



Vineyard Towne Center Pad Tenant Criteria

January 2023

PROJECT TEAM / DIRECTORY

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TABLE OF CONTENTS

- 1. Project Narrative**
- 2. Master Site Plan**
- 3. Shopping Center Design Exhibits**
- 4. Pad Tenant Criteria**
- 5. Landscape/Irrigation Standards**
- 6. Lighting Standards**





BACKGROUND

This Vestar development consists of a two phase project, consisting of ±22.6 net acres at the northwest corner of Combs Road and Gantzel Road in Queen Creek, Arizona. The property is zoned for commercial uses, having been annexed from Pinal County in 2010.

PROGRAM AND PHASING

The general program is to build approximately 230,000 SF of commercial retail space in a collection of interconnected and freestanding structures under a common architectural theme. Sprouts Grocers will anchor the initial phase, with other national retailers to follow in future phases. Inline shops flank the grocer, housing a mix of national and local tenants. Drive-up uses and sit-down food outlets are anticipated in addition to general retail and service. Shared access and parking agreements will govern use of the properties.

The project will be built in phases, largely based on market demand. A comprehensive signage plan is in force for the property which specifies locations and sizes for ground signs, wall mounted signs and project identity elements.

ORGANIZATION AND ACCESS

The site has been arranged to encourage pedestrian access both internally and to external points of connection. Vehicular access to the project site will be provided by driveways from each of the adjacent streets. Street improvements and the 5 proposed driveway cuts are proposed with varying degrees of movement sought.

SOUTH SPECIFIC AREA PLAN

This site falls within Queen Creek's SSAP, which included the 60 acres at Combs and Gantzel due to its potential to provide significant tax revenue through retail activity and services. The proximity to emerging residential areas along Riggs, Meridian and Pinal County subdivisions was also seen as vital to providing local shopping and entertainment opportunities.

Other goals of the SSAP are to promote high quality open space and landscape amenities which support an agrarian-style feel. The project response has been to address the goal through careful selection and placement of plant material that has a cultivated structure (seedless olive, pistache, live oak) but is still water-use conscious. Pedestrian zones near the building feature generous shading, cast concrete seating, multiple hardscape materials, textures and colors that promote a strong sense of place.

Architectural responses to the SSAP goals include the use of rustic materials (brick, raw concrete, engineered steel shapes, stucco), multiple roof forms (sloped, high and low flat roofs, standing seam) and recognizable building forms (barn, warehouse and shed).

Combined, the architectural and landscape features seek to make Vineyard a memorable destination for shopping in the southeast valley. A place to meet and gather in a contemporary, agrarian themed setting.

