

Queen Creek Crossing

COMPREHENSIVE SIGN PLAN

Version 1.0 - April, 2022

Developed by:



Vestar

2415 E. CAMELBACK RD.
SUITE 100
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Signage Consultant:

bleier
INDUSTRIES

Distinctive Signage Solutions

Queen Creek Crossing

Freestanding Signage

Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
SIGN TYPE 1 Multi-Tenant Monument Sign	Monument	Multi tenant identification	Placed along Ellsworth Road	Two (2)	20'-4" to the Top of the Architectural Embellishment	168 SF Sign Area Exclusive of Architectural Embellishments	Internal LED Illumination	CMU Masonry Base, Textured Aluminum, Corrugated Aluminum and Acrylics

Ordinance Section 7.2.3.c.2.c

Such ground sign shall not exceed forty-eight (48) square feet in sign area, nor shall it exceed eight feet (8') in height above grade nor shall it extend or project over any street or alley line.

Proposed Standard:

Proposed ST-1 Multi-Tenant Monument sign will be approximately 168 SF in sign area exclusive of architectural embellishments. Sign height will be 20'-4" inclusive of architectural embellishments.

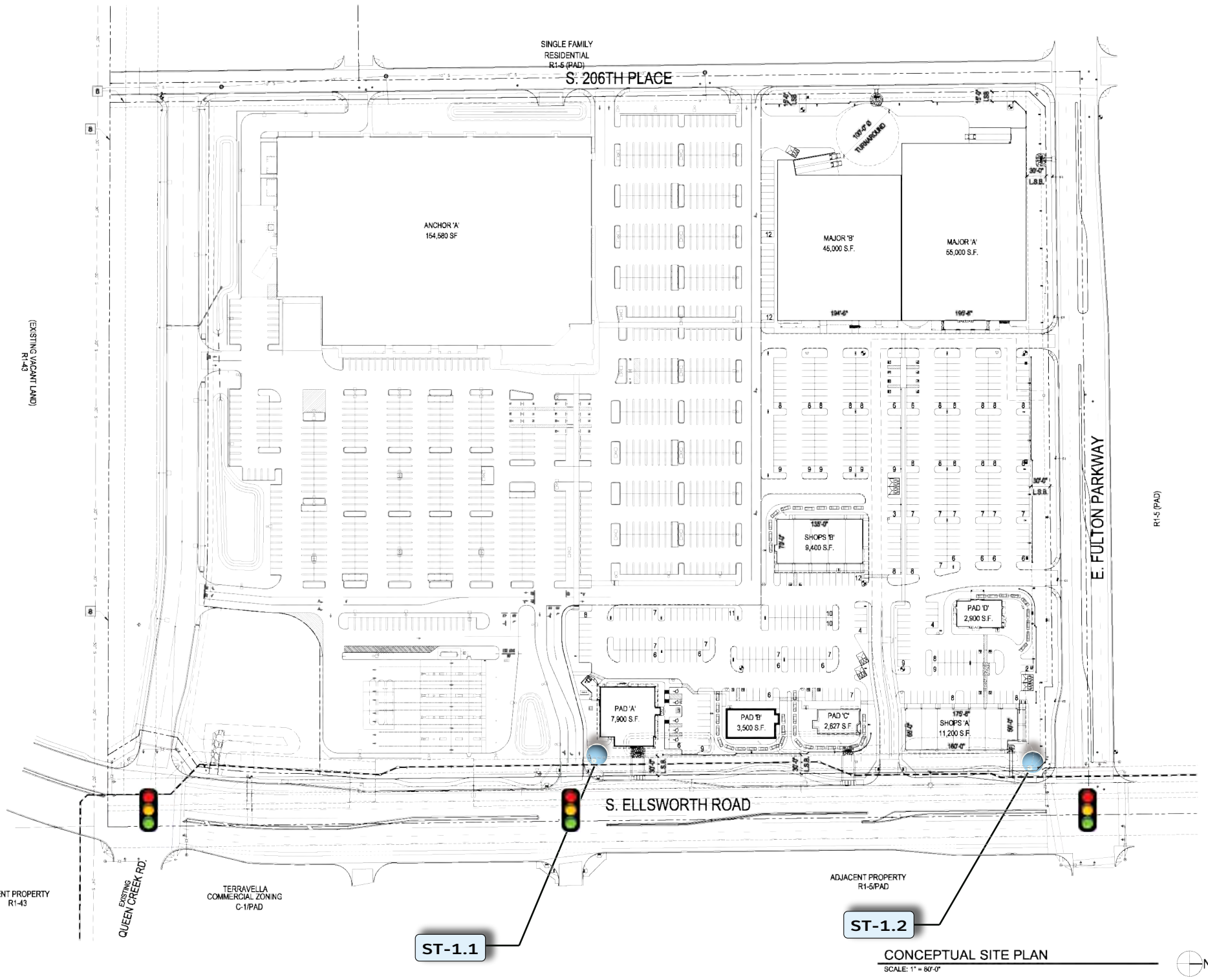
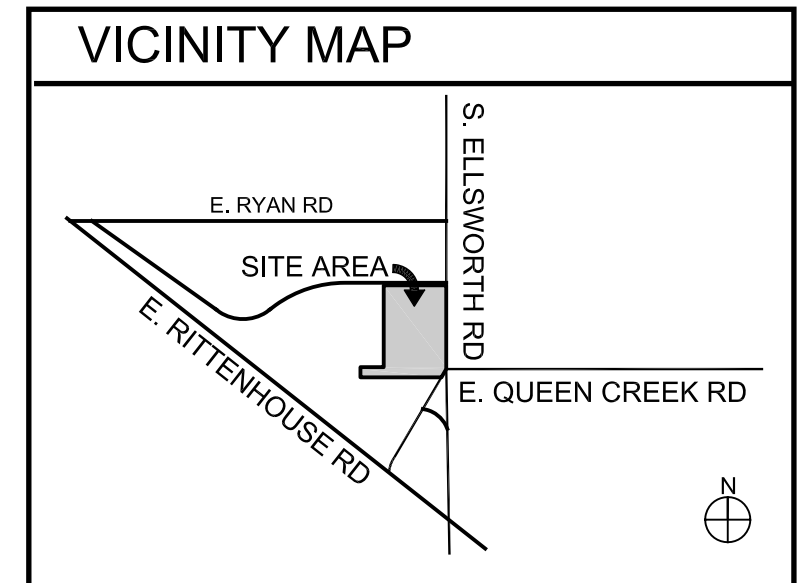
Justification:

Increased sign area and sign height is necessary to provide tenants with visual exposure in a competitive manner when compared to the nearby Queen Creek Marketplace, QC District, and Cornerstone developments. The signage is scaled to function along the primary arterial, Ellsworth Road. Additionally, signage is placed further back from the property line and roadway than typical due to the QCID easement running the full length of the property along Ellsworth Road.

