



Scottsdale Promenade  
Scottsdale, AZ

Revised May 15, 2017  
Addition of Corner Pads 7,8, & 9

Prepared by:



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CASE# 7-MS-2017

APPROVED

STIPULATION SET  
RETAIN FOR RECORDS

06/15/17  
DATE

*Andrew Chi*  
APPROVED BY

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**SCOTTSDALE, ARIZONA**

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## Tenant Signage

*All Tenant Signage to follow Scottsdale code of PRC Zoning as highlighted below:*

A. *Building wall signs.*

1. Such sign shall identify the business.
2. For any one (1) side of a building the maximum sign area for each one (1) lineal foot of building wall shall be one (1) square foot.
3. When the wall on which the sign is placed is more than two hundred (200) feet from any public right-of-way the maximum sign area for each one (1) lineal foot of building wall shall be one and one-half (1½) square feet.
4. The maximum size of any wall sign shall be two hundred fifty (250) square feet
5. No part of a building wall sign shall extend above top of building.
6. Such sign shall be installed with the exposed face of the sign in a plane parallel to the face of the building wall.
7. No part of such sign shall project from a building wall a distance greater than twelve (12) inches.
8. Signage of rear elevations may overlap into neighboring suites so that tenant signage aligns with building architecture.

# TYPICAL PAN CHANNEL LETTERS

NOT TO EXCEED 80%  
LEASED FRONTAGE

NOT TO EXCEED 80%  
OF SIGN BAND IN HEIGHT



## CONSTRUCTION

.063" ALUMINUM CONSTRUCTION.  
5" DEEP RETURNS, .040" CLC, COLOR AS PER TENANT.  
3/4" TRIM CAP, COLOR AS PER TENANT..

## MOUNTING

MOUNT FLUSH TO WALL.

## FACE

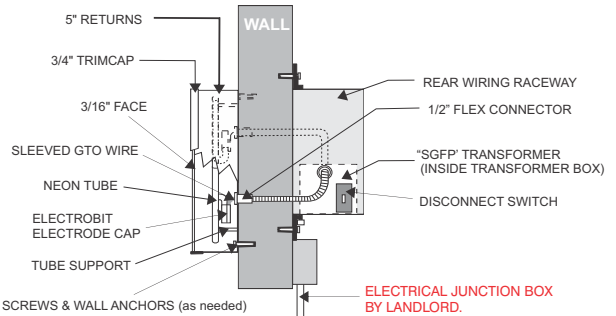
3/16" SG ACRYLIC, COLOR AS PER TENANT.

## ILLUMINATION

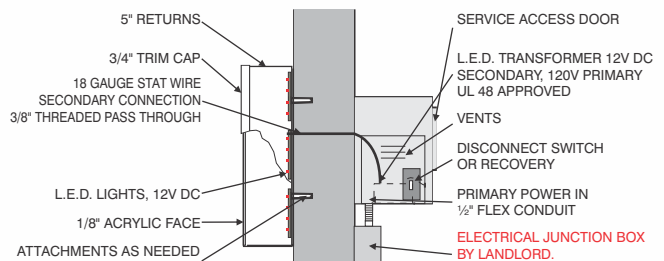
L.E.D. OR NEON, SINGLE OR DOUBLE STROKE.  
1 STROKE PER 4"  
WITH REMOTE TRANSFORMER.

\*LANDLORD CAN APPROVE MODIFICATIONS  
FOR RETURN DEPTH AND TRIMCAP SIZE

## NEON ILLUMINATED PAN CHANNEL LETTERS



## L.E.D. ILLUMINATED PAN CHANNEL LETTERS



# TYPICAL REVERSE PAN CHANNEL LETTERS

NOT TO EXCEED 80%  
LEASED FRONTAGE

NOT TO EXCEED 80%  
OF SIGN BAND IN HEIGHT

# TENANT

## CONSTRUCTION

.063" CLC RETURNS 3" DEEP WITH .090" ALUMINUM FACES PAINTED COLOR AS PER TENANT

3/16 CLEAR LEXAN BACKS CLIP MOUNTED TO THE LETTERS

## MOUNTING

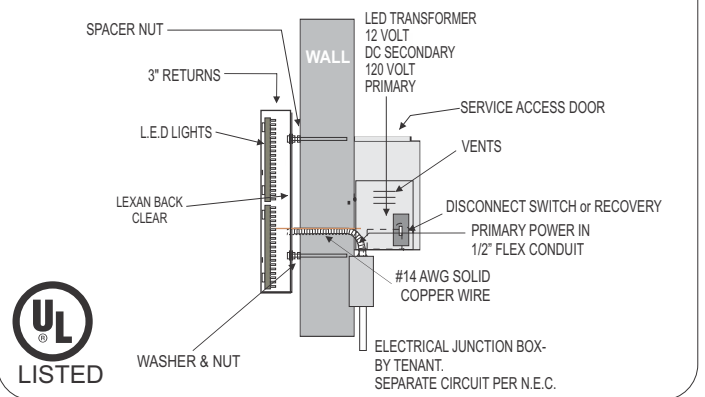
STUD MOUNTED 1" OFF THE WALL TO CREATE HALO ILLUMINATION.

## ILLUMINATION

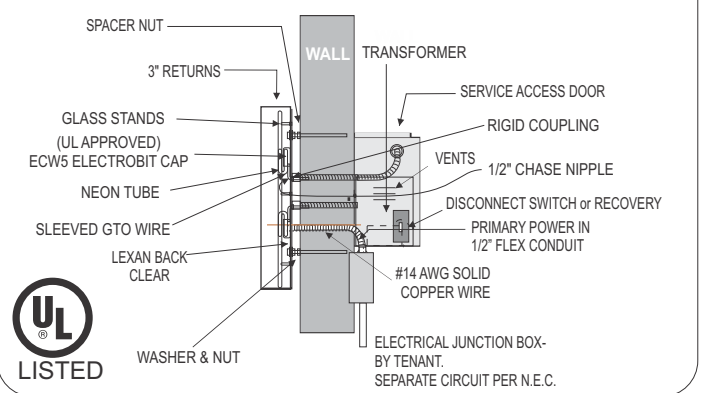
L.E.D. OR NEON, SINGLE OR DOUBLE STROKE. 1 STROKE PER 4" WITH REMOTE TRANSFORMER.

\*LANDLORD CAN APPROVE MODIFICATIONS FOR RETURN DEPTH

## LED HALO ILLUMINATED REVERSE PAN CHANNEL LETTERS



## NEON HALO ILLUMINATED REVERSE PAN CHANNEL LETTERS



# TYPICAL FACE & HALO ILLUMINATED PAN CHANNEL LETTERS

NOT TO EXCEED 80%  
LEASED FRONTAGE

NOT TO EXCEED 80%  
OF SIGN BAND IN HEIGHT



## CONSTRUCTION

.063" ALUMINUM CONSTRUCTION.  
5" DEEP RETURNS, .040" CLC, COLOR AS PER TENANT.  
3/4" TRIM CAP, COLOR AS PER TENANT  
3/16" CLEAR LEXAN BACKS

## MOUNTING

MOUNT FLUSH TO WALL.