Combs Road

Pad B
3,800 sf

Pad A
3,600 sf

Shops C
11,200 sf

Pad C
3,192 sf

Pad D
2,618 sf

Pad E
3,267 sf

Shops E
8,000 sf

Major
23,256 sf

Major
± 145,990 sf

Shops A
14,500 sf

Shops B
8,400 sf

Shops D
8,500 sf

MT Pylon Sign

MT Pylon Sign

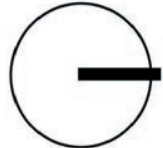
MT Pylon Sign

proposed left turn lane

proposed signal

potential left turn lane

Gantzel Road





Sprouts and Inline Shops Renderings





Inline Shops Rendering



Major and Inline Shops Elevations

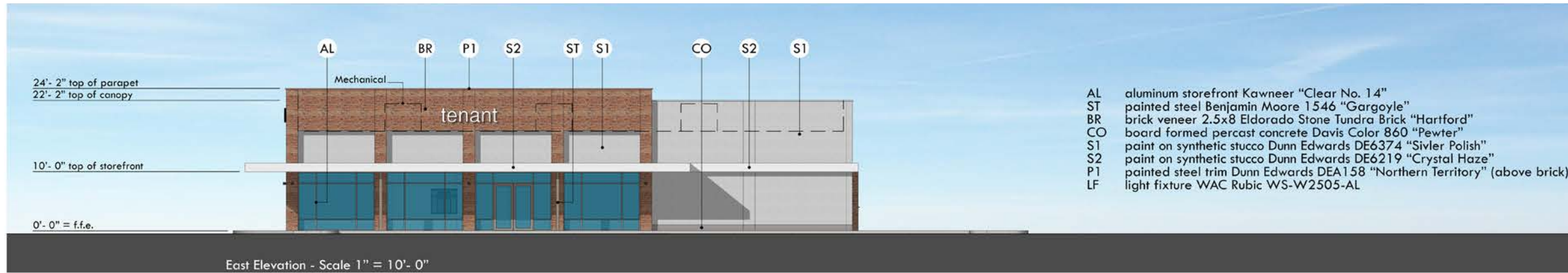
Typical Shops Elevations





Typical Pad Renderings

Typical Pad Elevations

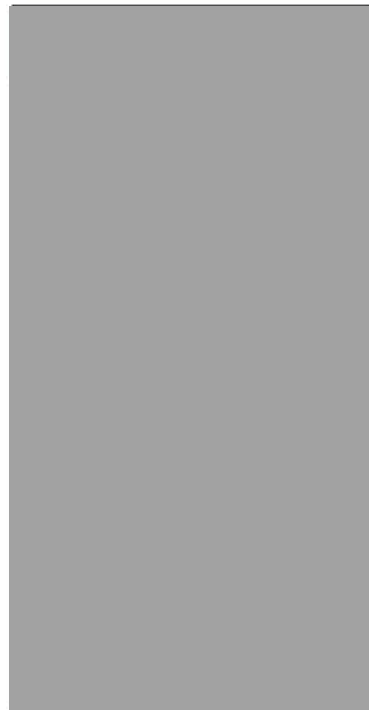


- AL aluminum storefront Kawneer "Clear No. 14"
- ST painted steel Benjamin Moore 1546 "Gargoyle"
- BR brick veneer 2.5x8 Eldorado Stone Tundra Brick "Hartford"
- CO board formed percast concrete Davis Color 860 "Pewter"
- S1 paint on synthetic stucco Dunn Edwards DE6374 "Sivler Polish"
- S2 paint on synthetic stucco Dunn Edwards DE6219 "Crystal Haze"
- P1 painted steel trim Dunn Edwards DEA158 "Northern Territory" (above brick)
- LF light fixture WAC Rubic WS-W2505-AL





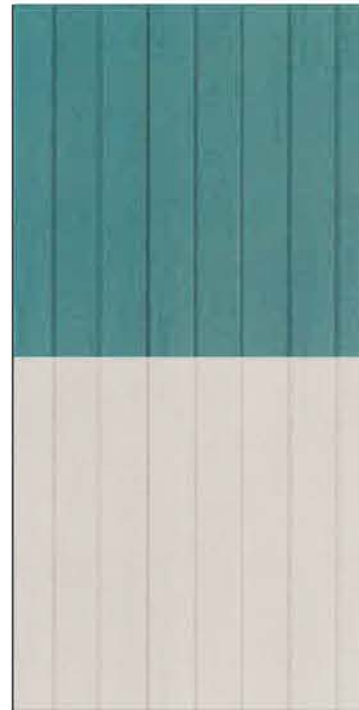
P2
 painted steel trim
 Benjamin Moore
 1546 "Gargoyle"



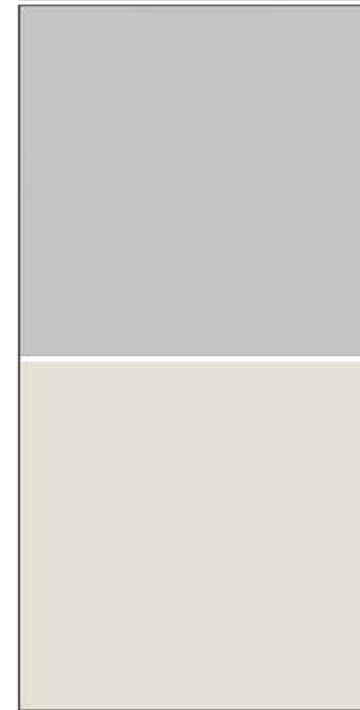
BR
 brick veneer 2.5x8
 Eldorado Stone
 TundraBrick "Hartford"