LEGAL DESCRIPTION

PARCEL 7, OF MASTER PLAT OF FULTON HOMES @ QUEEN CREEK STATION, ACCORDING TO BOOK 1195 OF MAPS, PAGES 17, RECORDS OF MARICOPA COUNTY, ARIZONA. APN: 314-07-322

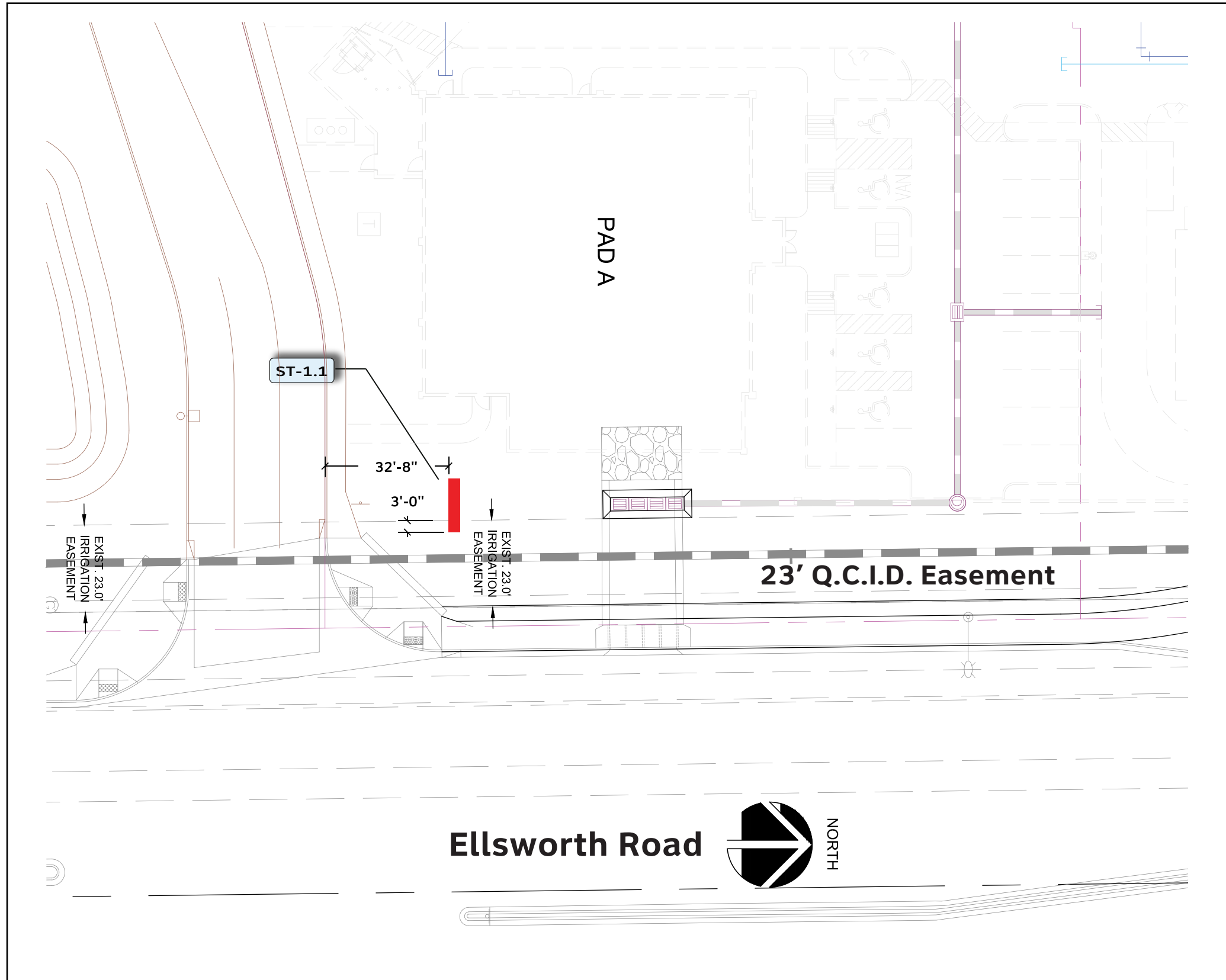
A LEGAL DESCRIPTION FOR THE ~5.7 AC WILL BE DEFINED BY AN IGA BETWEEN MCFC AND TOWN OF QUEEN CREEK AT A LATER DATE.

