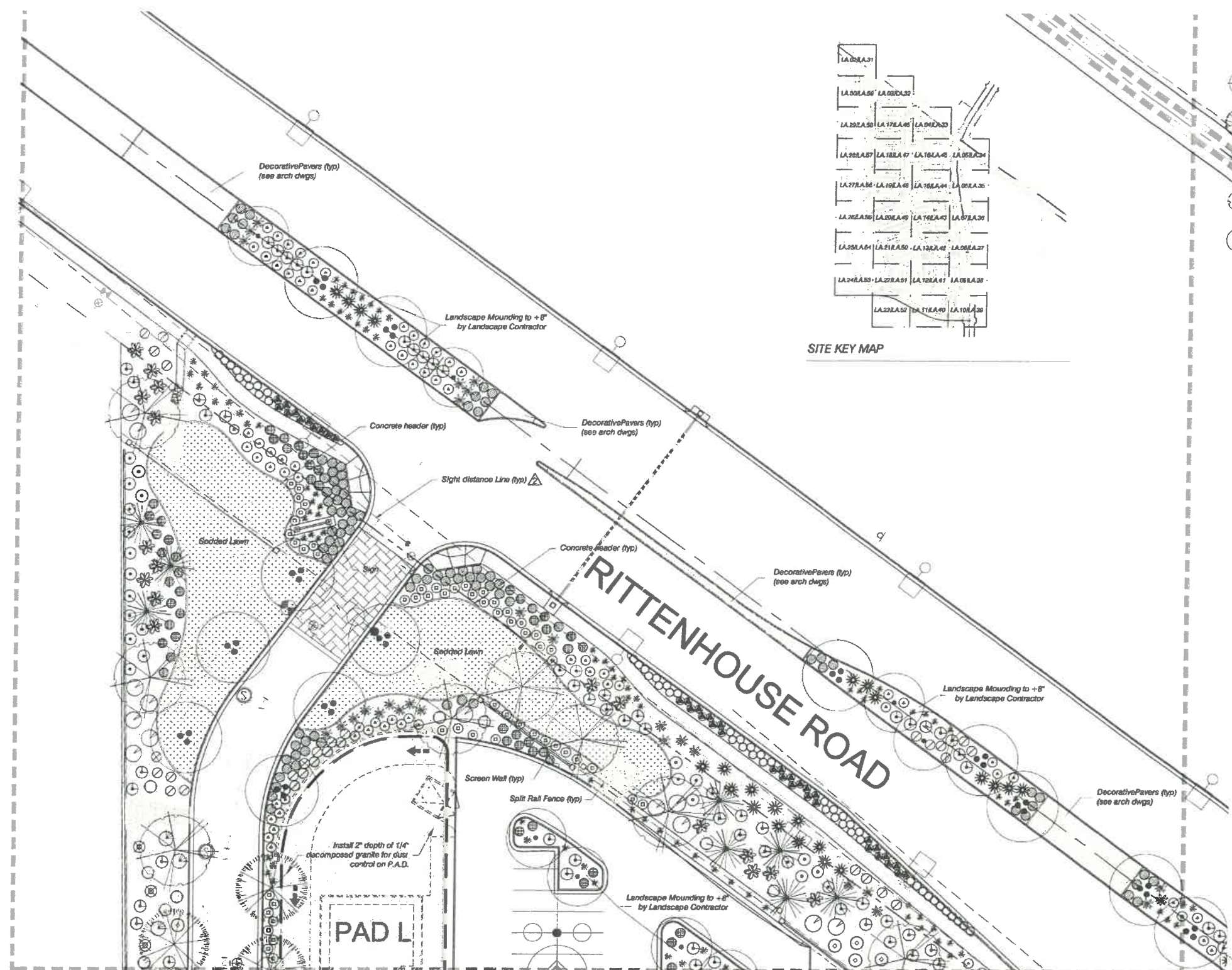
Cerus peruvianus - Twisted
Twisted Cerus

Echinocactus grusonii
Golden Barrel Cactus



OFD ComoyeHedrick

ARCHITECTURE
INTERIOR ARCHITECTURE
SPACE PLANNING
FURNITURE MANAGEMENT
LAND PLANNING
LANDSCAPE ARCHITECTURE
GRAPHIC DESIGN

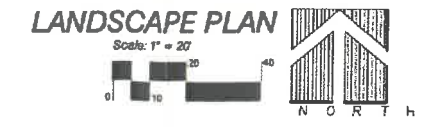


SITE KEY MAP

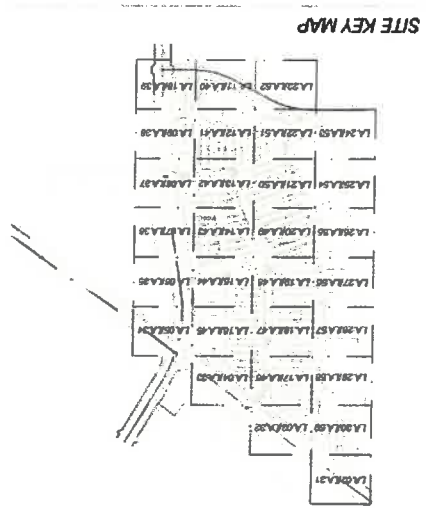
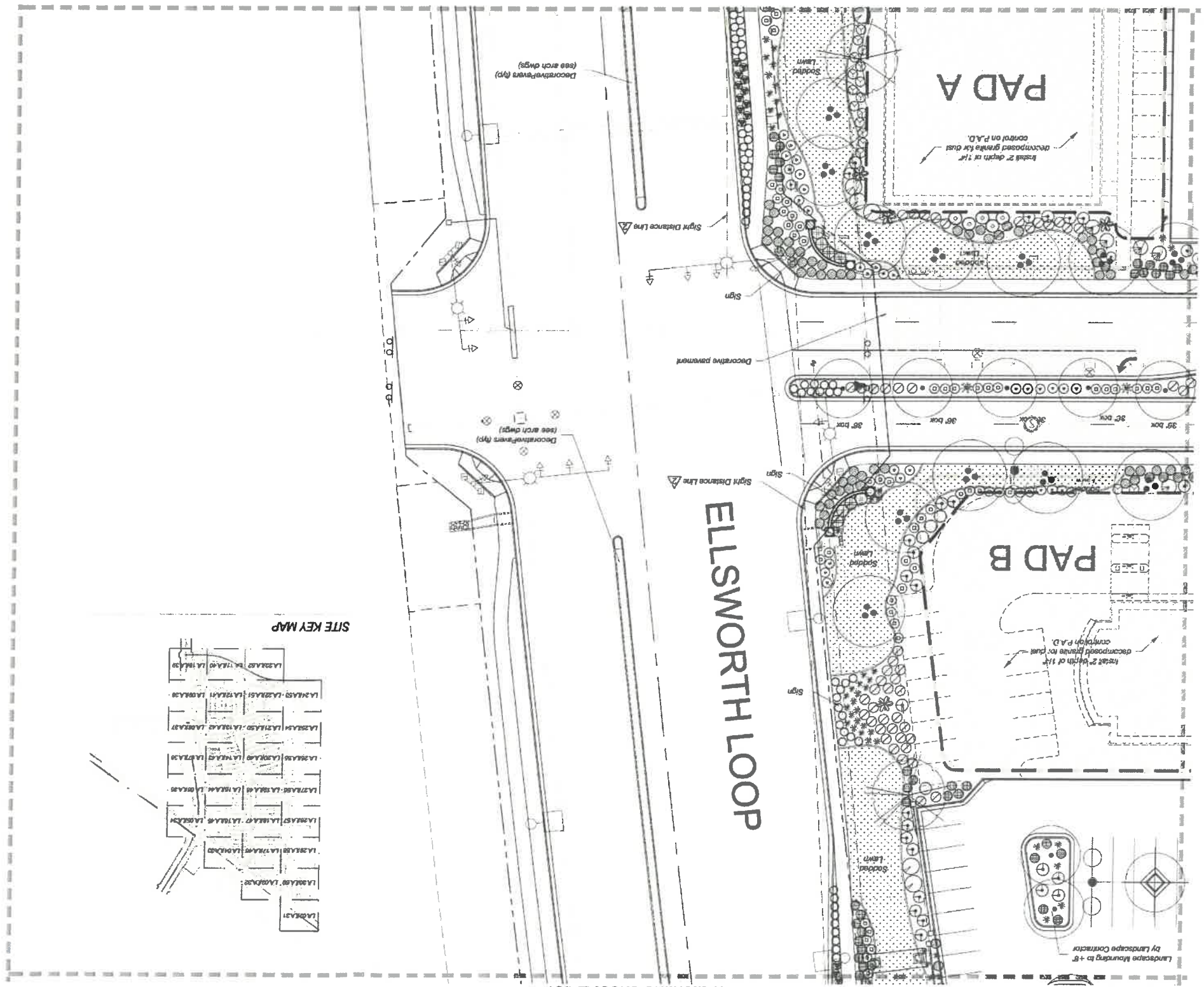
LANDSCAPE LEGEND
ALL TREES TO MEET OR EXCEED A.I.A. SPECIFICATIONS