H1
 Hardiboard siding
 PPG Color
 1142-6 "Jericho Jade"



S1
 paint on synthetic stucco
 Dunn Edwards
 DE6374 "Silver Polish"



P1
 painted steel trim
 Dunn Edwards
 DEA158 "Northern Territory"



AL
 aluminum storefront
 Kawneer
 "Clear No. 14"

ST
 painted steel
 Benjamin Moore
 1546 "Gargoyle"

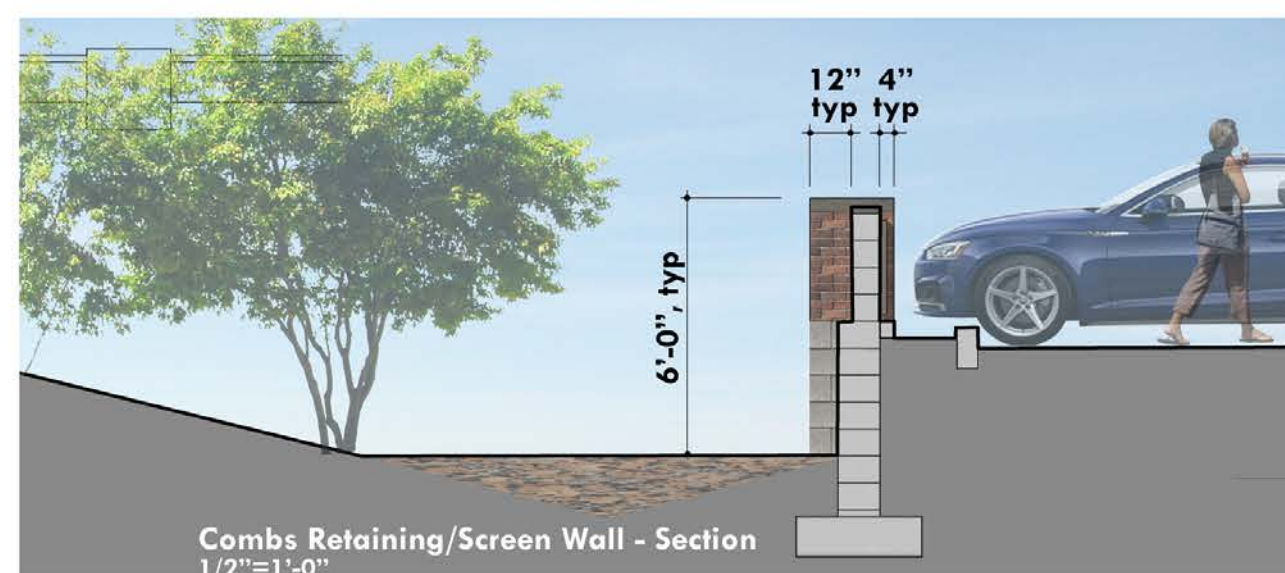
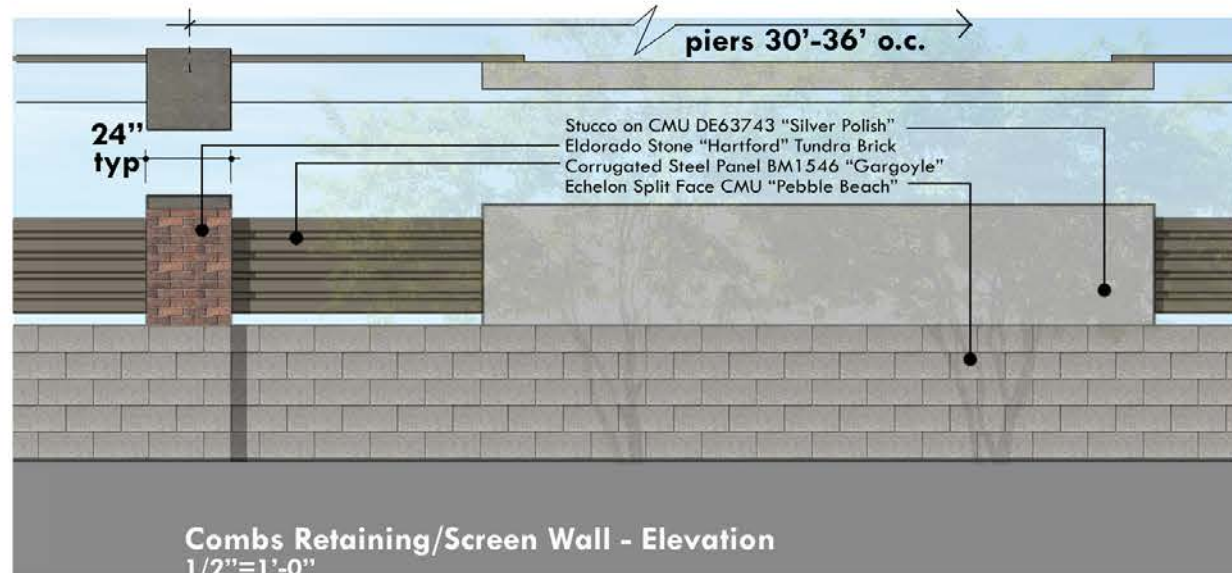