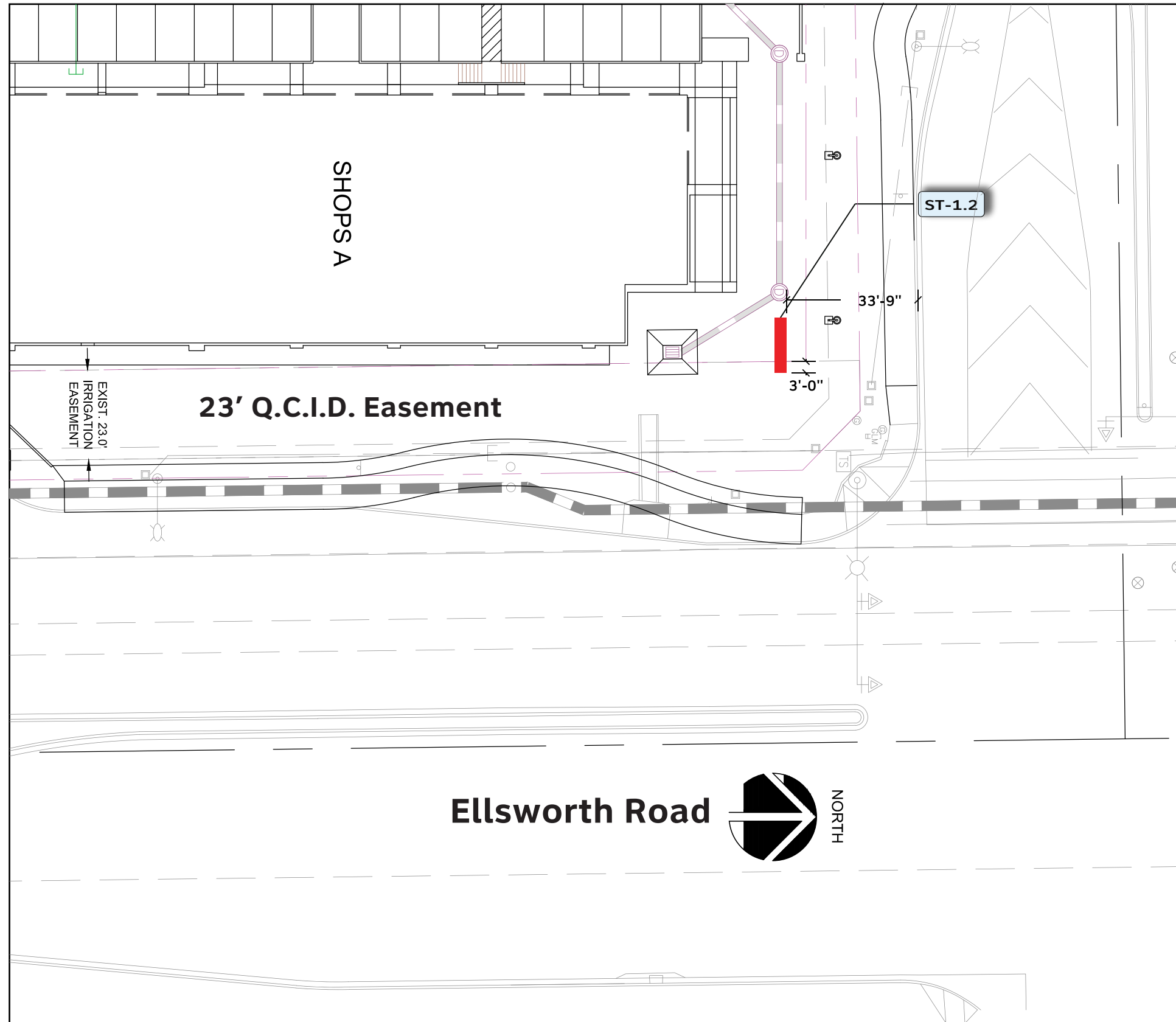


ST-1 MULTI-TENANT MONUMENT SIGN



7842 E. Gray Road, Suite 6
Scottsdale, Arizona 85260



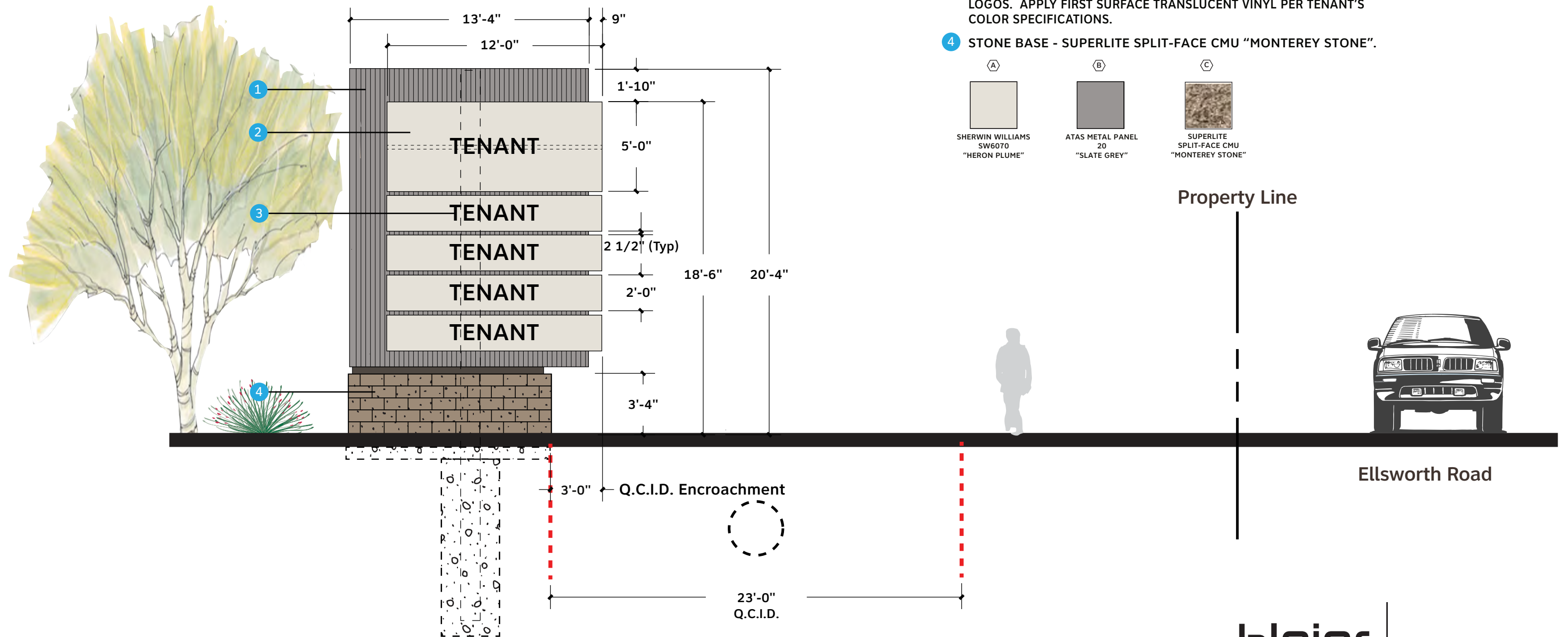
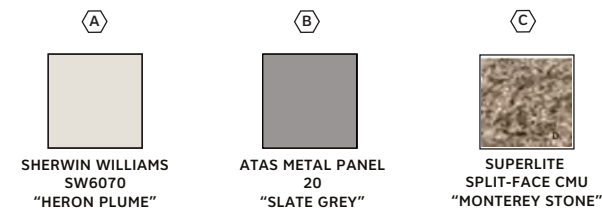


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ST-1.2 Enlarged Location Plan
Scale: 1" = 30'

SPECIFICATIONS:

- 1 ARCHITECTURAL EMBELLISHMENT WITH ATAS METAL PANEL "SLATE GREY"
- 2 INTERNALLY LED ILLUMINATED TENANT SIGN PANELS. BACKGROUNDS FABRICATED FROM .125 ALUMINUM. DRYVIT SANDPEBBLE FINE TEXTURE PAINTED SHERWIN WILLIAMS SW6070 "HERON PLUME".
- 3 TENANT COPY IS ROUTED FROM ALUMINUM BACKGROUND. WHITE BACKUP ACRYLIC WITH 1" CLEAR ACRYLIC "PUSH THRU" TEXT AND LOGOS. APPLY FIRST SURFACE TRANSLUCENT VINYL PER TENANT'S COLOR SPECIFICATIONS.
- 4 STONE BASE - SUPERLITE SPLIT-FACE CMU "MONTEREY STONE".



ST-1.1 Multi-Tenant Monument Sign

Scale: 3/16" = 1'-0"

Queen Creek Crossing

Building Signage

Building Sign Matrix (Retail and Freestanding Pad Uses)

S I G N	S I G N T Y P E	F U N C T I O N	L O C A T I O N	H E I G H T	S I Z E	I L L U M I N A T I O N	M A T E R I A L S
Anchor & Major Tenants	Wall Mounted Signs	Tenant Identification	All elevations that offer readability. Exception: No illuminated signage shall be placed on the west elevation facing 206th Place	Anchor A 8'-0" Maximum Letter Height Major Tenants 6'-0" Maximum Letter Height	1.50 SF / Linear Ft of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Tenants	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	36" Maximum Letter Height	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical) 50 SF Minimum (Typical) Per Building Elevation Upon Which Signage is Placed	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Freestanding Pad Single Use	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	48" Maximum Letter Height	1.50 SF / Linear Foot of Building Street Frontage or Elevation Upon Which Signage is Placed (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
All Tenants	Under Canopy Blade Sign (Optional)	Tenant Identification	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	6 SF Maximum	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Ordinance Section 7.2.3.c.1.a and b

Building front wall signage shall not exceed one and a half (1 1/2) square feet of sign area per lineal foot of building occupancy frontage; Side wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of side wall; b) Rear wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of rear wall.