TREES	SIZE
Cercidium 'Hybrid' Desert Museum	36" Box
Desert Museum Palo Verde	Std
Ulmus parvifolus	36" Box
Evergreen Elm	
Quercus virginiana	24" Box u.o.n.
Live Oak	36" Box
Prosopis glandulosa	36" Box
Thomson Honey Mesquite	Std
Fraxinus velutina 'Rio Grande'	24" Box
Fan-Tex Ash	
Pinus edularia	24" Box
Mondel Pine	
Bauhinia lunarioides 'white'	36" Box
Anacacho Orchid tree	
Cassia mexicana	24" Box
Mexican Bird of Paradise	
Olea Europaea 'Swan Hill'	48" Box Multi u.o.n.
Swan Hill Olive	24" Box Multi
Vilox agnus-castus	36" Box
CHRUBS & VINES	SIZE
Agave species	5 Gallon
Agave	
Yucca species	5 Gallon
Yucca	
Hesperaloe species	5 Gallon
Red Yucca	
Dasyliion wheeleri	5 Gallon
Desert Spoon	
Dasyliion longesimium	5 Gallon
Mexican Grass Tree	
Buddleja marubifolia	5 Gallon
Butterfly Bush	
Bougainvillea San Diego	5 Gallon
Red Bush Bougainvillea	
Rosa banksia	5 Gallon
Lady Banks Rose	
Calliandra californica	5 Gallon
Baja Fairy Duster	
Cassia nemophila	5 Gallon
Green Cassia	
Cassia phytolines	5 Gallon
Silver Leaf Cassia	
Leucophyllum species	5 Gallon
Texas Sage	
Eremophila 'Valentine'	5 Gallon
Valentine Bush	
Muhlenbergia Capillaris 'regal'	5 Gallon
Regal Mist Grass	
Nerium Oleander 'petite pink'	5 Gallon
Dwarf Pink Oleander	
Simmondsia chinensis	5 Gallon
Jobba	
Tecoma stans 'Orange Jubilee'	5 Gallon
Orange Jubilee	
Myrtus communis 'compacta'	5 Gallon
Compact Myrtle	
Ruellia brittoniana	5 Gallon
Ruellia	
Dodonaea viscosa 'Purpurea'	5 Gallon
Purple Hop Bush	
Erioseba fasciosa	5 Gallon
Brittishbush	
Cassia pulcherrima	5 Gallon
Red Bird of Paradise	
Zephyranthus candida	5 Gallon
Rain Lily	
GROUND COVER	SIZE
Lantana montevidensis	1 Gallon
Purple / Gold Lantana	50/50 Mix
Ruellia brittoniana 'Katie'	1 Gallon
Katie Ruellia	
Rosmarinus officinalis 'prostratum'	1 Gallon
Prostrate Rosemary	
Wedelia trilobata	1 Gallon
Yellow Dot	
4" x 6" Concrete Header	
TURF	
Mid Iron Sod	
GRANITE MATERIAL	
Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.	
Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc. All rip Rap to be Grouted in place.	