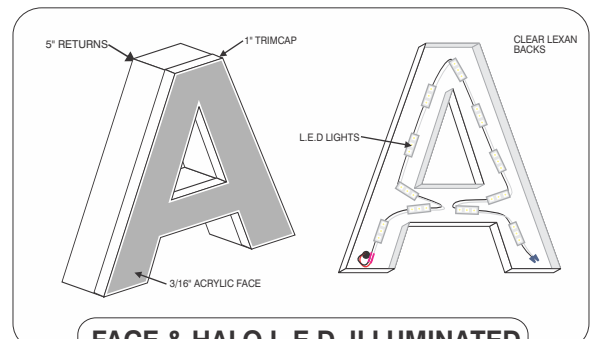
## FACE

3/16" SG ACRYLIC, COLOR AS PER TENANT.

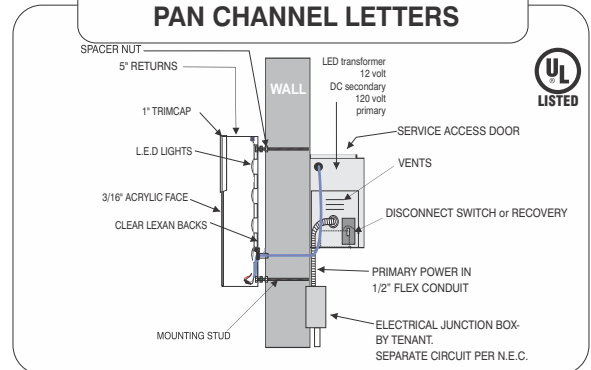
## ILLUMINATION

L.E.D. OR NEON, SINGLE OR DOUBLE STROKE.  
1 STROKE PER 4"  
WITH REMOTE TRANSFORMER.