Proposed Standard:

Proposed wall sign area is to be computed by multiplying one and one half (1 1/2 SF) square feet of sign area for each one (1) lineal foot of the building storefront and/or elevation occupied by the tenant. As a minimum allowance, Tenants occupying less than thirty three (33') feet of storefront and/or building elevation shall be permitted a minimum of fifty (50) square feet of sign area per elevation.

Ordinance Section 7.2.3.c.1.e

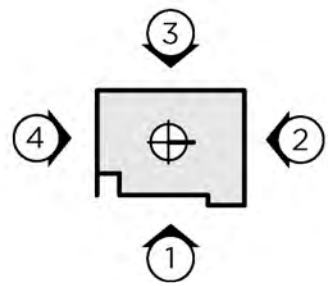
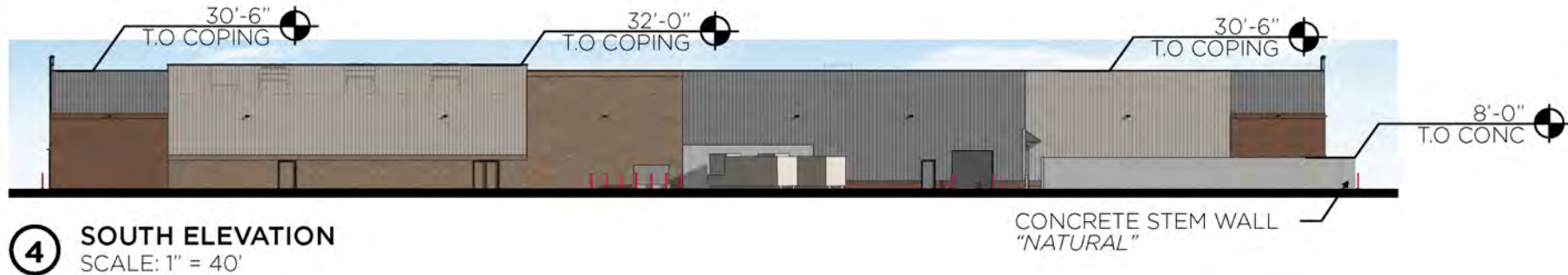
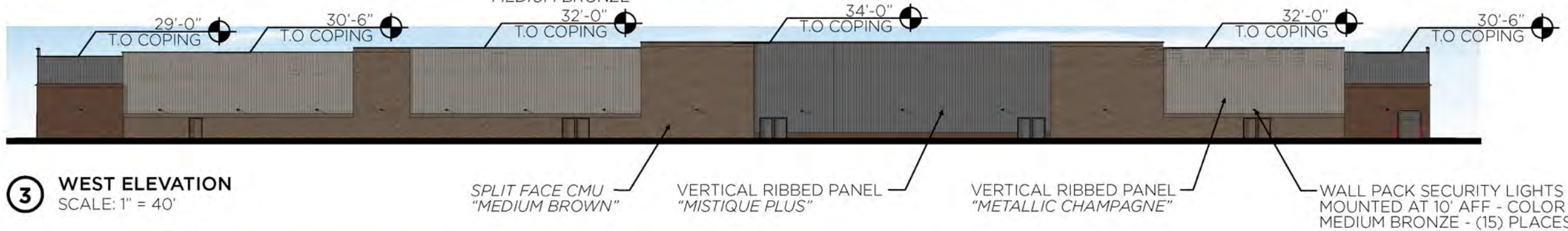
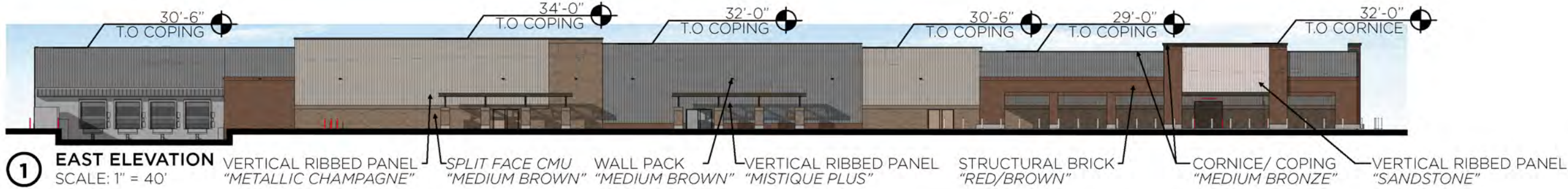
Total wall signage shall not exceed two hundred fifty (250) square feet.

Proposed Standard:

Wall signage for Anchor & Major tenants may exceed two hundred fifty (250) square feet.



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Scottsdale, Arizona 85260



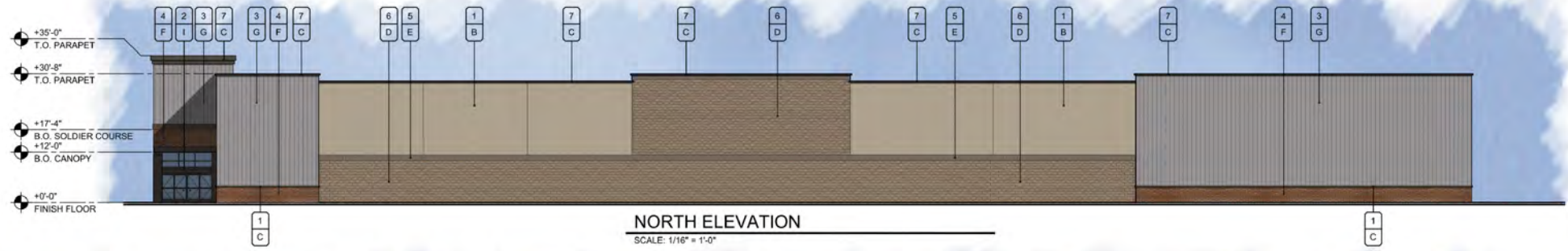
bleier
INDUSTRIES

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Scottsdale, Arizona 85260



EAST ELEVATION

SCALE: 1/16" = 1'-0"



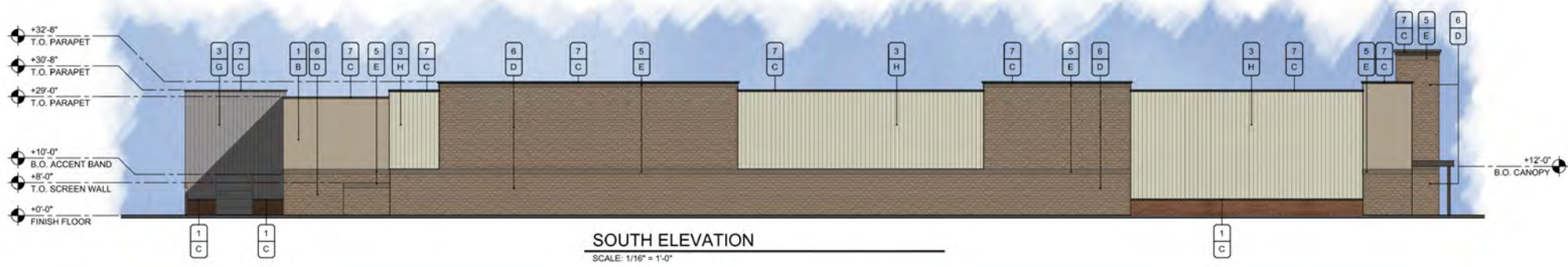
NORTH ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"