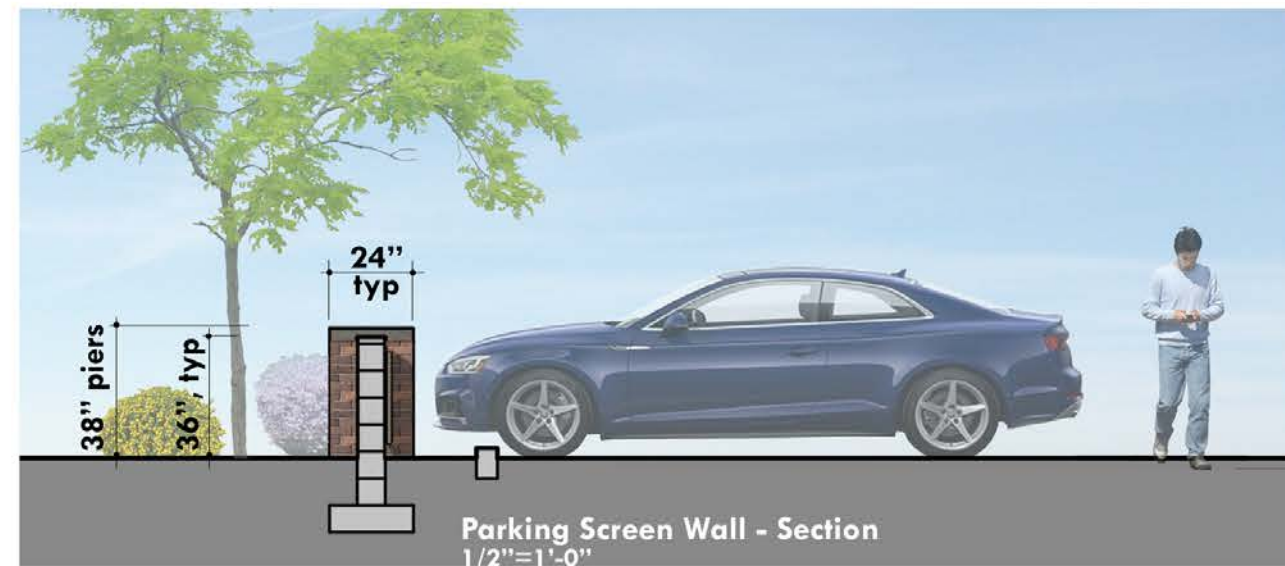
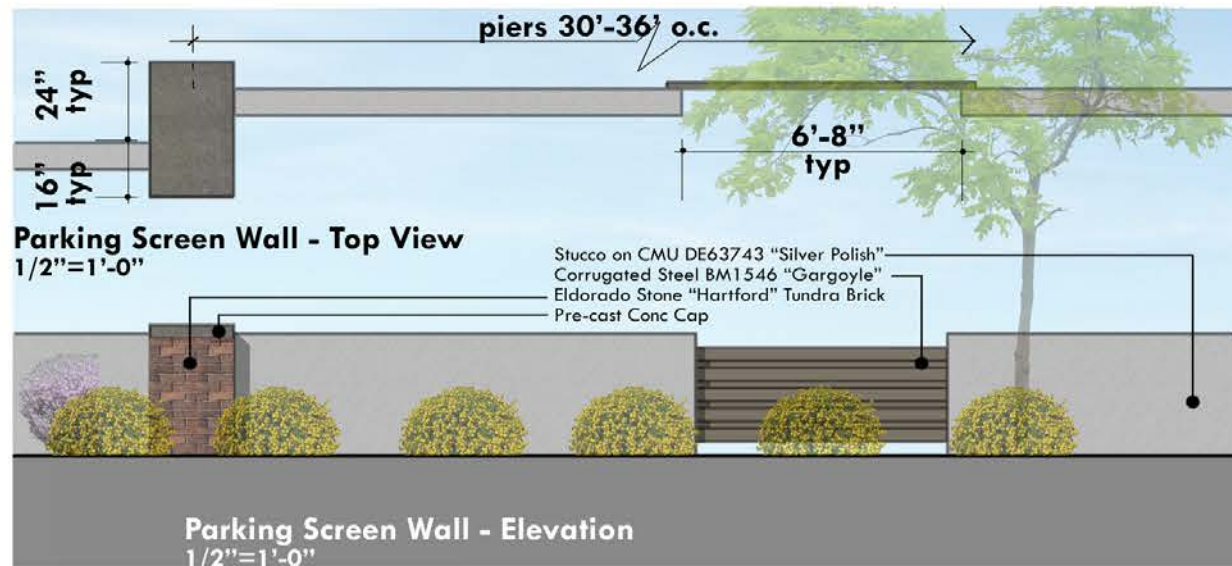
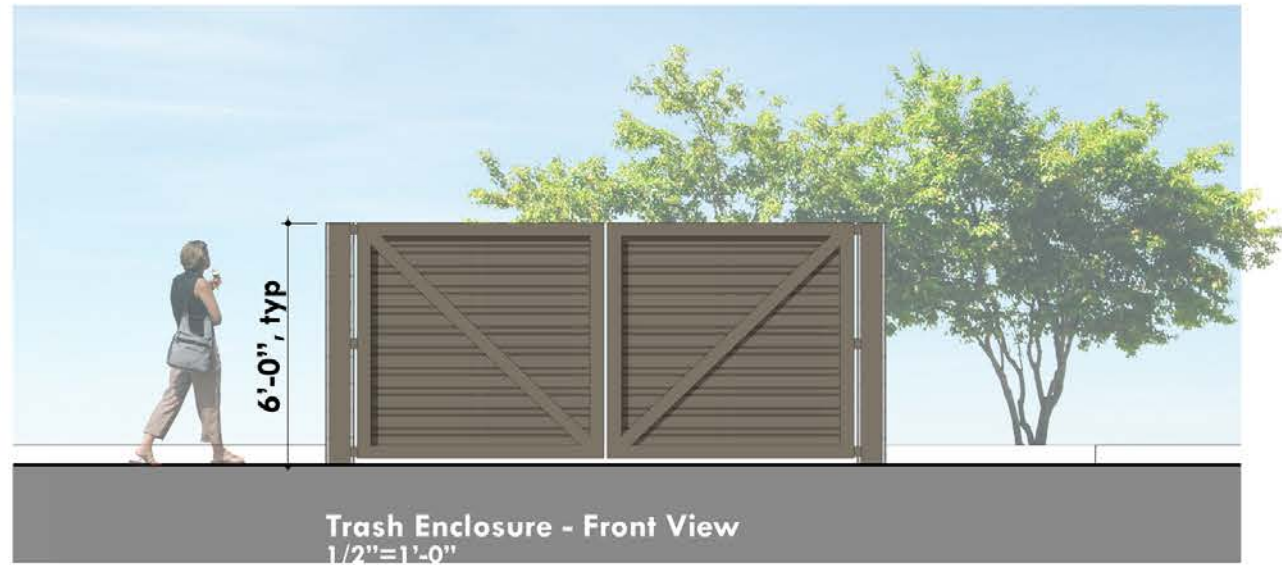
CO
 precast concrete
 Davis Color
 860 "Pewter"