MAIN ENTRY DRIVE LANDSCAPE ENLARGEMENT

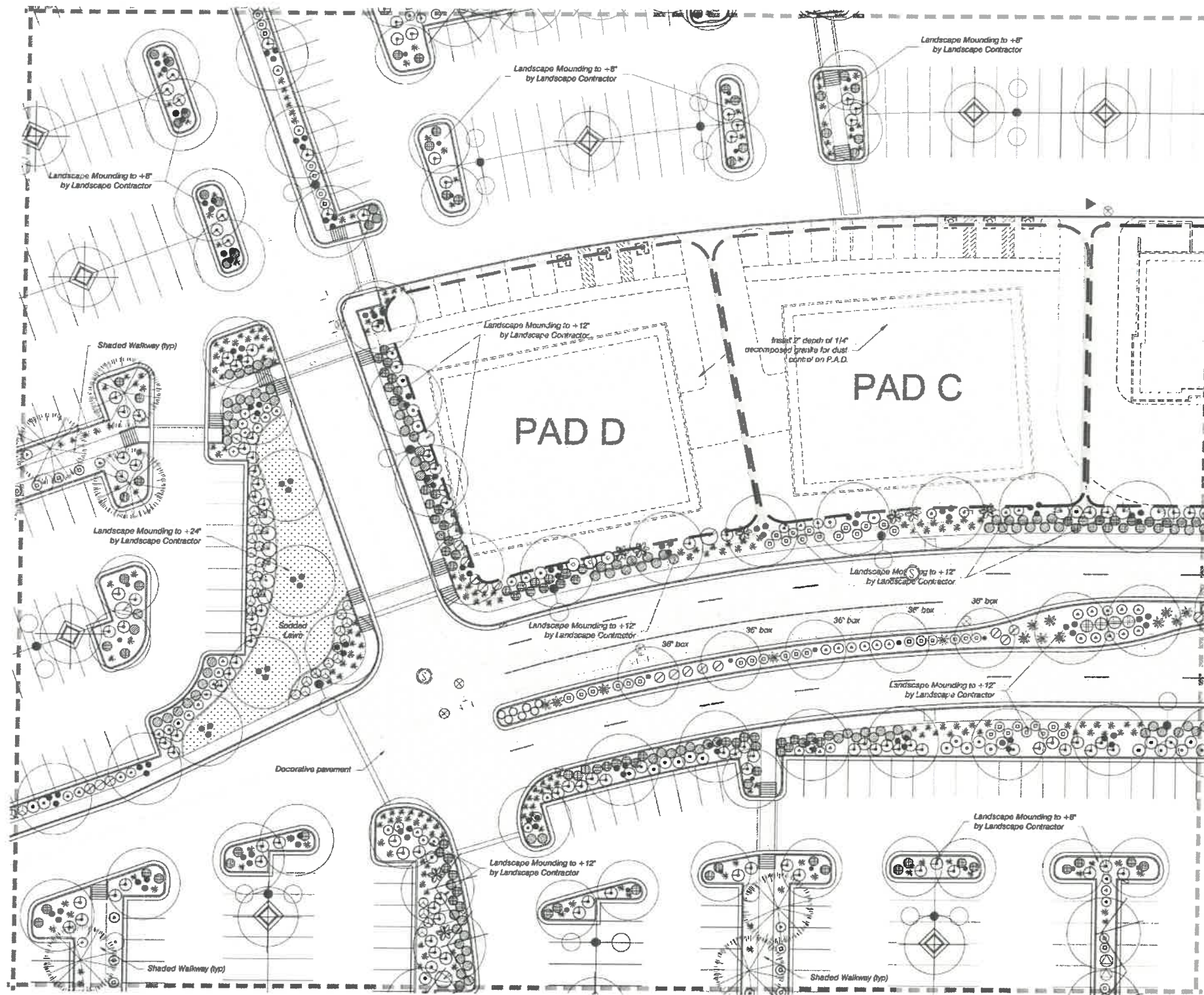


MAIN ENTRY DRIVE LANDSCAPE ENLARGEMENT



LANDSCAPE LEGEND
 ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS

TREES	SIZE
Cercidium 'Hybrid' Desert Museum	36" Box
Desert Museum Palo Verde	SR4
Ulmus parvifolia	35" Box
Evergreen Elm	24" Box u.o.n.
Quercus virginiana	36" Box
Live Oak	36" Box
Thompson Honey Mesquite	SR4
Fraxinus velutina 'Red Grandd'	24" Box
Far-Tex Ash	24" Box
Pinus edulis	24" Box
Monder Pine	36" Box
Bauhinia kunoides white	36" Box
Archiecho Child tree	24" Box
Caesalpinia mexicana	24" Box
Mexican Bird of Paradise	48" Box Multi u.o.n.
Das Eucalyptus 'Swan Hill'	24" Box Multi
Swan Hill Olive	35" Box
Yucca agaves-castus	35" Box
Chesle Tree	SIZE
Agave species	5 Gallon
Agave	5 Gallon
Yucca species	5 Gallon
Hesperaloe species	5 Gallon
Red Yucca	5 Gallon
Desert Spoon	5 Gallon
Daylily longistylum	5 Gallon
Budleia nana/bricks	5 Gallon
Budleia	5 Gallon
Burgundy Bush	5 Gallon
Bougainvillea San Diego	5 Gallon
Rosa banksia	5 Gallon
Lady Banks Rose	5 Gallon
Callandra californica	5 Gallon
Buffa Fairy Duster	5 Gallon
Cassia neriophila	5 Gallon
Cassia Cassia	5 Gallon
Cassia	5 Gallon
Casea pycnantha	5 Gallon
Silver Leaf Casahuate	5 Gallon
Leucophyllum species	5 Gallon
Texas Sage	5 Gallon
Eremophila 'Vehena'	5 Gallon
Valerina Bush	5 Gallon
Muhlenbergia Capillaris 'regal'	5 Gallon
Regal Millet Grass	5 Gallon
Nerium Oleander 'petala pink'	5 Gallon
Dwarf Pink Oleander	5 Gallon
Silmondia chinensis	5 Gallon
Jugosa	5 Gallon
Tecoma stems 'Orange Jubilee'	5 Gallon
Orange Jubilee	5 Gallon
Myrica communis 'compacta'	5 Gallon
Compact Myrtle	5 Gallon
Ruellia brittoniana	5 Gallon
Dodonaea viscosa 'Purpurea'	5 Gallon
Purple Hop Bush	5 Gallon
Ericolea fasciosa	5 Gallon
Bititibus	5 Gallon
Caesalpinia pulcherrima	5 Gallon
Red Bird of Paradise	5 Gallon
Zephyranthes candida	5 Gallon
Rain Lily	5 Gallon
GRANDCOVER	SIZE
Lantana montevidensis	1 Gallon
Purple / Gold Lantana	50 /50 Mix
1 Gallon	1 Gallon
Ruellia brittoniana 'Katie'	1 Gallon
Katie Ruella	1 Gallon
Rosemarinus officinalis 'prostratum'	1 Gallon
Prostrate Rosemary	1 Gallon
Wedelia trilobata	1 Gallon
Yellow Dot	1 Gallon
4" x 6" Concrete Header	TURF
Mild Iron Sod	TURF
GRANITE MATERIAL	SIZE
Decomposed Granite - 2" Depth, 3/4" select Express	3/4"
Brown, placed in all planting areas.	
Rip Rap - 3-6" Express Brown cobble to be used as erosion water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc. All rip Rap to be Grouted in place.	



LANDSCAPE LEGEND
ALL TREES TO MEET OR EXCEED A.I.A. SPECIFICATIONS

TREES	SIZE
Cardium 'Hybrid' Desert Museum	36" Box Std
Desert Museum Palo Verde	36" Box
Ulmus parvifolia	36" Box
Evergreen Elm	36" Box
Quercus virginiana	24" Box u.o.n.
Live Oak	36" Box
Prosopis glandulosa	36" Box
Thornless Honey Mesquite	Std
Fraxinus velutina 'Rio Grande'	24" Box
Fan-Tex. Ash	24" Box
Pinus edulis	24" Box
Mordel Pine	24" Box
Bauhinia lunarioides 'White'	36" Box
Anacacho Orchid tree	24" Box
Caesalpinia mexicana	24" Box
Mexican Bird of Paradise	48" Box Multi u.o.n.
Olea Europaea 'Swan Hill'	24" Box Multi
Swan Hill Olive	24" Box Multi
Virex agnus-castus	36" Box
Chaste Tree	36" Box

SHRUBS & VINES	SIZE
Agave species	5 Gallon
Agave	5 Gallon
Yucca species	5 Gallon
Yucca	5 Gallon
Hesperaloe species	5 Gallon
Red Yucca	5 Gallon
Dasylium wheeleri	5 Gallon
Desert Spoon	5 Gallon
Dasylium longissimum	5 Gallon
Mexican Grass Tree	5 Gallon
Buddleja mamubifolia	5 Gallon
Butterfly Bush	5 Gallon
Bougainvillea San Diego	5 Gallon
Red Bush Bougainvillea	5 Gallon
Rosa banksia	5 Gallon
Lady Banks Rose	5 Gallon
Calliandra californica	5 Gallon
Baja Fairy Dustier	5 Gallon
Cassia nemophila	5 Gallon
Green Cassia	5 Gallon
Cassia phyllodea	5 Gallon
Silver Leaf Cassia	5 Gallon
Leucophyllum species	5 Gallon
Texas Sage	5 Gallon
Eremophila 'Valentine'	5 Gallon
Valentine Bush	5 Gallon
Muhlenbergia Capillaris 'regal'	5 Gallon
Regal Mist Grass	5 Gallon
Nautilum Cleander 'petite pink'	5 Gallon
Dwarf Pink Cleander	5 Gallon
Simmondsia chinensis	5 Gallon
Jobba	5 Gallon
Tecoma stans 'Orange Jubilee'	5 Gallon
Orange Jubilee	5 Gallon
Myrtus communis 'compacta'	5 Gallon
Compact Myrtle	5 Gallon
Ruellia brittoniana	5 Gallon
Ruellia	5 Gallon
Dodonaea viscosa 'Purpurea'	5 Gallon
Purple Hop Bush	5 Gallon
Encelia farinosa	5 Gallon
Eritrobush	5 Gallon
Caesalpinia pulcherrima	5 Gallon
Red Bird of Paradise	5 Gallon
Zephyranthus candida	5 Gallon
Rain Lily	5 Gallon

GROUNDCOVER	SIZE
Lantana montevidensis	1 Gallon
Purple / Gold Lantana	50 / 50 Mix
Ruellia brittoniana 'Katie'	1 Gallon
Katie Ruellia	1 Gallon
Rosmarinus officinalis 'prostratum'	1 Gallon
Prostrate Rosemary	1 Gallon
Wedelia trilobata	1 Gallon
Yellow Dot	1 Gallon