\*LANDLORD CAN APPROVE MODIFICATIONS  
FOR RETURN DEPTH AND TRIMCAP SIZE



## FACE & HALO L.E.D. ILLUMINATED PAN CHANNEL LETTERS



# TYPICAL NON-ILLUMINATED REAR DOOR PLAQUE

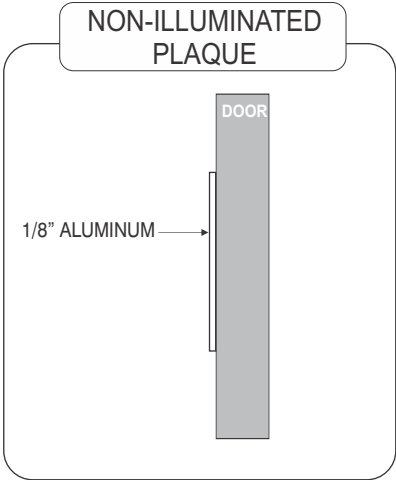


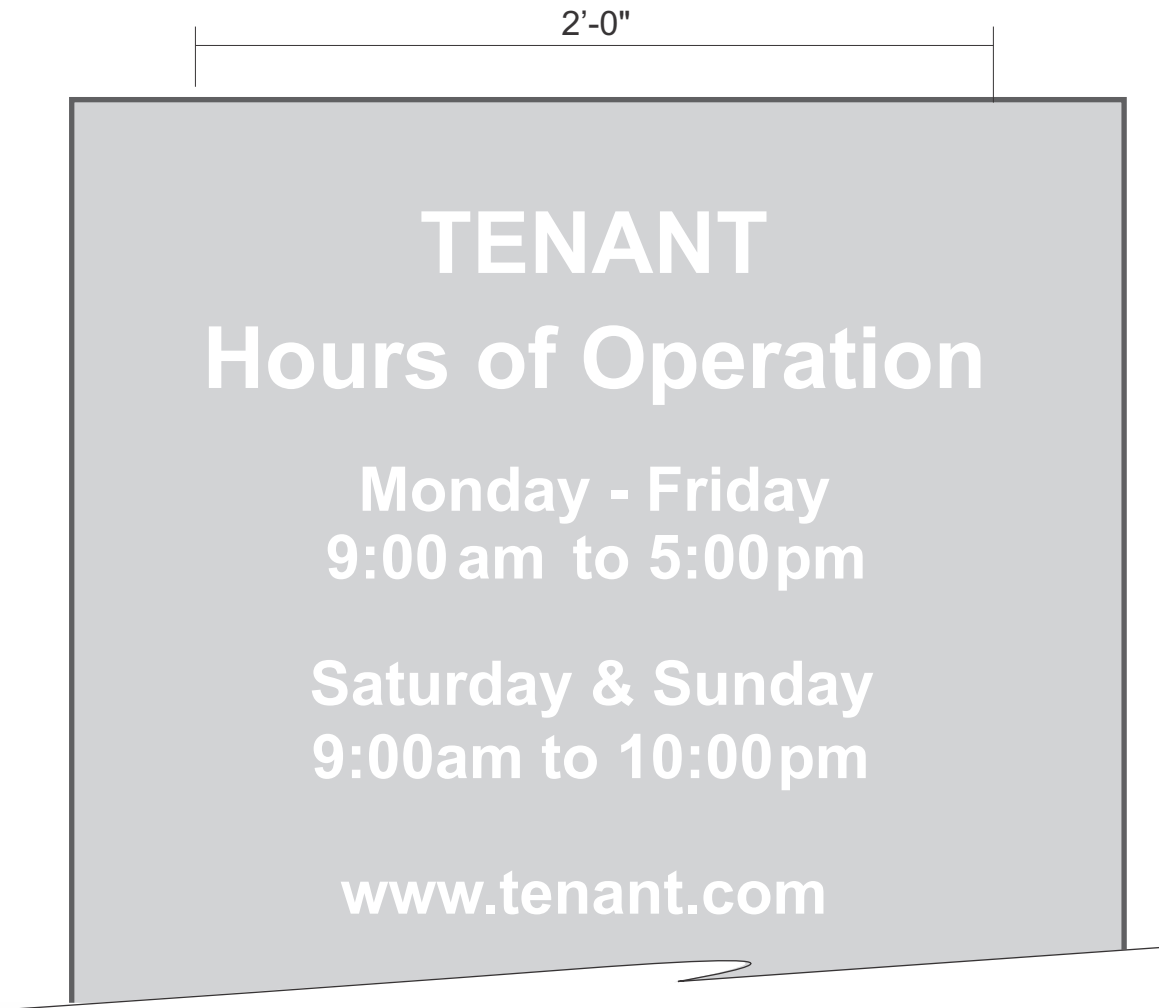
ELEVATION - TYPICAL  
NTS

**CONSTRUCTION**  
.125" ALUMINUM PANEL PAINTED TO MATCH DOOR  
WITH VINYL TENANT COPY TO MATCH CUSTOMER FONT

**MOUNTING**  
MOUNT FLUSH TO DOOR

\*LANDLORD CAN APPROVE MODIFICATIONS



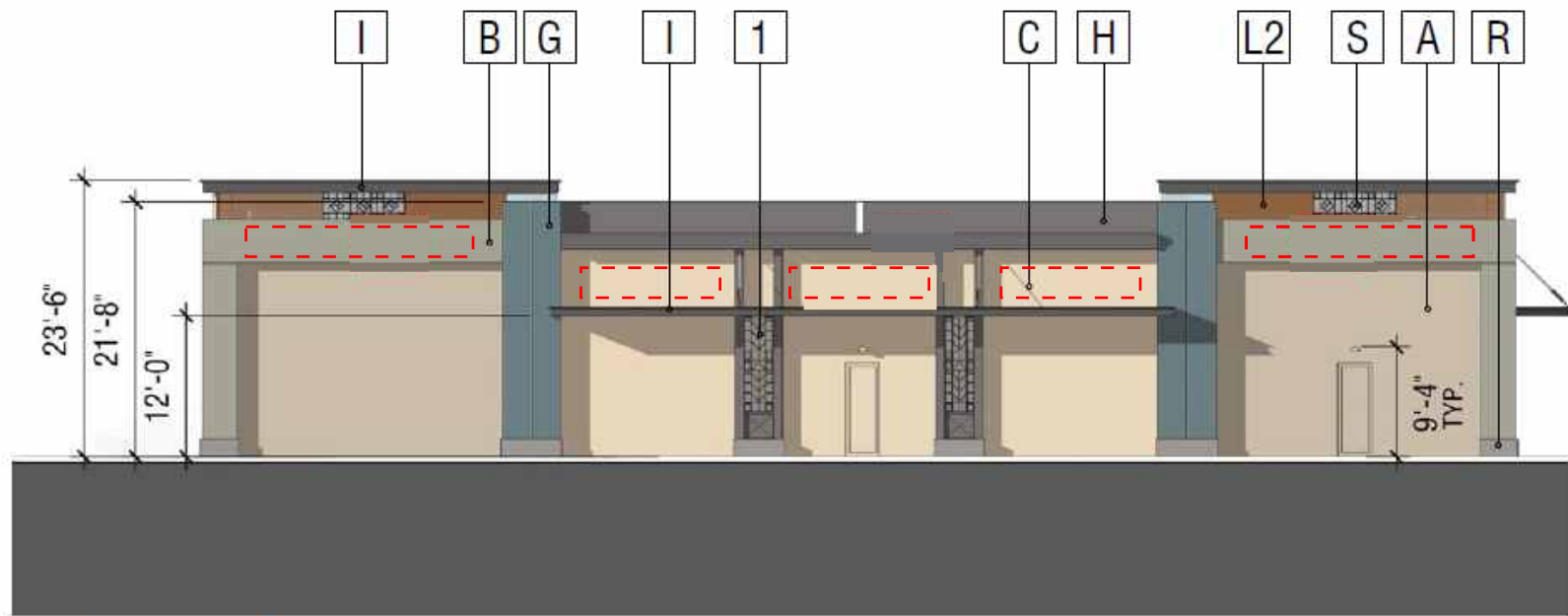


**CUT VINYL APPLICATION**

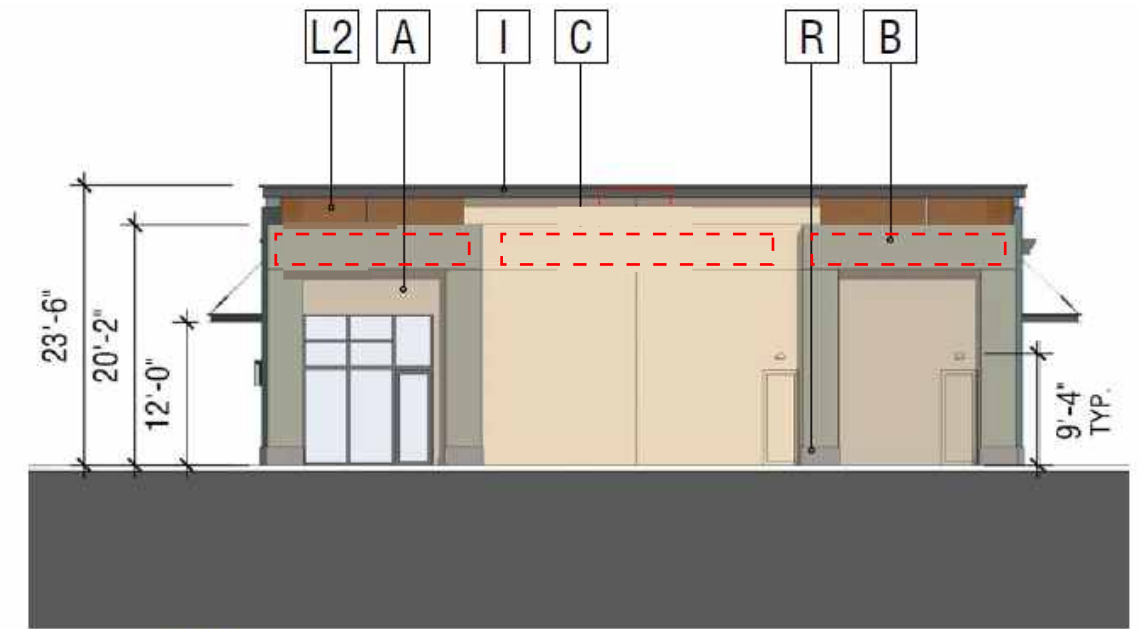
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CUT OPAQUE WHITE VINYL 3M 7725-10  
APPLY FIRST SURFACE