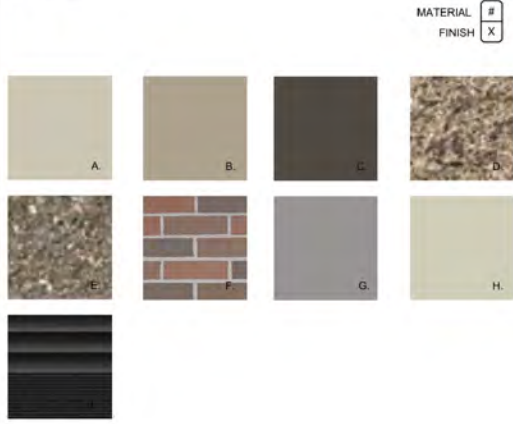
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

MATERIAL/COLOR SCHEDULE

- MATERIALS**
- INTEGRAL COLOR E.I.F.S. - FINE SAND TEXTURE
 - ANODIZED ALUMINUM STOREFRONT FRAME WITH 1" INSULATED LOW-E, CLEAR GLAZING
 - METAL PANELS
 - THIN BRICK VENEER
 - INTEGRAL COLOR CMU - ACCENT BAND-SOLDIER COURSE
 - INTEGRAL COLOR CMU - SPLIT-FACE
 - 22 GA PRE-FINISHED METAL CAP FLASHING
 - HOLLOW METAL DOOR AND FRAME - PAINTED
 - STEEL COLUMNS/BEAMS - PAINTED
 - STEEL AWNING AND TIE RODS - PAINTED
 - WALL SCANCES

- COLORS**
- | | |
|----------------------------------|----------------------------------|
| by Sherwin Williams (or Equal): | by Atlas (or Equal): |
| A. SW7036 "ACCESSIBLE BEIGE" | G. METAL PANEL "SLATE GREY (20)" |
| B. SW7507 "STONE LION" | H. METAL PANEL "CHAMPAGNE (31)" |
| C. SW7020 "BLACK FOX" | |
| by Superite (or Equal): | by Oldcastle (or Equal): |
| D. SPLIT-FACE "MONTEREY STONE" | I. DARK BRONZE STOREFRONT |
| E. SMOOTH FACE "HOPI SAND STONE" | |
| by Belden Brick (or Equal): | |
| F. No. 8601 | |

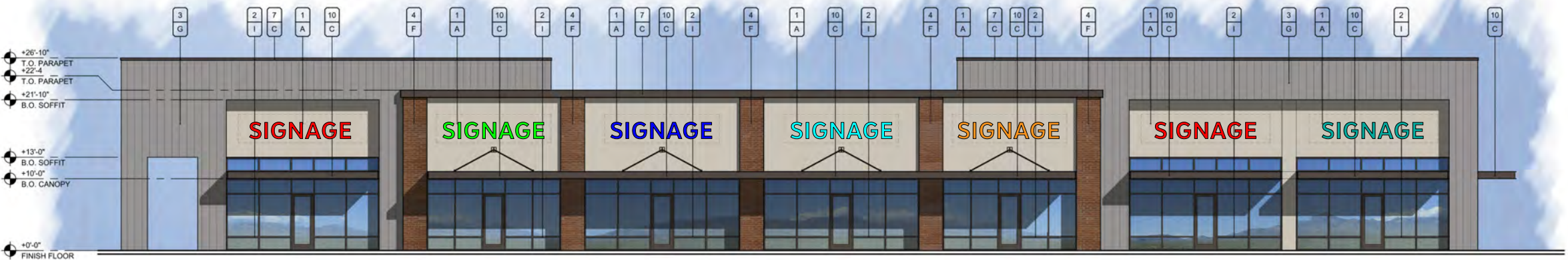


MATERIAL/COLOR SCHEDULE

- MATERIALS**
- INTEGRAL COLOR E.I.F.S. - FINE SAND TEXTURE
 - ANODIZED ALUMINUM STOREFRONT FRAME WITH 1" INSULATED LOW-E, CLEAR GLAZING
 - METAL PANELS
 - THIN BRICK VENEER
 - INTEGRAL COLOR CMU - ACCENT BAND-SOLDIER COURSE
 - INTEGRAL COLOR CMU - SPLIT-FACE
 - 22 GA PRE-FINISHED METAL CAP FLASHING
 - HOLLOW METAL DOOR AND FRAME - PAINTED
 - STEEL COLUMNS/BEAMS - PAINTED
 - STEEL AWNING AND TIE RODS - PAINTED
 - WALL SCANCES

- COLORS**
- by Sherwin Williams (or Equal):
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 B. SW7507 "STONE LION"
 C. SW7020 "BLACK FOX"
- by Atlas (or Equal):
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- by Superite (or Equal):
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 E. "SMOOTH FACE" HOPI SAND STONE"
- by Oldcastle (or Equal):
 I. DARK BRONZE STOREFRONT
- by Belden Brick (or Equal):
 F. No. 8601

MATERIAL	#	FINISH	X
	A		
	B		
	C		
	D		
	E		
	F		
	G		
	H		



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



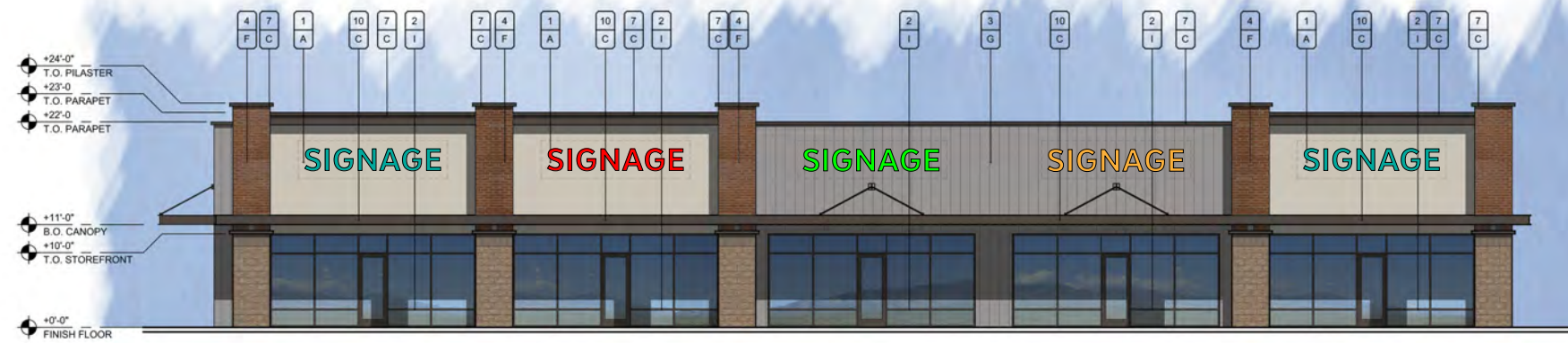
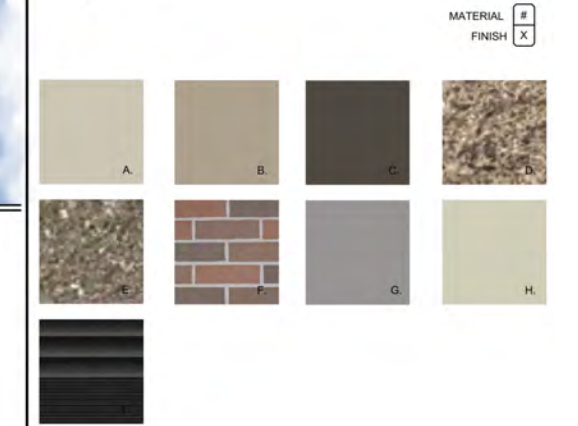
EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL/COLOR SCHEDULE