H2
 Hardiboard siding
 PPG Color
 1099-1 "Always Almond"

S2
 paint on synthetic stucco
 Dunn Edwards
 DE6219 "Crystal Haze"

RO
 standing seam roof
 Benjamin Moore
 1546 "Gargoyle"

LF
 light fixture
 WAC Rubix
 "Brushed Aluminum"



4. RESTAURANT/PAD USERS - DESIGN CRITERIA

General

The Landlord has provided the Design Guidelines criteria in Chapter 1 of this Handbook in addition to the following standards for Tenant to adhere. A nationally-recognized tenant may be afforded an interpretation of this design criteria and apply it to its prototype storefront for approval by Landlord but the building must take on the flavor of the Shopping Center. Each tenant is required to design within the parameters set forth by the Shopping Center.

Since the Pad Tenant represents a major attraction to the Shopping Center, their building design needs to reflect a dramatic and individual design image, while containing common design elements of the Center. This is intended to establish design standards to encourage Pad buildings to become a unique, yet consistent part of the overall Shopping Center.

The criterion are a basic “set of tools” that the Tenant is required to work with and expand upon. Criterion is written to encourage some freedom of individual expression and to provide a common point of departure for all tenants while adhering to Shopping Center Guidelines.

The building facades should be designed to give an innovative design concept. Tenants are encouraged to take full advantage architecturally of the Shopping Center Design Standards.

National or regional tenants who have a typical or recognizable building design are expected to review the Design Guidelines and adjust their design to ensure compatibility and compliance.

Retailers with a drive-thru window, auto service bays or fuel pumps will be subject to a separate review by Landlord. Those items must not be on a façade facing the public street or the main Shopping Center. All drive-thru windows shall have landscape screening. Drive-thru windows, menu boards and screening shall be submitted to Landlord for approval. The Landlord shall have final approval of drive-thru and menu board locations.

Required Exterior Building Materials

All buildings shall meet the minimum requirements of the material standards noted below:

Reference these Design Guidelines, Chapter 3, for the Color and Material Board and design exhibits.

Main building facades – 30% scored EIFS or stucco minimum. 40% minimum approved masonry materials.

Building parapet cap element – pre-finished metal. All facades of building.

Entry façade element – maintain a minimum of 40% minimum approved materials.

Final Exterior Building Design shall be as designed by or subject to approval of the Landlord.

Exposed pitch roofs – not permitted.

Decorative wall sconces per Shopping Center Standards.

Internal gutters and downspouts.

Roofs

The roof materials and roofline compositions shall be consistent or compatible with the Shopping Center design and provide an integral part of the individual building design. The following is acceptable roof material:

Mechanically fastened 45 mil FiberTite roof membrane with a minimum R-30 insulation factor and an exterior wall screening parapet.

All roof slopes and configurations are subject to Landlord approval.

Site Lighting

Tenant’s Architect should make every effort to create an exciting and functional lighting program for the needs of the Tenant. Therefore, the Landlord has established the following requirements for tenant lighting:

Site lighting shall be as per the Design Guidelines.

Tenant is responsible for all lighting within the entire Pad premises.

No lighting shall be installed outside the Pad premises.

Incandescent pendant units may be used for general exterior lighting only if Tenant has established an identity based on this theme or motif, and only at Landlord’s discretion.

In general, all site lighting shall be in accordance with the Design Guidelines and shall be shielded to reflect downward or shall direct light away from residential areas, or any other areas deemed unacceptable by the Landlord or the City. Refer to Chapter 6 for additional site lighting criteria.

Trash Enclosures

All trash enclosures and service areas shall be appropriately screened to reasonably hide them entirely from public view. All trash enclosures and service areas shall utilize the appropriate and approved masonry materials to match Shopping Center Standards. All gates shall be metal/steel construction to match the Shopping Center Standard. All trash enclosures shall meet the city codes, planning criteria and approvals.