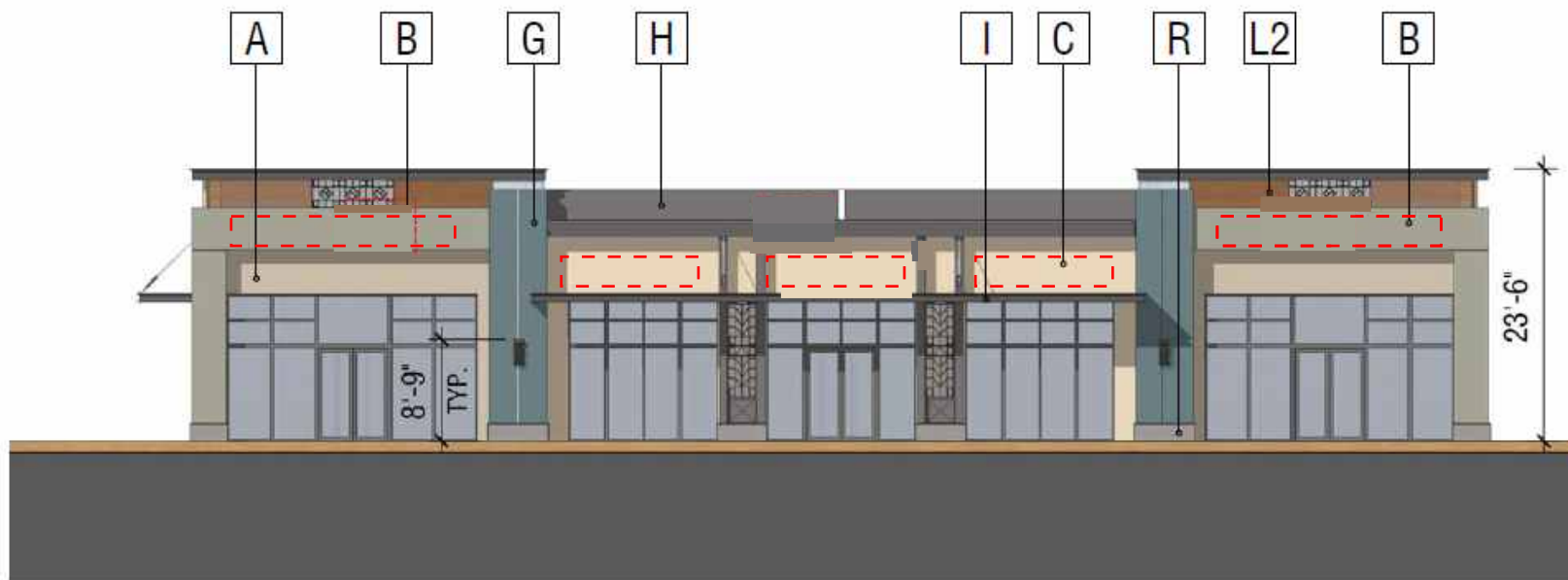




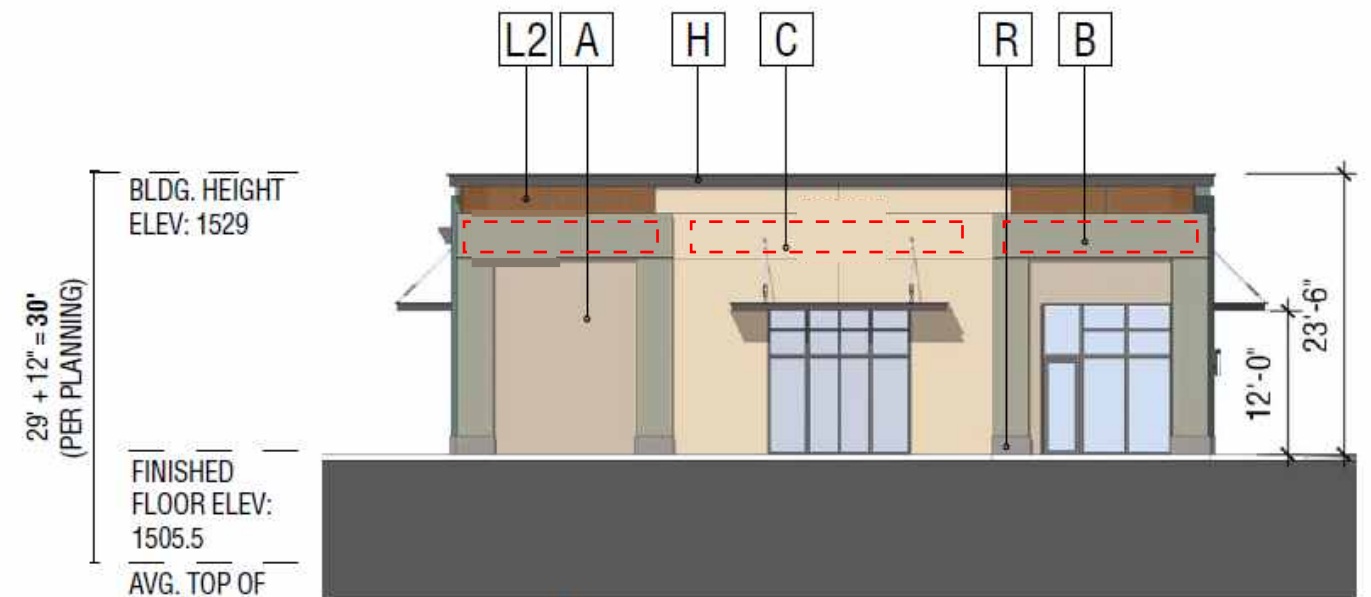
SHOP 7 - NORTH ELEVATION  
1/16" = 1'-0"



SHOP 7 - EAST ELEVATION  
1/16" = 1'-0"



SHOP 7 - SOUTH ELEVATION  
1/16" = 1'-0"



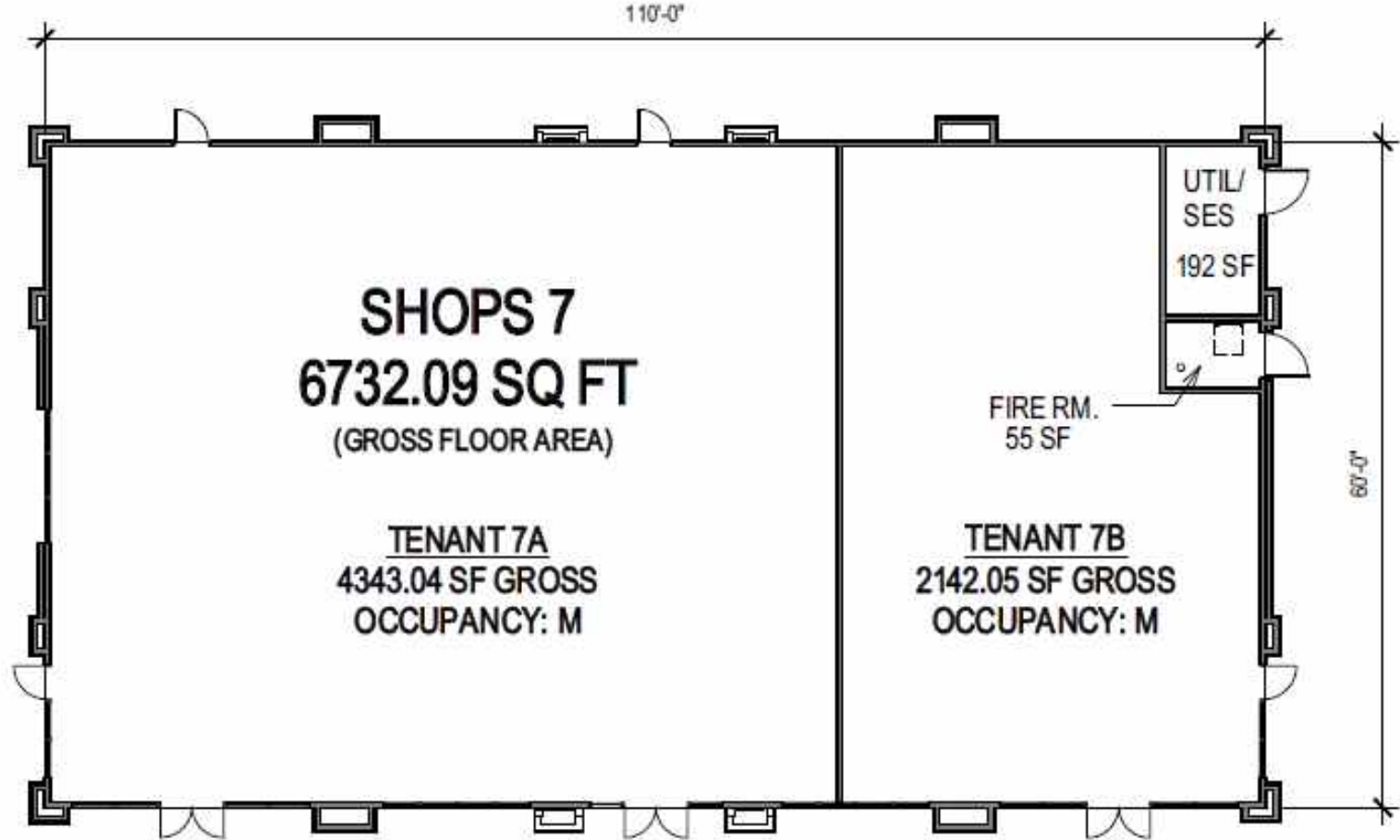
SHOP 7 - WEST ELEVATION  
1/16" = 1'-0"