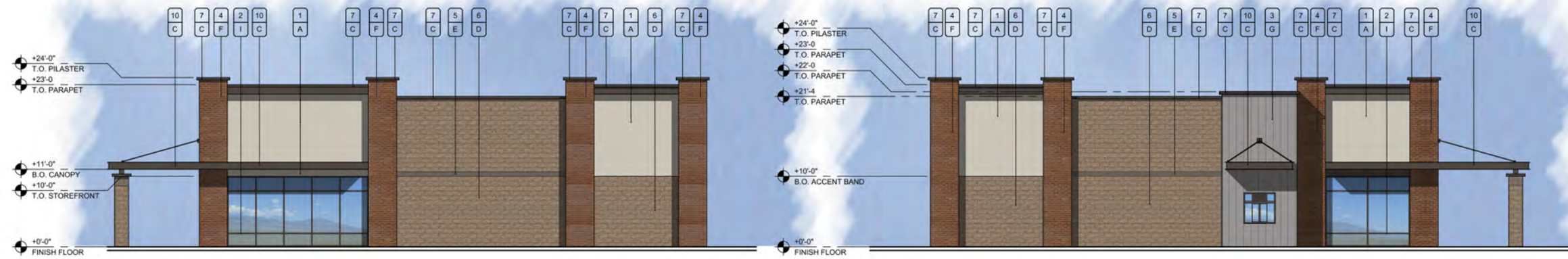
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 - METAL PANELS
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- F. No. 8601

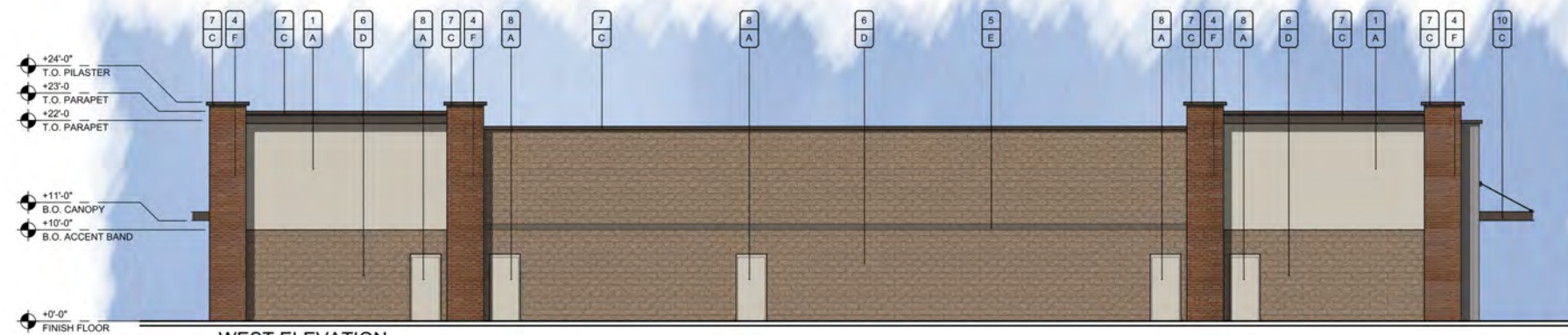


EAST ELEVATION
SCALE: 1/8" = 1'-0"

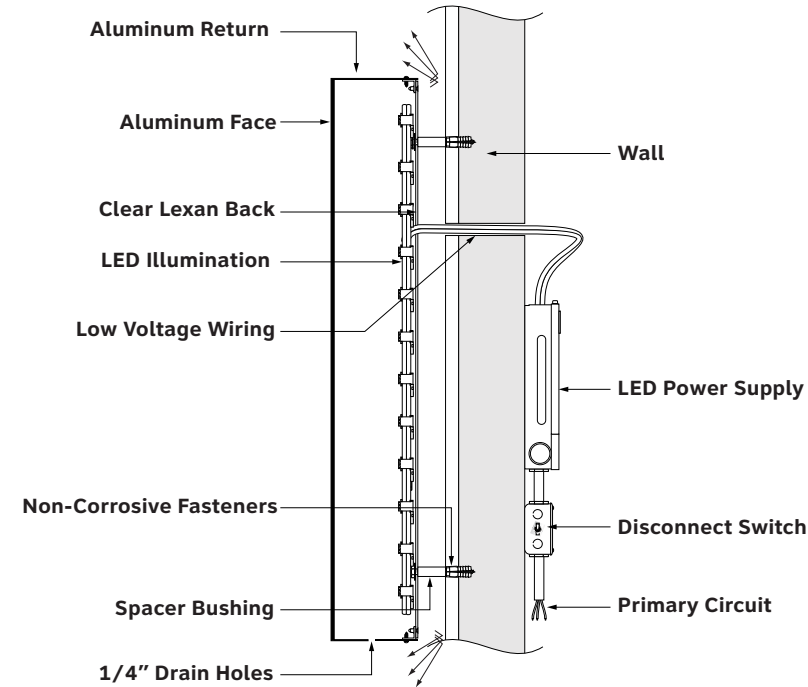


NORTH ELEVATION
SCALE: 1/8" = 1'-0"