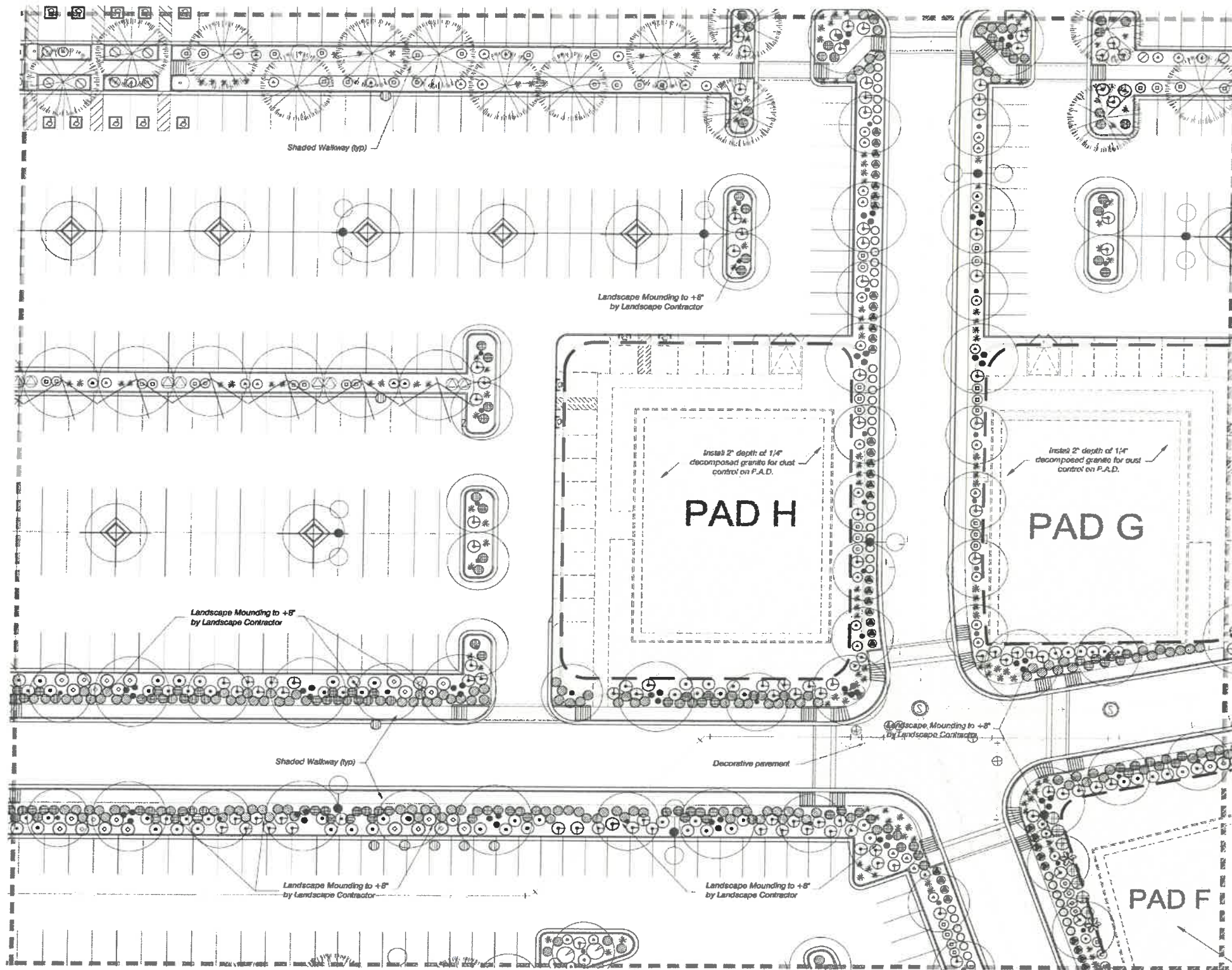
4" x 6" Concrete Header

TURF
Mid Iron Sod

GRANITE MATERIAL
Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.
Rip Rap - 3'-6" 'Express Brown' cobble to be used as erosion/ water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc. All Rip Rap to be Grouted in place.

INTERIOR ROAD INTERSECTION ENLARGEMENT





LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS

TREES	SIZE
Cercidium 'Hybrid' Desert Museum	36" Box
Desert Museum Palo Verde	Std
Ulmus parvifolia	36" Box
Evergreen Elm	
Quercus virginiana	24" Box u.o.n.
Live Oak	36" Box
Prosopis glandulosa	30" Box
Thornless Honey Mesquite	Std
Fraxinus velutina 'Rio Grande'	24" Box
Fan-Tex Ash	
Pinus eldarica	24" Box
Mondel Pine	
Bauhinia lunarioides 'White'	36" Box
Anacacho Orchid tree	
Caesalpinia mexicana	24" Box
Mexican Bird of Paradise	
Olea Europaea 'Swan Hill'	48" Box Multi u.o.n.
Swan Hill Olive	24" Box Multi
Vibex agnus-castus	36" Box
Chaste Tree	
SHRUBS & VINES	SIZE
Agave species	5 Gallon
Agave	
Yucca species	5 Gallon
Yucca	
Hesperaloe species	5 Gallon
Red Yucca	
Dasyliion wheeleri	5 Gallon
Desert Spoon	
Dasyliion longicastrum	5 Gallon
Mexican Grass Tree	
Buddleja maritima	5 Gallon
Butterfly Bush	
Bougainvillea San Diego	5 Gallon
Red Bush Bougainvillea	
Rosa banksia	5 Gallon
Lady Banks Rose	
Callitriche californica	5 Gallon
Baja Fairy Duster	
Cassia nemophila	5 Gallon
Green Cassia	
Cassia phyllodinea	5 Gallon
Silver Leaf Cassia	
Leucophyllum species	5 Gallon
Texas Sage	
Eremophila 'Valentine'	5 Gallon
Valentine Bush	
Muhlenbergia Capillaris 'yoga'	5 Gallon
Regal Mist Grass	
Nerium Oleander 'petite pink'	5 Gallon
Dwarf Pink Oleander	
Simmondsia chinensis	5 Gallon
Jojoba	
Tecoma stans 'Orange Jubilee'	5 Gallon
Orange Jubilee	
Myrtus communis 'compacta'	5 Gallon
Compact Myrtle	
Ruellia brittoniana	5 Gallon
Ruellia	
Dodonaea viscosa 'Purpurea'	5 Gallon
Purple Hop Bush	
Encellea farinosa	5 Gallon
Brittlebush	
Caesalpinia pulcherrima	5 Gallon
Red Bird of Paradise	
Zephyranthus candida	5 Gallon
Rain Lily	
GROUNDCOVER	SIZE
Lantana montevidensis	1 Gallon
Purple / Gold Lantana	50 / 50 Mix
Ruellia brittoniana 'Katie'	1 Gallon
Katie Ruellia	
Rosmarinus officinalis 'prostratum'	1 Gallon
Prostrate Rosemary	
Wedelia trilobata	1 Gallon
Yellow Dot	
4" x 6" Concrete Header	
TURF	
Mild Iron Sod	
GRANITE MATERIAL	
Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.	
Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc. All rip Rap to be Grouted in place.	

LANDSCAPE PLAN

Scale: 1" = 20'