**SIGN BAND LOCATIONS**



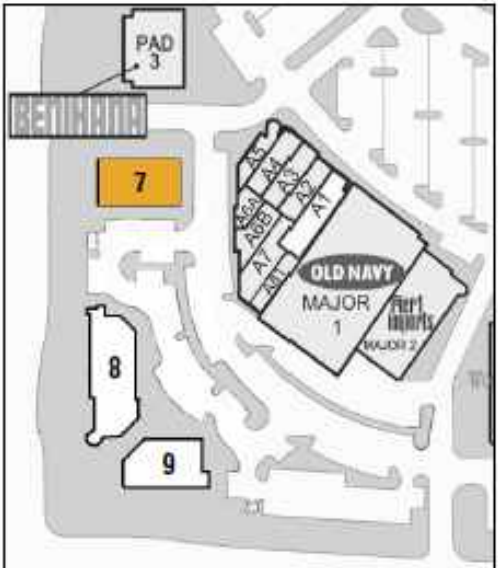
**A.8 STIPULATION**

IN THE EVENT A TENANTS FRONTAGE DOWNS NOT PROVIDE AT LEAST ONE (1) SIGN BAND PER ELEVATION, THE TENANTS SIGN MAY BE PLACED IN THE NEAREST SIGN BAND WITH LANDLORD APPROVAL



**ESTIMATED PROJECT DESIGN OCCUPANCY CALCULATION**

AREA NAME	OCCUPANCY TYPE	FLOOR AREA PER OCCUPANT (SF) (LOAD FACTOR)	AREA (SF)	NUMBER OF OCCUPANTS
TENANT 7A	M	30 GROSS	4343.04	145
TENANT 7B	M	30 GROSS	2142.05	72
<b>TOTAL</b>				<b>217</b>



**KEY MAP (NTS)**

**Scottsdale Promenade**

Scottsdale, Arizona

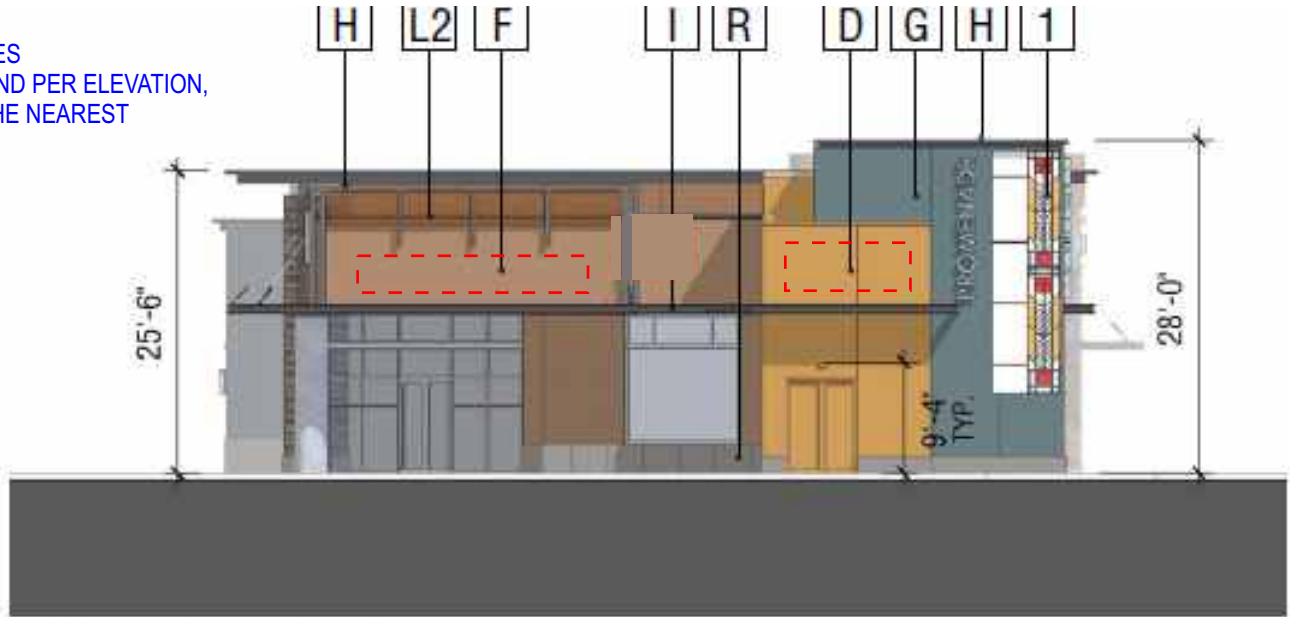
**FLOOR PLAN - SHOP 7**  
1/16" = 1'-0"