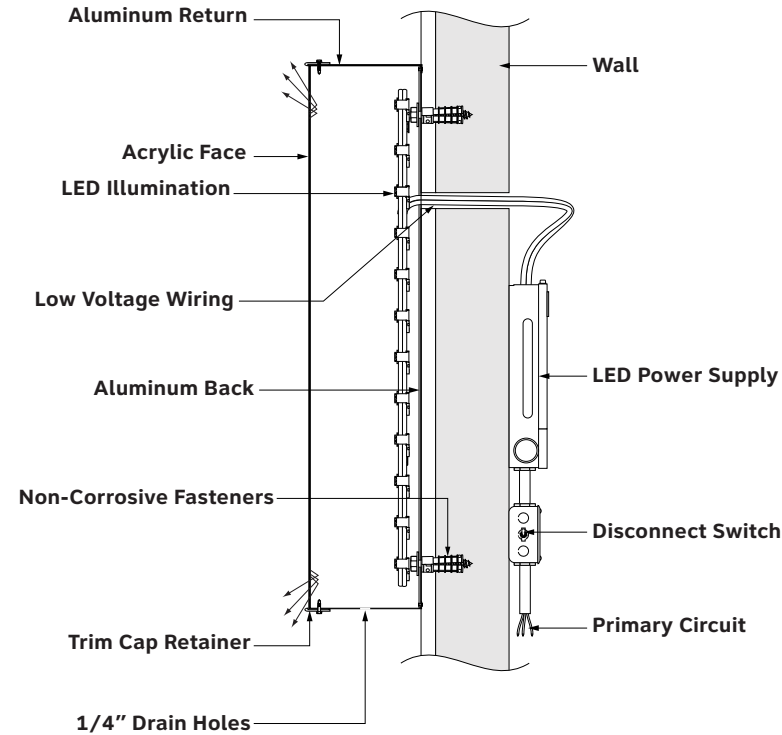
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



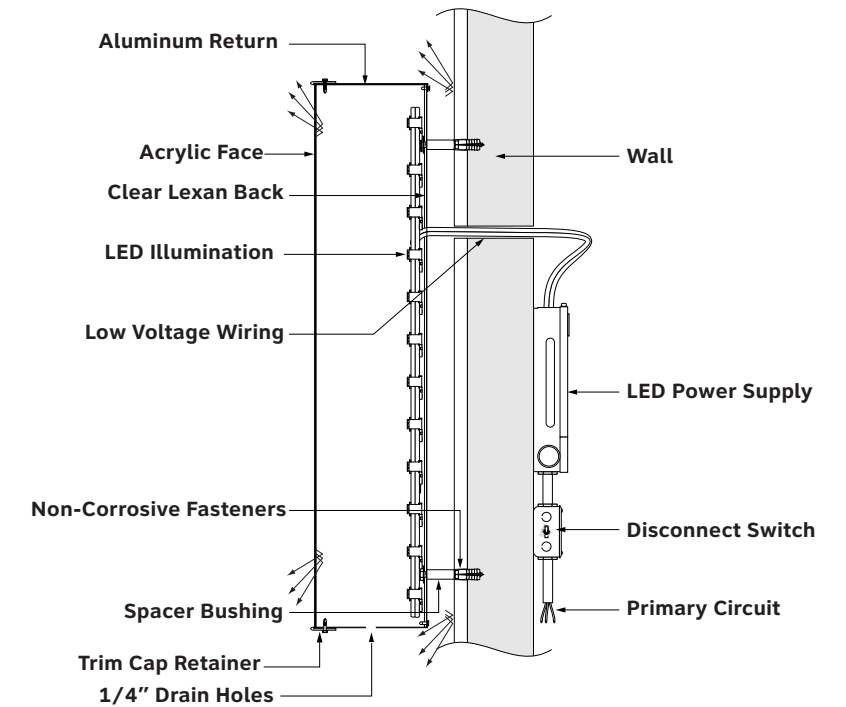
WEST ELEVATION
SCALE: 1/8" = 1'-0"



Typical Reverse Pan Channel Letter Section
Back-Lit "Halo" LED Illumination



Typical Pan Channel Letter Section
Face-Lit LED Illumination



Typical Pan Channel Letter Section
Face-Lit and Back-Lit "Halo" Combination LED Illumination

I. LETTER CONSTRUCTION

All letterforms and logos shall be fabricated using a minimum of .050 aluminum for returns and .063 aluminum for letterbacks. For reverse pan channel letter faces, a minimum of .090 aluminum shall be used. Clear polycarbonate shall be used as a backing for reverse pan channel letters and combination face-lit & back-lit type letters.

II. LETTER DEPTH

3" minimum. 8" maximum.

III. COLOR

All colors and combinations of colors are permissible.

IV. FINISH

All letterforms and logos shall be painted and sealed utilizing Matthews acrylic polyurethane paints, or equal. Letter interiors shall be caulked to ensure that there are no visible light leaks. Letter interiors shall be painted high reflective white.

V. ILLUMINATION

Illumination shall be provided by LED modules or neon tubing. Fabricator shall ensure that illumination provided is even throughout and without hot spots. Exposed neon illumination may be permitted at the sole discretion of the Developer or his designated agent.

VI. ELECTRICAL

All electrical power supplies and transformers shall be mounted remotely. Visible raceways are prohibited except where it is determined by the Planning Administrator of the Town of Queen Creek that it is not structurally feasible to install a sign without using an exposed raceway. Such situations will be reviewed on an individual case by case basis.

VII. UL AND NEC COMPLIANCE

All electrical sign components shall be fabricated and installed in accordance to UL 48 and shall be labeled accordingly. All installations shall be in accordance with the requirements of Article 600 of the National Electrical Code and the Town of Queen Creek codes. All signs shall include proper grounding and bonding of components.



Face-Lit and Back-Lit "Halo" Combination LED Illumination



Back-Lit "Halo" LED Illumination



Face-Lit LED Illumination

General Requirements – Tenant Building Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Queen Creek Crossing for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the development, regulations of the Town of Queen Creek Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval by the Town of Queen Creek as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved by the Town of Queen Creek, the latter shall prevail.

I. GENERAL REQUIREMENTS AND PERMIT PROCEDURE

- A. Tenant shall submit or cause to be submitted to Developer, for approval, prior to fabrication, electronic copies of detailed drawings drawn to scale illustrating the the exact location(s) of the proposed signage on the building elevation(s), the size, layout, design color, method of illumination, material specifications, and the method of attachment.
- B. Tenant or Tenant's representative shall obtain all required permits for signs and their installation from the Town of Queen Creek.
- C. All signs shall be constructed and installed at Tenant's sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the Town of Queen Creek.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals shall remain the sole and absolute discretion of the Developer and/or the Developer's Designated Representative.
- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign(s) require maintenance or repair, Developer shall give Tenant fourteen (14) days written notice to effect said maintenance or repair. Should Tenant fail to do the same, Developer may undertake repairs and Tenant shall reimburse Developer within ten (10) days from receipt of Developer's and/or Developer's Designated Representative invoice.
- G. Devices such as attraction boards, posters, banners and flags may be permitted. Tenant shall submit its request for approval first to the Developer who shall have sole and absolute

discretion in granting approval prior to Tenant obtaining all required sign permits from the Town of Queen Creek.