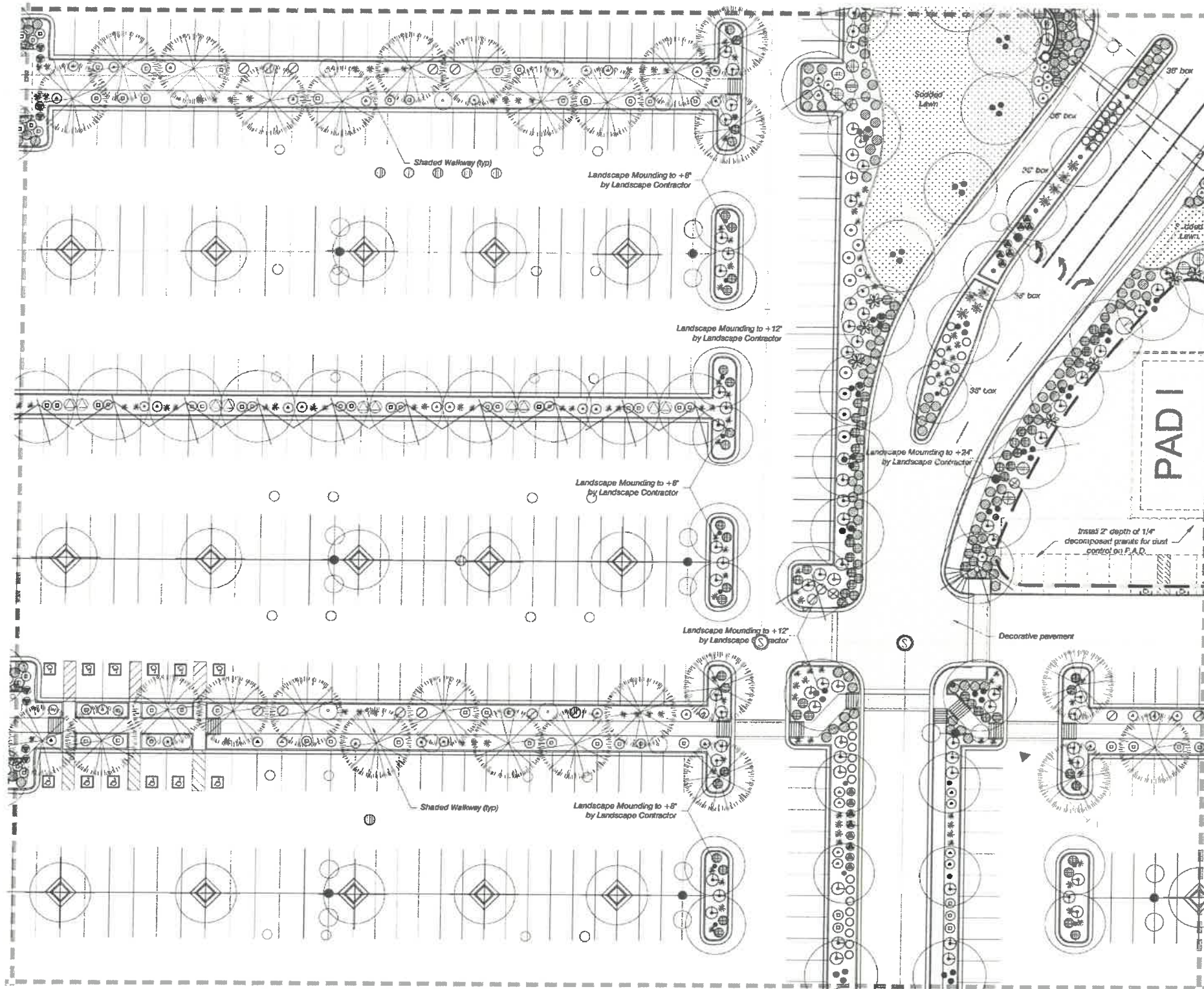


INTERIOR ROAD INTERSECTION ENLARGEMENT



DFD CornoyerHedrick

architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design



LANDSCAPE LEGEND

ALL TREES TO MEET OR EXCEED A.N.A. SPECIFICATIONS

TREES	SIZE
Cercidium 'Hybrid' Desert Museum	36" Box
Desert Museum Palo Verde	Std
Ulmus parvifolia	36" Box
Evergreen Elm	
Quercus virginiana	24" Box u.o.n.
Live Oak	36" Box
Prosopis glandulosa	36" Box
Thornless Honey Mesquite	Std
Fraxinus velutina 'Rio Grande'	24" Box
Fan-TeX Ash	
Pinus edulis	24" Box
Mondel Pine	
Bauhinia lunarioides 'White'	36" Box
Anacacho Orchid tree	
Caesalpinia mexicana	24" Box
Mexican Bird of Paradise	
Olea Europaea 'Swan Hill'	48" Box Multi u.o.n.
Swan Hill Olive	24" Box Multi
Vitex agnus-castus	36" Box
Chaste Tree	

SHRUBS & VINES

SHRUBS & VINES	SIZE
Agave species	5 Gallon
Agave	
Yucca species	5 Gallon
Yucca	
Hesperaloe species	5 Gallon
Red Yucca	5 Gallon
Dasylirion wheeleri	5 Gallon
Desert Spoon	
Dasylirion longistatum	5 Gallon
Mexican Grass Tree	
Buddleia mammbitola	5 Gallon
Butterfly Bush	
Bougainvillea San Diego	5 Gallon
Red Bush Bougainvillea	
Rosa banksia	5 Gallon
Lady Banks Rose	
Calliandra californica	5 Gallon
Beja Fairy Duster	
Cassia nemophila	5 Gallon
Green Cassia	
Cassia phyllodea	5 Gallon
Silver Leaf Cassia	
Leucophyllum species	5 Gallon
Texas Sage	
Eremophila 'Valentine'	5 Gallon
Valentine Bush	
Muhlenbergia capillaris 'regal'	5 Gallon
Regal Mist Grass	
Nerium Oleander 'petite pink'	6 Gallon
Desert Pink, Oleander	
Simmondsia chinensis	5 Gallon
Jojoba	
Tecoma stana 'Orange Jubilee'	5 Gallon
Orange Jubilee	
Myrtus communis 'compacta'	5 Gallon
Compact Myrtle	
Ruellia brittoniana	5 Gallon
Ruellia	
Dodonaea viscosa 'Purpurea'	5 Gallon
Purple Hop Bush	
Encelia farinosa	5 Gallon
Brittlebush	
Caesalpinia pulcherrima	5 Gallon
Red Bird of Paradise	
Zephyranthes candida	5 Gallon
Rain Lily	

GROUND COVER

GROUND COVER	SIZE
Lantana montevidensis	1 Gallon
Purple / Gold Lantana	50 / 50 Mix
Ruellia brittoniana 'Katie'	1 Gallon
Katie Ruellia	
Rosmarinus officinalis 'prostratum'	1 Gallon
Prostrate Rosemary	
Wedelia trilobata	1 Gallon
Yellow Dot	

4" x 6" Concrete Header

TURF

Mid Iron Sod

GRANITE MATERIAL

Decomposed Granite - 2" Depth, 3/4" select 'Express Brown' placed in all planting areas.

Rip Rap - 3"-6" 'Express Brown' cobble to be used as erosion/ water control device. Locate in bottoms of retention basins, curb cuts, down spouts, etc. All rip Rap to be Grouted in place.

INTERIOR ROAD INTERSECTION ENLARGEMENT

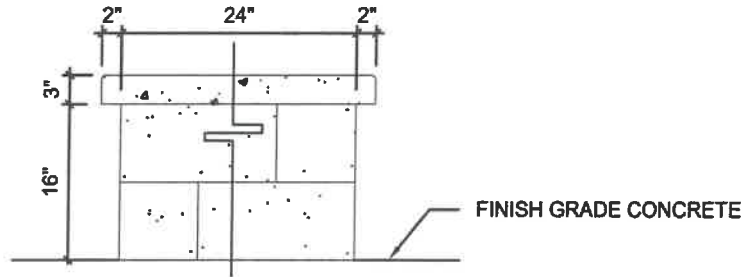
LANDSCAPE PLAN

Scale: 1" = 20'

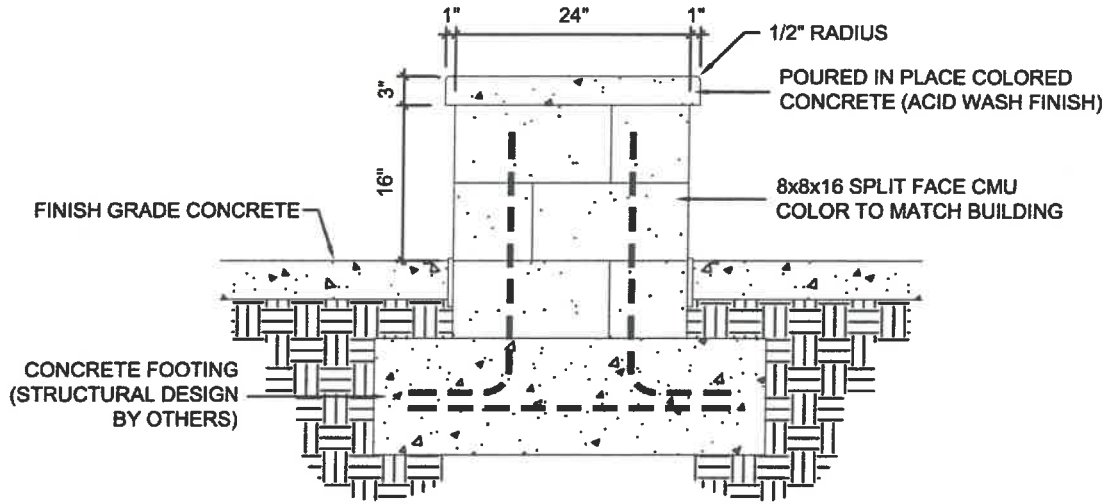


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architecture
interior architecture
space planning
facilities management
land planning
landscape architecture
graphic design