**SIGN BAND LOCATIONS**

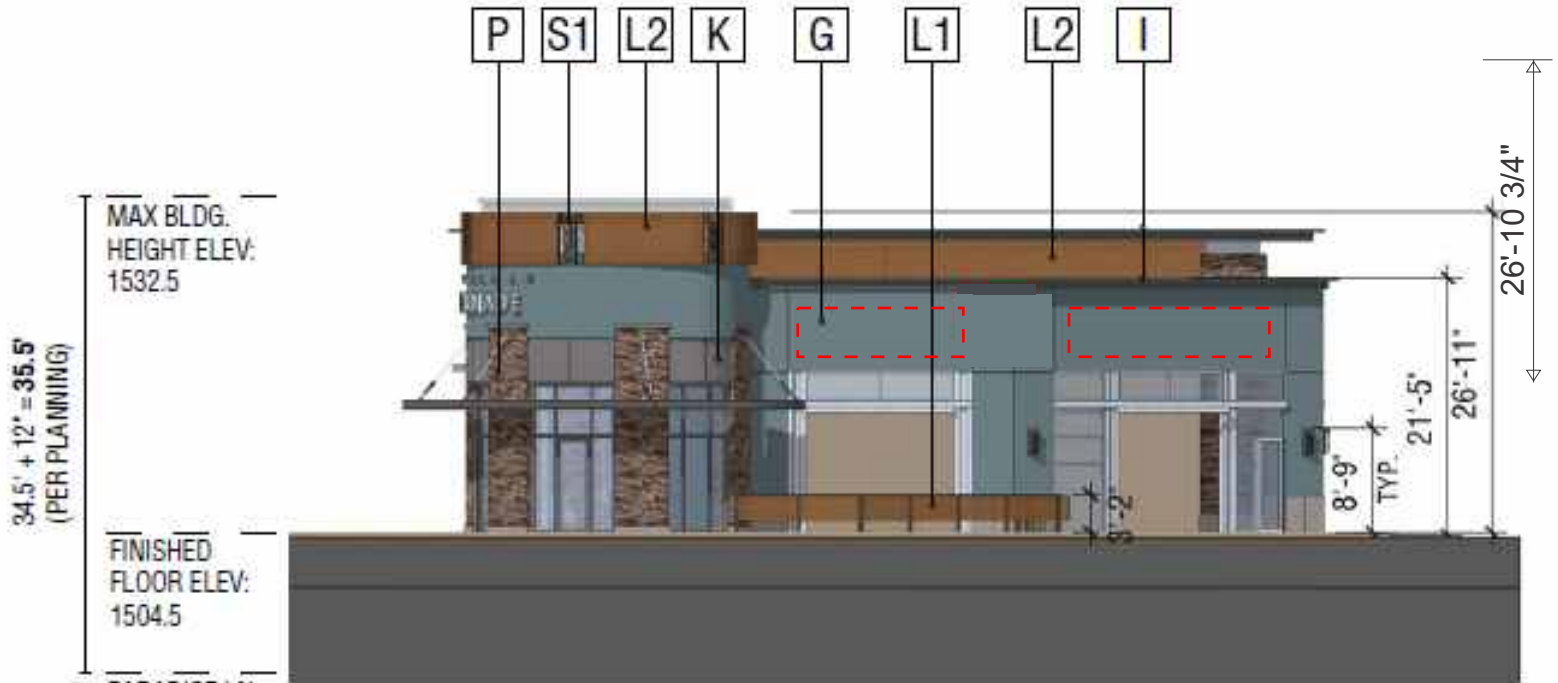


**A.8 STIPULATION**

IN THE EVENT A TENANTS FRONTAGE DOES NOT PROVIDE AT LEAST ONE (1) SIGN BAND PER ELEVATION, THE TENANTS SIGN MAY BE PLACED IN THE NEAREST SIGN BAND WITH LANDLORD APPROVAL

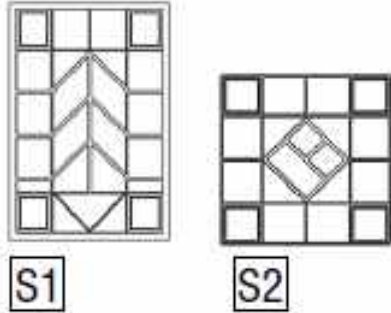


**SHOP 8 - NORTH ELEVATION**  
1/16" = 1'-0"



**SHOP 8 - SOUTH ELEVATION**  
1/16" = 1'-0"

MAX BUILDING HEIGHT FROM FINISHED FLOOR ELEVATION: 28'  
MAX BUILDING HEIGHT FROM AVG. TOP OF CURB AT SCOTTSDALE ROAD: 33.5' (PER PLANNING)  
MAX BUILDING HEIGHT FROM AVG. TOP OF CURB AT PARADISE LANE: 35.5' (PER PLANNING)



**Steel Plate "Tile" Designs**  
DE6384 - Iron Fixture



**1 Tower Close-up**

**SYMBOL LEGEND**

- C Refer to previous sheet for color and material key
- Mechanical Unit Beyond Screened by Parapet Walls

**SIGN BAND LOCATIONS**

**A.8 STIPULATION**

IN THE EVENT A TENANTS FRONTAGE DOES NOT PROVIDE AT LEAST ONE (1) SIGN BAND PER ELEVATION, THE TENANTS SIGN MAY BE PLACED IN THE NEAREST SIGN BAND WITH LANDLORD APPROVAL



**SHOP 8 - EAST ELEVATION**

1/16" = 1'-0"



**SHOP 8 - WEST ELEVATION**

1/16" = 1'-0"