II. SPECIFICATIONS - TENANT SIGNS

- A. General Specifications
 - 1. Animated, flashing or audible signs, except for Town of Queen Creek approved menu type signs shall be not be permitted.
 - 2. All signs and their installation shall comply with all Town of Queen Creek building and electrical codes.
 - 3. Exposed raceways, crossovers or conduit are prohibited except where it is determined by the Planning Administrator of the Town of Queen Creek that it is not structurally feasible to install a sign without using a raceway. Such conditions will be reviewed on an individual case by case basis and must be approved by the Developer and/or the Developer's Designated Representative. Tenant signage shall consist primarily of individual letters and logos installed onto the building's wall surface(s). In certain locations, Tenant signage may consist of canopy mounted and projected mounted signage. Developer shall have the sole and separate discretion in varying any provision of these specifications subject to the additional approval by the Town of Queen Creek .
 - 4. All conductors, transformers and other equipment required to illuminate the Tenant's signage shall be concealed.
 - 5. Painted lettering shall not be permitted except as approved by the Developer and the Town of Queen Creek.
 - 6. Any damage to any wall surface, canopy, and/or roof deck resulting from Tenant's sign installation shall be repaired to its original condition at the Tenant's sole expense.
 - 7. Upon removal of any sign by a Tenant, the Tenant shall repair any damage to the wall surface, canopy, and/or roof deck to its original condition at the sole expense of the Tenant.
- B. Placement of Signs
 - 1. All Tenant signage shall be installed in accordance to the approved Comprehensive Sign Plan in location(s) designated by the Developer based upon the individual building's unique design.

III. TENANT SIGNAGE - DESIGN REQUIREMENTS

Tenant signage shall primarily consist of Individual illuminated and/or non-illuminated letters, logos and custom cabinet forms. Letters and logos may be constructed as internally illuminated pan channel letters with illuminated acrylic sign faces, reverse pan channel "backlit" or "halo" illuminated letters, or any combination thereof. Tenant shall first obtain Developer's and/or Developer's Designated Representative written approval prior to submitting a sign permit application to the Town of Queen Creek. The Town of Queen Creek shall require the Developer's and/or Developer's Designated Representative approval as a condition of issuing the sign permit. All signage shall be installed in compliance with all building and electrical codes of the Town of Queen Creek. All signage shall be in compliance of all UL standards and shall be listed and installed in accordance to the National Electrical Code, Article 600. Any sign installation found to be non-compliant with these provisions shall be remedied immediately by the Tenant at Tenant's sole expense.

A. Sign Area

- 1. The area of signs with all copy mounted on a single geometric plane shall consist of the entire area within a continuous exterior perimeter which bounds all portions of the sign including background panels except those which are entirely opaque and have the same color and texture as the building to which the sign is attached.
- 2. The maximum wall sign area per building elevation occupied by a Tenant shall be computed by multiplying one and one-half (1.5) square feet for each one (1) lineal foot of the building storefront and/or building elevation occupied by the Tenant without limitation to a maximum aggregate sign area and/or number of sign elements contained in the Tenant's wall signage.
- 3. As a minimum allowance, Tenants occupying less than thirty three (33) feet of storefront and/or building elevation shall be permitted a minimum of fifty (50) square feet of sign area per elevation.

B. Height and Length Restrictions

- 1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location(s) designated by the Developer based upon the individual building's unique design.

- 2. In no event shall any sign exceed eighty (80) percent of the Tenant's storefront and/or wall surface upon which it is placed.
- 3. The available surface area and/or architectural feature shall regulate allowable letter and logo height. In no event shall any sign exceed seventy (70) percent of the vertical height of the wall surface upon which the sign is placed.

C. Brand identity

- 1. Tenants may use the typeface, marks/icons, logos, and colors of their choice subject to Developer's and/or Developer's Designated Representative approval.
- 2. Nationally recognized Tenants shall be permitted to utilize their standard corporate identification programs subject to the sign area limitations stated herein.

D. Illumination

- 1. Tenant building signage may be internally illuminated, backlit to create a silhouette, exposed neon, LED tubing, and/or combination of lighting methods mentioned herein.
- 2. Tenant signage shall be illuminated utilizing LED's and/or neon tubing. All illumination shall cast even lighting avoiding hot spots. Uneven illumination shall be corrected by the Tenant at Tenant's sole expense.

E. Blade Sign

- 1. Each Tenant may install a double-faced non-illuminated blade sign not exceeding three (3) square feet in sign area. The blade sign design shall be submitted to the Developer and/or Developer's Designated Representative for approval and shall be reviewed on a case by case basis. The Developer shall have the sole and absolute discretion to approve or deny a blade sign request. All blade signs shall be permitted by the Town of Queen Creek.
- 2. All blade sign copy shall be flat cut out graphics and surface applied to both sides of the display. The Developer shall approve in writing all copy and layout prior to installation of the blade sign. Tenant shall furnish and install the approved blade sign display at Tenant's sole and separate expense.
- 3. The blade sign shall be suspended and/or projected using a mechanism approved by the Developer and the Town of Queen Creek. Blade signs shall maintain a clearance of 8'-0" above finished floor.

IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated to conceal all light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Developer and the Town of Queen Creek harmless for, from and against damages or liabilities on account thereof.

QUEEN CREEK CROSSING / DEVIATIONS FROM ARTICLE 7.0 OF THE ZONING ORDINANCE

Ordinance Section	Ordinance Text	Proposed Standard	Justification
FREESTANDING SIGNS			
7.2.3.c.2.b	Such ground sign shall not exceed forty-eight (48) square feet in sign area, nor shall it exceed eight feet (8') in height above grade nor shall it extend or project over any street or alley line	Proposed ST-1 Multi-Tenant Monument signs will be approximately 168 SF in sign area exclusive of architectural embellishments. Sign height will be 20'4" exclusive of architectural embellishments.	Increased area and height is necessary to provide tenants with exposure to Ellsworth Road in a competitive manner with the nearby Cornerstone project, Queen Creek Marketplace and QC District developments. The signage is scaled appropriately to the size of the Queen Creek Crossing development site and the excessive setback from the travelled roadway due to the Q.C.I.D. easement.
BUILDING SIGNS			
7.2.3.c.1.a and b	Building front wall signage shall not exceed one and a half (1 1/2) square feet of sign area per lineal foot of building occupancy frontage; Side wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of side wall; b) Rear wall signage shall not exceed one-half (1/2) square feet of sign area per lineal foot of rear wall.	Proposed wall sign area is to be computed by multiplying one and one half (1 1/2 SF) square feet of sign area for each one (1) lineal foot of the building storefront and/or elevation occupied by the tenant. As a minimum allowance, Tenants occupying less than thirty three (33') feet of storefront and/or building elevation shall be permitted a minimum of fifty (50) square feet of sign area per elevation.	This method of calculation is identical to the formula approved for the Cornerstone and Queen Creek Marketplace Comprehensive Sign Plans and provides Queen Creek Crossing with the ability to offer its tenants the same amount of building signage afforded to the tenants in the other similar centers.
7.2.3.c.1.e	Total wall signage shall not exceed two-hundred fifty (250) square feet.	Wall signage shall not be subject to a maximum aggregate sign area.	Both Cornerstone and Queen Creek Marketplace do not have sign area limitations. In particular, Anchor A requires this limitation waived in order to display its corporate identification.