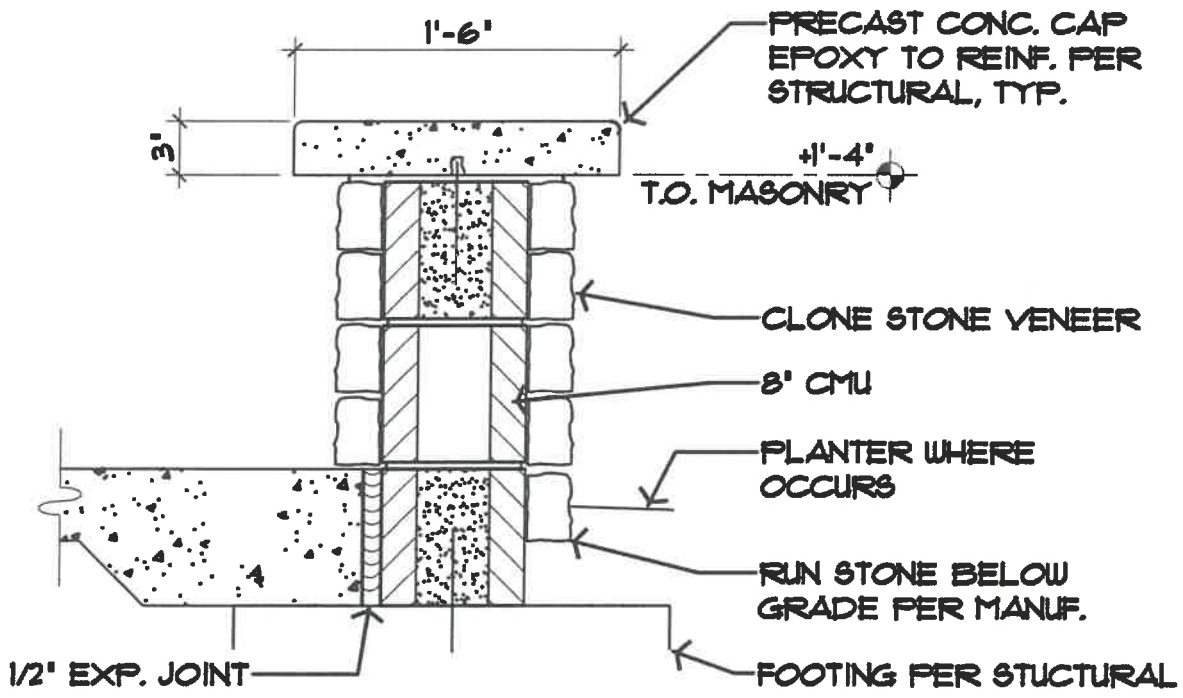


ELEVATION



SECTION

2' SEATING CUBE DETAIL

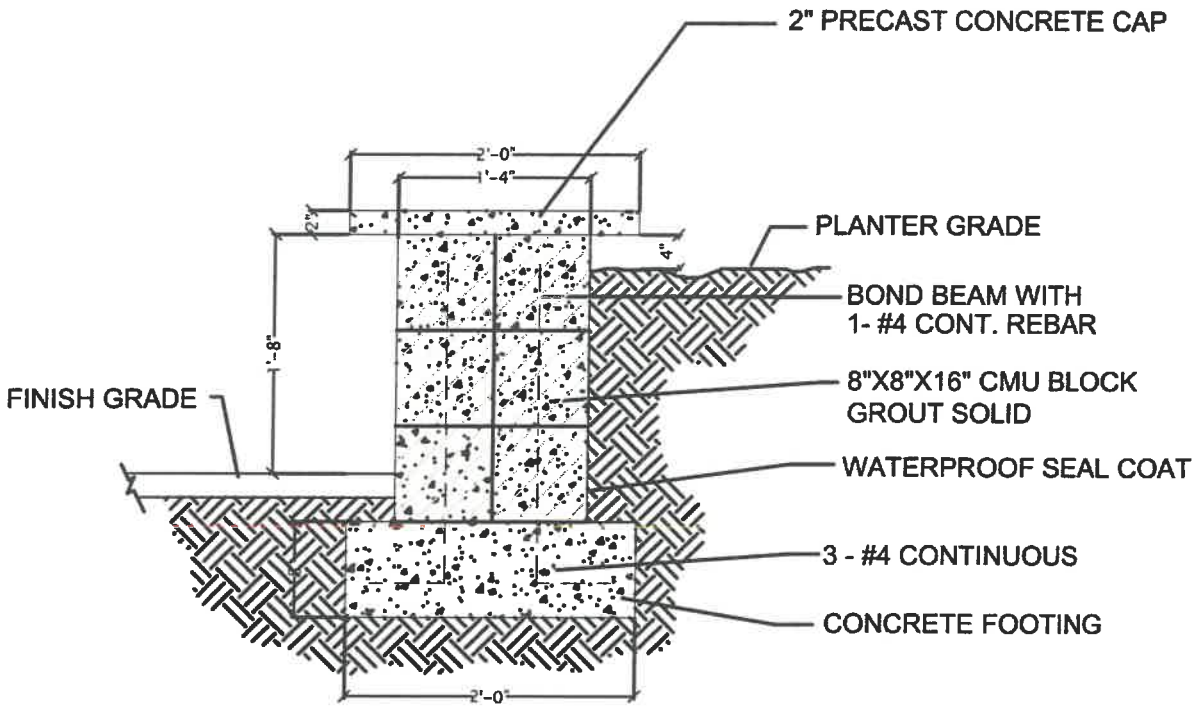


SEATING WALL SECTION

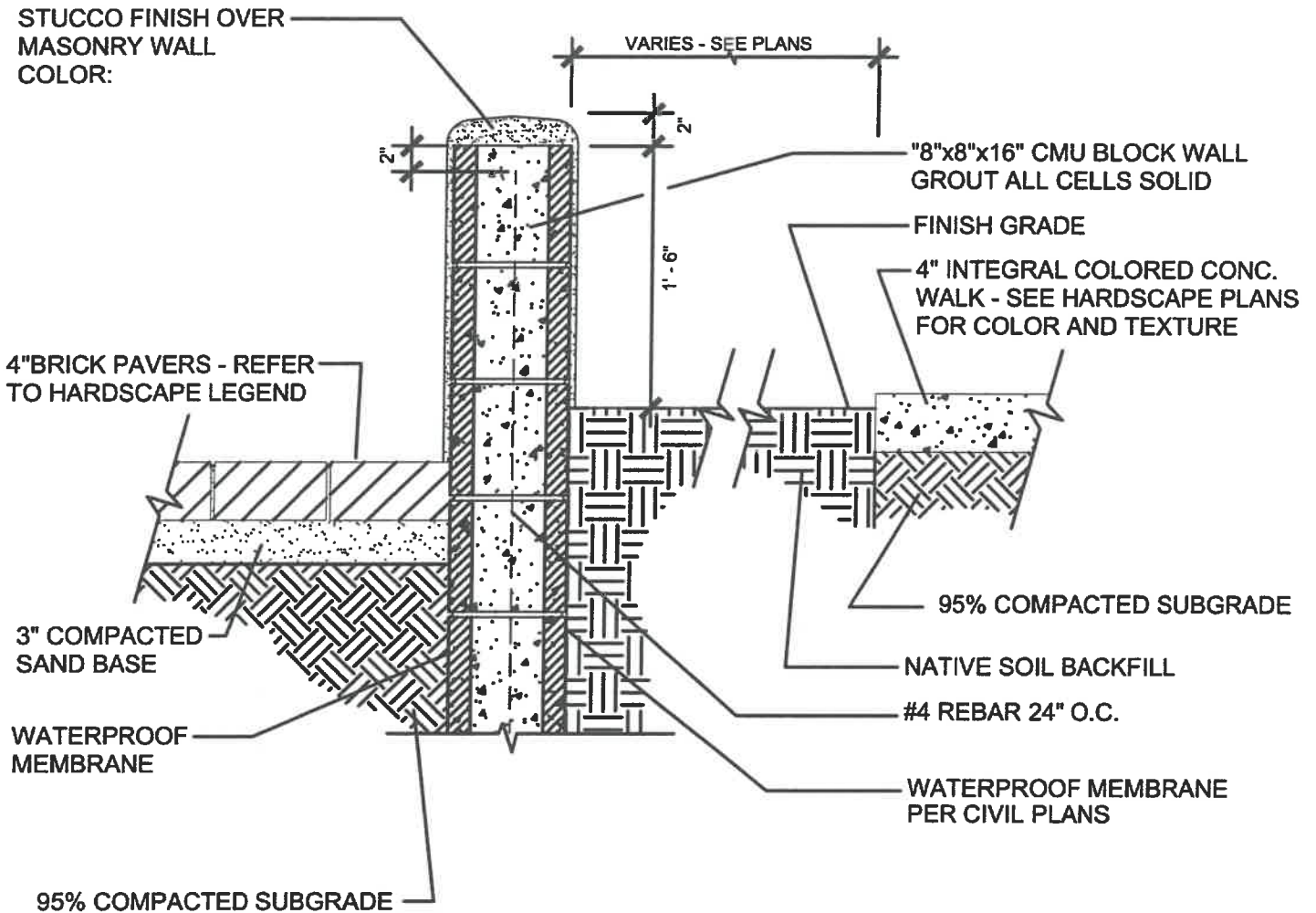


QUEEN CREEK
MARKETPLACE

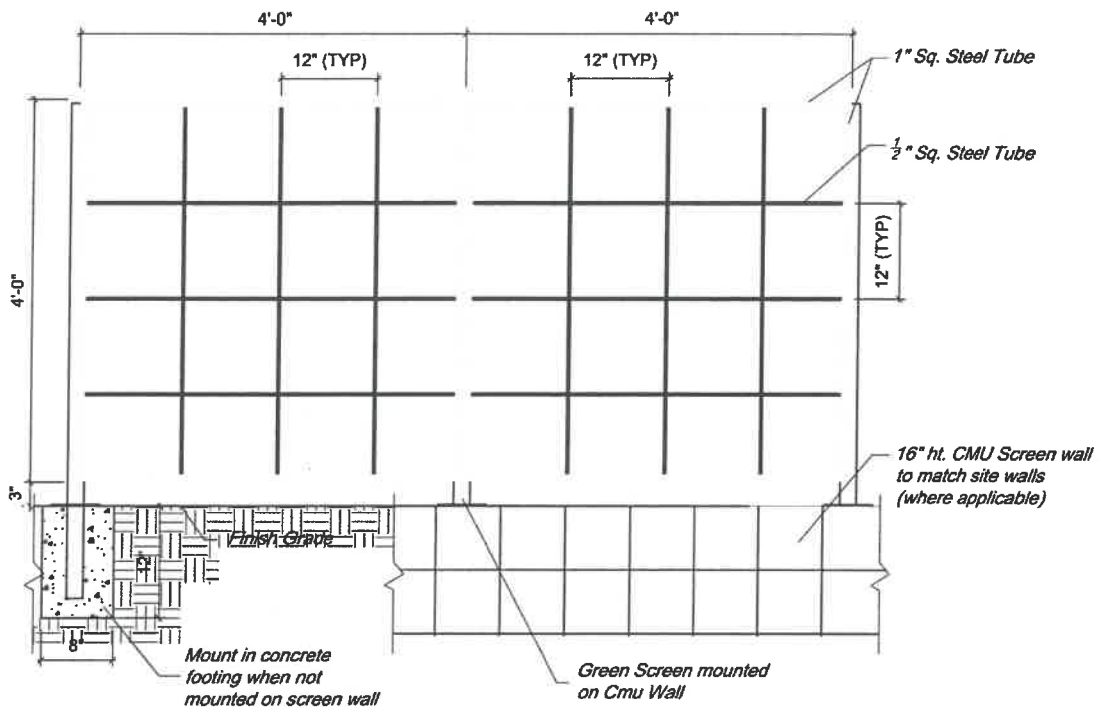
DFB Comajedrick
 ARCHITECTURE
 INTERIOR ARCHITECTURE
 SPACE PLANNING
 FACILITIES MANAGEMENT
 TRADE DRAWING
 LANDSCAPE ARCHITECTURE
 GRAPHIC DESIGN



RAISED PLANTER/SEAT WALL

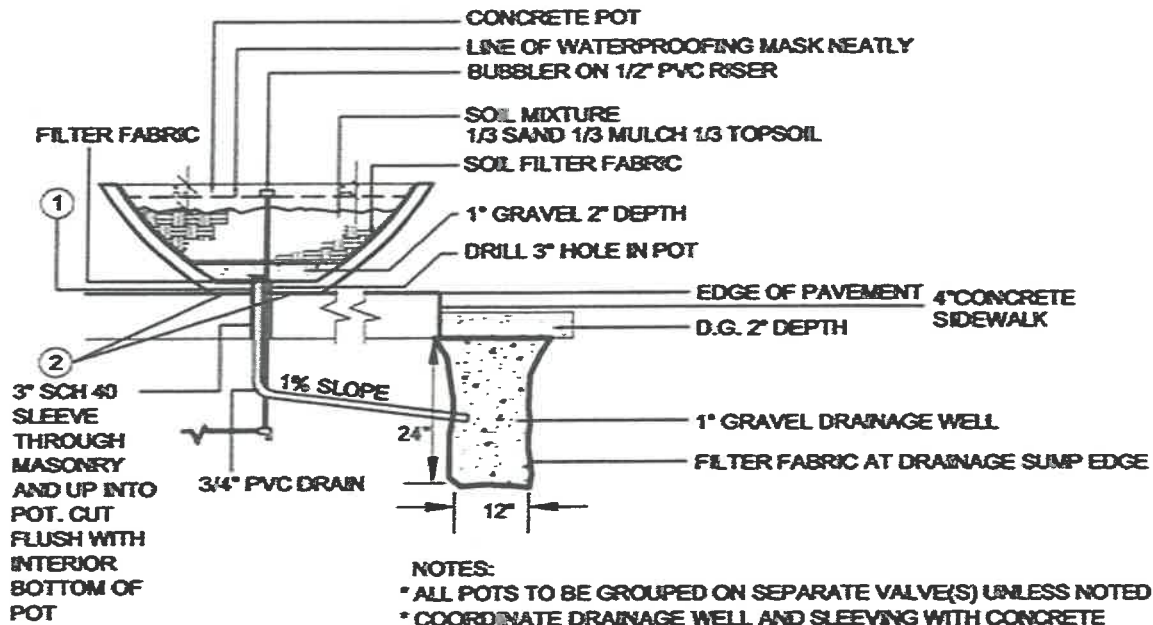


SCREEN WALL SECTION



GREEN SCREEN WALL





NOTES:

- * ALL POTS TO BE GROUPED ON SEPARATE VALVE(S) UNLESS NOTED
- * COORDINATE DRAINAGE WELL AND SLEEVING WITH CONCRETE CONTRACTOR
- * LOCATE POTS ACCORDING TO LAYOUT ON PLAN
- * SHIM POTS LEVEL AS NEEDED
- * WATERPROOF INSIDE OF POT
- * CRACKED OR CHIPPED POTS ARE NOT ACCEPTABLE
- * WATERPROOFING TO BE PACIFIC POLYMERS ELASTO-DECK BT OR OTHER EQUIVALENT ELASTOMETRIC MATERIAL. CEMENTITIOUS WATERPROOFING IS NOT ACCEPTABLE.
- * EXTEND PIPE 1/4" INSIDE THE POT

- ① Seal between pot and piping prior to waterproofing application, then thoroughly apply waterproofing around pipes to provide primary seal.
- ② Set pot in urethane sealant/caulk (complete ring round piping to provide a secondary seal)

PLANTER POT PLANTING DETAIL

A. INTRODUCTION

The intent of this section is to provide the Lessee's contractors and vendors with construction specific information regarding the regulations governing construction activities, which will be enforced by the general contractor on behalf of Vestar Development Company.

It is the responsibility of the pad contractor to communicate all information contained herein and in other documents and agreements by which he is bound to all employees, suppliers and any others providing services through the general contractor. In no case will an entity's lack of knowledge of any regulations contained herein or in any other document constitute reasonable grounds for failure to comply.