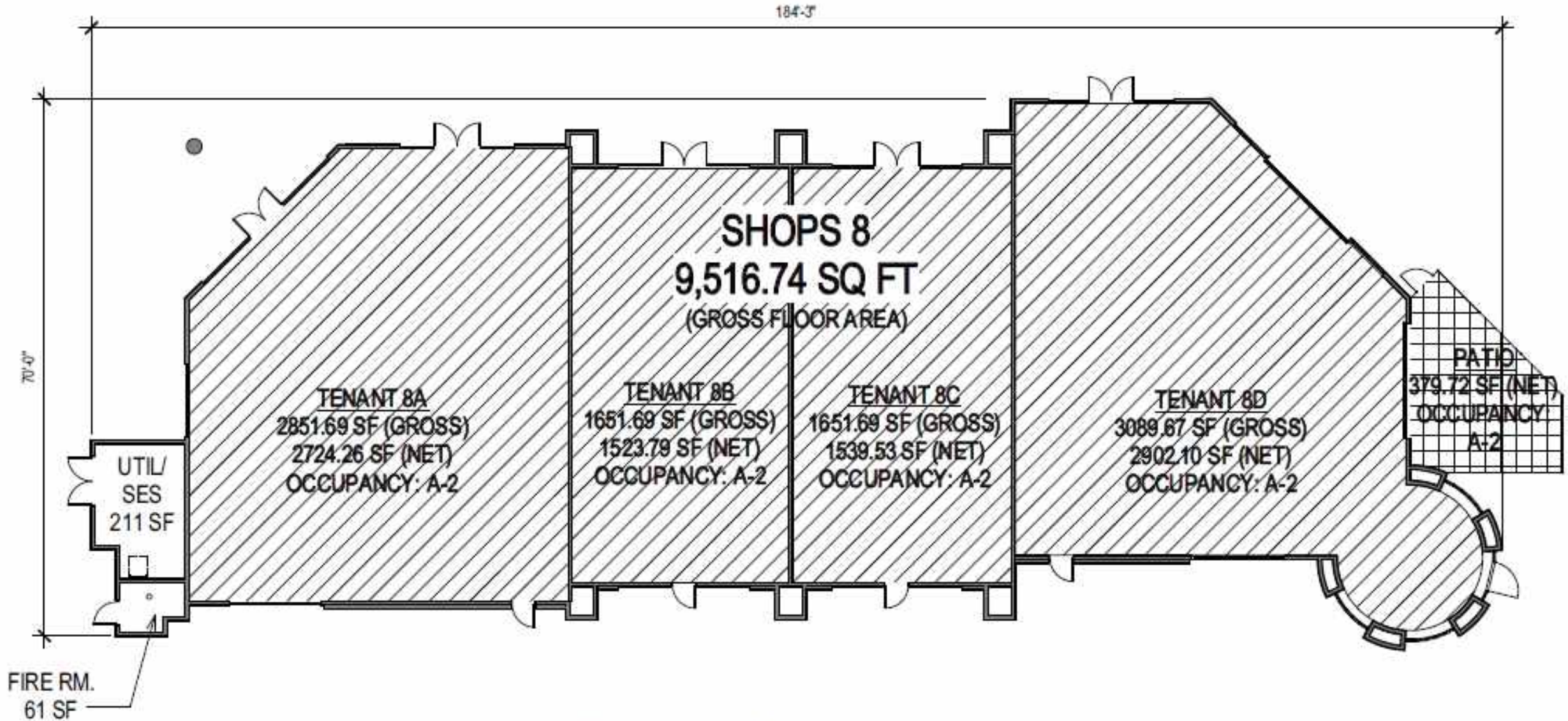
**SYMBOL LEGEND**

- C Refer to previous sheet for color and material key
- Mechanical Unit Beyond Screened by Parapet Walls

MAX BUILDING HEIGHT FROM FINISHED FLOOR ELEVATION: 28'  
 MAX BUILDING HEIGHT FROM AVG. TOP OF CURB AT SCOTTSDALE ROAD: 33.5' (PER PLANNING)  
 MAX BUILDING HEIGHT FROM AVG. TOP OF CURB AT PARADISE LANE: 35.5' (PER PLANNING)

**Scottsdale Promenade**

Scottsdale, Arizona



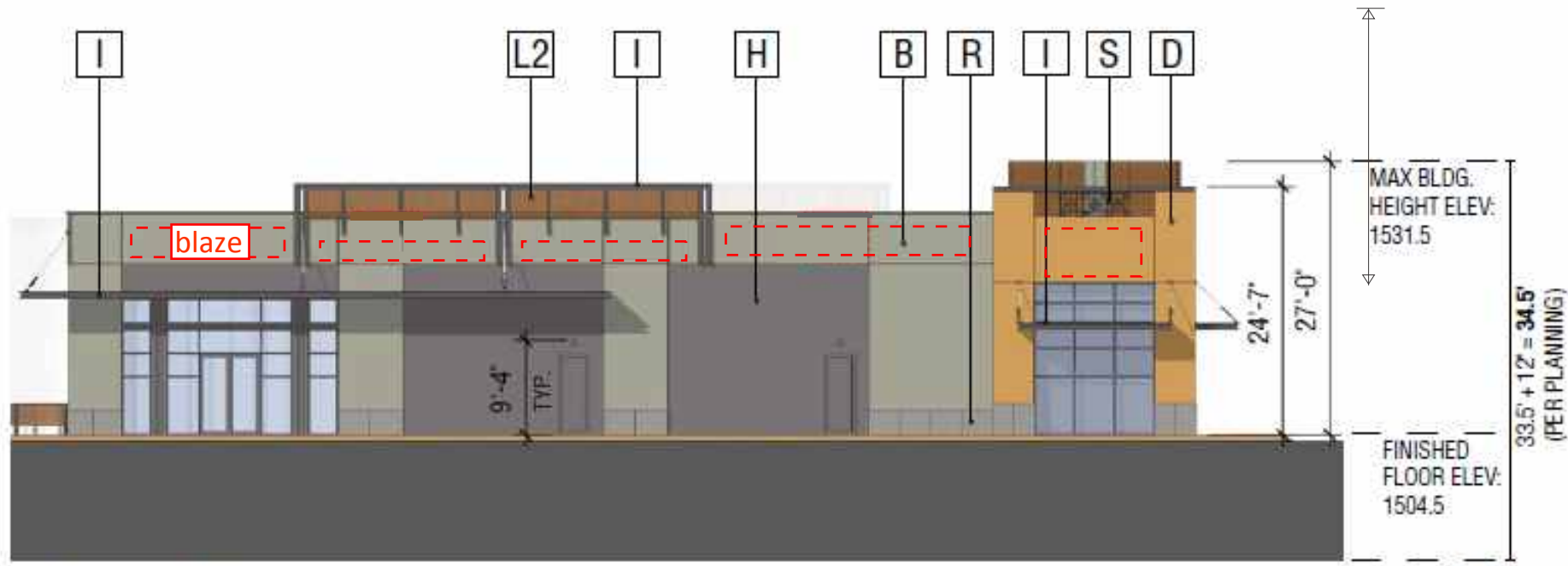
ESTIMATED PROJECT DESIGN OCCUPANCY CALCULATION

AREA NAME	OCCUPANCY TYPE	FLOOR AREA PER OCCUPANT (SF) (LOAD FACTOR)	AREA (SF)	NUMBER OF OCCUPANTS
TENANT 8A	A-2	15 NET	2724.26	182
TENANT 8B	A-2	15 NET	1523.79	102
TENANT 8C	A-2	15 NET	1539.53	103
TENANT 8D	A-2	15 NET	2902.10	194
PATIO	A-2	15 NET	379.72	26
			<b>TOTAL</b>	<b>607</b>



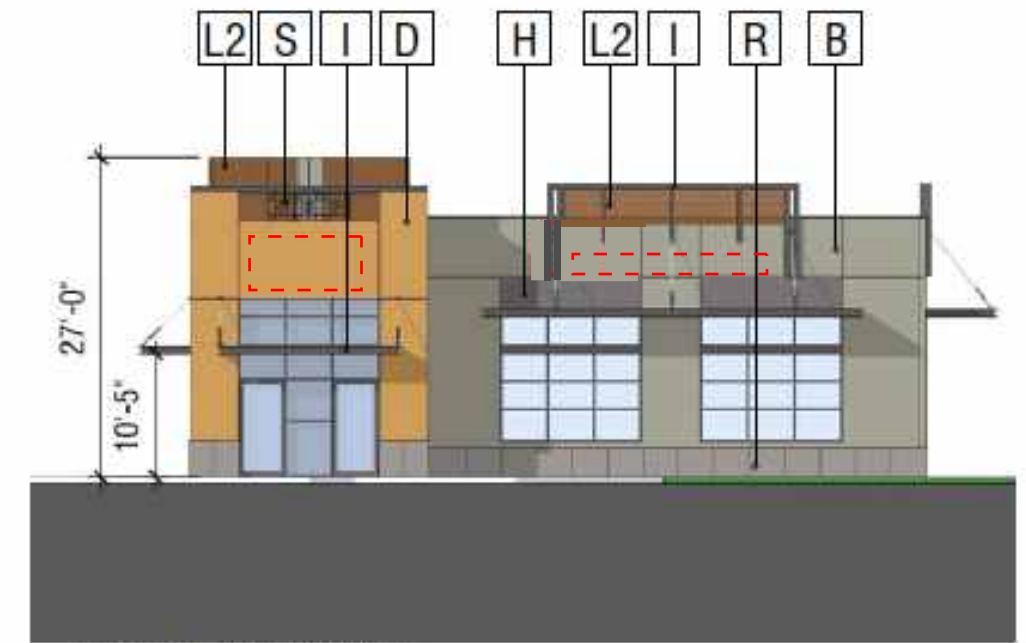
FLOOR PLAN - SHOPS 8  
1/16" = 1'-0"