These rules will be strictly enforced and failure to comply can result in work delay and/or work stoppage. As its Representative, Site Contractor is responsible for all site construction activities. Vestar Development Company has granted Haydon Building Corp. the authority to stop pad contractor from continuing work for any reason it deems to be in the best interest of the project. Good communication and willingness to cooperate can alleviate, if not eliminate, many problems.

The general contractor reserves the right to alter, amend or augment this manual and any part herein, at any time as necessitated by project conditions.

Should you have any questions in reference to the subjects discussed in this manual, please do not hesitate to contact the following:

Haydon Building Corp. - Site & Vertical Development

Project Manager:	Don Kuhns	Cell: (602) 290-7276
Site Superintendent:	Matt Greer	Cell: (602) 695-0738

Vestar Development Co.

(602) 866-0900

(602) 955-2298 FAX

Construction Manager:

Tenant Coordinator:

Marc Grayson Cell: (602) 385-2736

Nick Roe Cell: (602) 763-7637

DFD CornoverHedrick

(602) 381-4848

(602) 381-4829

On Site Construction Administrator

Tod Miller

Cell: (602)319-7913

RULES AND REGULATIONS

1. PRE-CONSTRUCTION MEETING:

Prior to commencement of construction, the pad contractor is required to meet with the general contractor Site Superintendent to review project policies and procedures, and to establish a staging area agreement. The following documents must be furnished prior to mobilizing on-site:

- a) Submit a Certificate of Insurance to Vestar Development Company with a copy to general contractor naming the following entities as additionally insured:
 - i) Vestar Arizona XXX, LLC
 - ii) Bank of America, NA
 - iii) Haydon Building Corp.
 - iv) I.D.I.
- b) Provide a 24-hour contact list, which should include all Subcontractors onsite.
- c) Provide a copy of pad contractors State of Arizona general contractors license.
- d) Provide an 8 x 11 Staging Area Plan approved by general contractor as indicated by a general contractor representative signature on said plan.

Construction may not commence without the pad contractor having an executed letter of intent or construction contract with Vestar Development Company.

2. COORDINATION AND COOPERATION:

The pad contractor shall not interfere or impede site or surrounding building work. In the event pad contractor willfully violates requirements of these Rules and Regulations, general contractor may order the pad contractor to remove its equipment and its employees from the Project Site.

3. JOB CONDUCT GUIDELINES:

Workers shall be confined to approved staging areas and are required to maintain good discipline. Violation of the Job Conduct Guidelines or violation of Basic Safety Rules and Regulations as required by O.S.H.A. and entitles general contractor to cause violating individual and/or pad contractor to being removed from the site. Any injury or accident must be immediately reported, in writing, to general contractor's Project Manager or Site Superintendent.

- a) Head Protection:
Hard hats must be worn at all times. NO EXCEPTIONS.
- b) First Aid:
Every pad contractor is expected to provide adequate first aid and safety kits to care for any injury of their employees.
- c) Fire Control:
No open fires, fire barrels or hot boxes.
Fire extinguishers are required in:
- d) Foot Protection:
Work boots are required. Loafers, tennis shoes, or soft soled shoes are not allowed.
- e) Ladders:

No metal ladders are allowed on site. Damaged ladders must be immediately removed from this project.

f) Scaffolding:

Full handrails, mid-rails, toeboards, full decking are required on all scaffolding regardless of height. Access ladders must either be built in or attached.

g) Work Clothing:

All shirts must have a minimum of four (4)-inch sleeve length over shoulders and must be worn at all times. No shorts, cut-offs, tank tops, etc.

h) Electrical:

GFI protection is required on all electrical systems.

I) Signage:

Signage must be posted for public safety and/or general warning.

All marketing signage must be submitted to Vestar Development Company for approval. Send all requests in writing to TENANT COORDINATOR, Vestar Development Company, 2425 E. Camelback Road, Suite 750, Phoenix, Arizona 85016

J) Miscellaneous:

- Trailer/office minimum 10 lb. ABC
- Equipment minimum 5 lb. ABC
- Fire Watch minimum 20 lb. ABC
- Extinguishers must be on lifts and scaffold, not on the floor.
- Combustible materials storage is not permitted on site.
- Construction trash may not accumulate. The grounds and parking area are to be kept clean at all times.

***Under NO circumstances will penetrations to the EFIS be permitted! EFIS, once damaged, is impossible to patch precisely due to on site color mixing. Thus, any penetrations done to the EFIS will result in serious consequences to the Tenant as well as a forever blemished storefront facade.**

Safety issues include, but are not limited to, the above guidelines.

4. PAD CONTRACTORS OFFICES AND BUILDINGS:

Arrangements for the location of the pad contractor's staging area, project office trailer, sheds, roll-off dumpster, waste containers, portable toilets, etc. shall be made with the Site Superintendent during your pre-construction meeting. All staging areas must be secured with 6 high chain-link fencing. NO EXCEPTIONS! You may be asked to relocate your field operations during the course of construction. This relocation must be completed within ten (10) days of notification by general contractor All costs associated with a move are the pad contractor's responsibility.

5. PROJECT WORK HOURS:

This site is accessible from 5:00am to 5:00pm seven (7) days per week. Any variations to these hours will be posted by general contractor. Special consideration will be given for off-hour access on an individual, as needed, basis.

6. JOB SITE STORAGE:

It will be determined during your pre-construction meeting with the Project Manager or Site Superintendent if a staging area for materials, tools and equipment is available on site. Job site storage is limited and it may be necessary to arrange for off site storage. If a site location is available, it will be on a temporary basis only. You may be asked to relocate to accommodate base building and/or site work.

Any damage or losses resulting from storage of materials, tools and equipment shall be remedied at the cost of the pad contractor. The pad contractor is responsible for erection, dismantling, maintenance, utilities, fencing, telephone, security, etc. that it deems necessary in setting up its offices, sheds and storage areas.

Materials and Equipment temporarily stored at the Premises shall be located so as not to interfere with the work of any other pad contractor or general contractor's subcontractors. Storage areas are to be maintained in a clean, orderly manner and to general contractor's satisfaction.

7. DRINKING WATER:

Each pad contractor is to provide ice and portable water at the job site for use by pad contractor's field workmen.

8. TEMPORARY TELEPHONE:

Each pad contractor is responsible for providing a required telephone service for performing the work under his or her respective contract.

9. TEMPORARY POWER AND LIGHTING:

Each pad contractor is responsible for providing temporary power as required for its job completion. The Site Superintendent will advise of availability and location.

10. MISCELLANEOUS TEMPORARY FACILITIES:

Each pad contractor, at his own expense, shall provide any other temporary facilities and/or requirements the trade contractors believe to be required by his work.

11. TRAFFIC CONTROL:

The pad contractor is responsible for any traffic control and barricades necessary to perform their work. The project speed limit is 10 mph.

12. ACCESS AND MATERIAL DELIVERY:

An access route to your space will be through a site gate location to be selected by general contractor. All construction personnel and deliveries are required to use this entry. It is the

responsibility of the pad contractor to ensure that all personnel and vendors making deliveries to the job site are aware of the job site location and access route. general contractor will not direct or accept your deliveries. You will be notified should project conditions necessitate an access route change.

Deliveries to the site shall be controlled so that materials are not stored for excessive periods before erection and incorporation into the structure or structures.

13. PARKING:

Pad contractors and their employees are restricted to the staging areas designated by the Lease Exhibit (or in the absence of a Lease Exhibit, by general contractor) and are subject to change. Construction vehicles parked other than in designated areas may be subject to towing without prior notification. Towing and retrieving costs are at the vehicle owner's expense.

Parking in driveways, fire lanes and established loading zones is strictly prohibited. Delivery vehicles must be completely unloaded at curbside and then moved out. Unattended vehicles in loading zones will be tagged or towed at the vehicle owner's expense.

14. PROTECTION OF EXISTING UTILITIES:

The pad contractor is responsible for verifying the exact location of all existing utilities. The contractor shall protect utilities left in service including construction temporary power and telephone lines at all times. Any damage to utility lines caused by the pad contractor operations shall be reported promptly to the owning utility company. The utility company shall make repairs at the pad contractor's expense.

15. MISCELLANEOUS PROTECTION:

The pad contractors are responsible for protecting property, personnel and the work of other pad contractors in carrying out their work. The pad contractor is responsible for all cost of patching, repairs and replacement for work damaged by their work forces. The pad contractor shall take all reasonable precautions to protect their work from damage by other pad contractors including providing and maintaining protection and barricading of their work area. This includes, but is not limited to, any open trenches, pits and shafts, holes in floor or walls, and similar potentially hazardous areas. All pad contractors shall fence their respective work and staging area.

16. CLEAN-UP/TRASH:

Clean up shall include removal and legal disposal of all debris from the site. The pad contractor shall remove empty carton, crates and other combustible refuse from the premises daily. Dirt or rubbish is not allowed to accumulate so it becomes detrimental to employees or to the work of the various trades. If a dispute should arise between the pad contractors and separate contractors as to their responsibility for cleaning up the project site general contractor may clean up the site and charge the cost against the contract amount of the pad contractors responsible as general contractor determines to be just.

17. SECURITY:

The pad contractor is responsible for all temporary security or facilities the pad contractor believes is required.

18. HELICOPTER LIFTS:

Helicopter lifts should not be required on this project. If required, the following standards shall apply:

- a) Lifts must be coordinated with general contractor two (2) weeks in advance.
- b) Helicopter cranes shall be expected to comply with any applicable regulations of the Federal Aviation Administration, O.S.H.A. and local and state governing authorities.
- c) Helicopter lifts may not interfere with base building construction or site work and must occur after normal working hours. Weekend lifts are possible and Sunday is the day preferred by general contractor.