KEY MAP (NTS)



SHOP 9 - SOUTH ELEVATION  
1/16" = 1'-0"

PARADISE LN.  
AVG. TOP OF  
CURB ELEV:  
1498



SHOP 9 - EAST ELEVATION  
1/16" = 1'-0"



SHOP 9 - NORTH ELEVATION



SHOP 9 - WEST ELEVATION  
1/16" = 1'-0"

**SIGN BAND LOCATIONS**



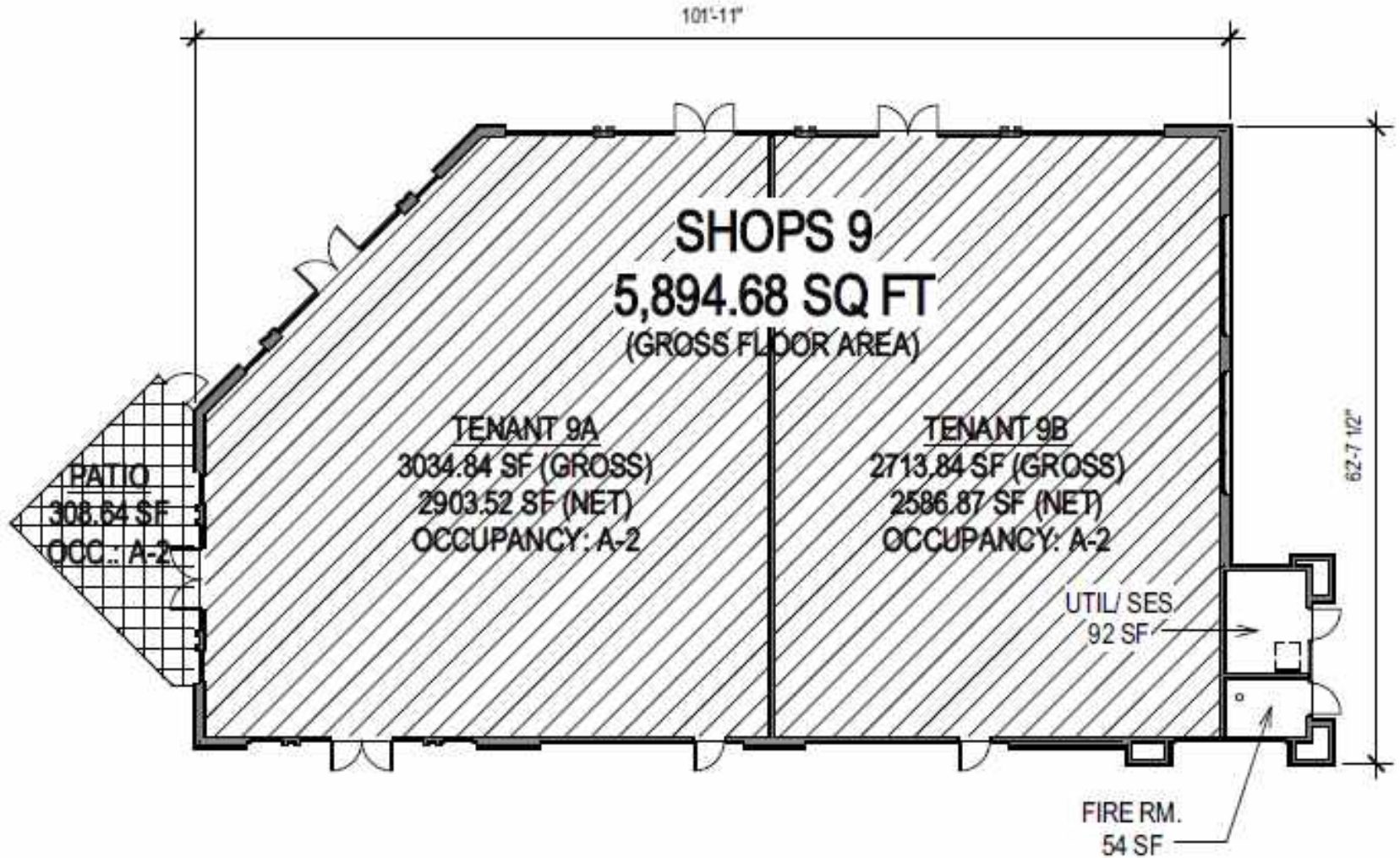
**A.8 STIPULATION**

IN THE EVENT A TENANTS FRONTAGE DOES NOT PROVIDE AT LEAST ONE (1) SIGN BAND PER ELEVATION, THE TENANTS SIGN MAY BE PLACED IN THE NEAREST SIGN BAND WITH LANDLORD APPROVAL

MAX BUILDING HEIGHT FROM FINISHED FLOOR ELEVATION: **27'-0"**  
 MAX BUILDING HEIGHT FROM AVG. TOP OF CURB AT SCOTTSDALE ROAD: **32.5' (PER PLANNING)**  
 MAX BUILDING HEIGHT FROM AVG. TOP OF CURB AT PARADISE LANE: **34.5' (PER PLANNING)**

**SYMBOL LEGEND**

<b>C</b>	Refer to previous sheet for color and material key
	Mechanical Unit Beyond Screened by Parapet Walls



**ESTIMATED PROJECT DESIGN OCCUPANCY CALCULATION**

AREA NAME	OCCUPANCY TYPE	FLOOR AREA PER OCCUPANT (SF) (LOAD FACTOR)	AREA (SF)	NUMBER OF OCCUPANTS
TENANT 9A	A-2	15 NET	2903.52	194
TENANT 9B	A-2	15 NET	2586.87	173
PATIO	A-2	15 NET	308.64	21
			<b>TOTAL</b>	<b>388</b>



Scottsdale Promenade

Scottsdale, Arizona

**FLOOR PLAN - SHOPS 9**  
 1/16" = 1'-0"

**KEY MAP (NTS)**