Screening

The following items shall be either located out of direct public view or adequately screened by a wall utilizing the appropriately approved masonry materials:

- Gas meters and any associated piping
- Electric meters and any associated conduits
- Transformers
- Trash compactors
- Any ground installed equipment
- Trash dumpsters, service areas, recycling bins and grease interceptors

All roof mounted equipment shall be adequately and completely screened from any adjacent property, public right of ways, and/or pedestrians' view by means of exterior building walls or Landlord approved equipment screening. All rooftop screening shall be integrally designed into the building by use of roof parapets and walls. Painting of equipment as a method of screening is not allowed.

Civil/Site work

This section applies to tenants and/or purchases of out parcel pad sites for the proposed development. Civil/Site work plans for each Pad should be prepared and submitted to the Landlord's Engineer in the same manner outlined for the architectural review and approval process.

No construction may proceed on any out parcel pad site prior to receiving notification from the Landlord's engineer that the Civil/Site work plans have been approved. Civil/Site work plans must be submitted directly to the Landlord's Tenant Coordinator for distribution and review. The Landlord's Engineer will review the plans and comments will be issued to the Tenant stating either "Approved", "Approved as Noted", or "Returned for Corrections". It is suggested that plans are submitted in preliminary form prior to Queen Creek Site Plan submittal and then again prior to CD submittal. The Landlord review does not replace any necessary reviews by regulatory agencies.

Civil/Site work plan submittals shall include, but not be limited to the following plans/profile sheets:

- Site Plan (Approved by Architect)
- Proposed Grading Plan
- Proposed Utility Plan
- Proposed Paving Plan
- Proposed Site Lighting Plan
- Proposed Landscaping Plan

Plan submittals shall also include all details of construction showing type, size, location, and materials for any proposed retaining walls, monument signs, sidewalks, traffic control signs, or any other structure that is to be located on the property.

The following are the general guidelines for general site design and plan submission. Exception to these guidelines will be evaluated on an individual basis.

Grading Plan

The finish floor elevation of the Tenant's building shall be the elevation identified on the Landlord's grading plan. If the Tenant requires the finish floor elevation to deviate from the elevation given by the

Landlord, the Tenant shall be responsible for contacting the Landlord's Engineer stating the reasons for the new finish floor elevation.

- Parking lot grades shall not exceed 3.0 percent.
- Slopes in landscape areas shall not exceed 5:1 (horiz:vert.).

Methods to control siltation and erosion of soil onto adjacent properties during construction must be incorporated into the Tenant's design plans. It shall be the Tenant's responsibility to erect and maintain erosion control measures and the associated permitting required for any grading operations conducted by the Tenant.

Utility Plan

Connections for water service and sanitary service shall be designed to applicable local, state or federal standards.

Underground stormwater collection systems shall be coordinated with the Landlord's Engineer.

Storm sewer curb and grate inlets shall be used to collect surface water. Inlets used shall match those used within the Shopping Center. Plans shall include construction details of inlets. (Contact Landlord's Engineer for appropriate inlet types.)

Location of electrical transformer must be shown.

Tenant is responsible for contacting local phone, cable, and natural gas and electrical providers to coordinate service locations. Schematic location of these services must be shown on plans.

The use of concrete flumes to direct stormwater across landscaped areas or sidewalks is prohibited.

Paving Plan

- Plans shall include:
 - Typical stall dimensions, including location of handicap stalls.
 - Dimensions of all driveways, aisles, and islands.
 - Spot elevations sufficient to determine slope of all pavement sections.

Site Lighting Plan

Site lighting design shall be compatible with the overall site lighting concept of the Shopping Center.

Landscape Plan

Landscape design shall be compatible with the overall landscape concept of the Shopping Center.

Exterior Furniture

Tenants that have an exterior seating area shall supply exterior furniture per the following quality stan-

dards. All tenant exterior seating areas shall be per an established Lease Agreement and shall be in conformance with Premises Plan, local codes and ordinances. Exterior seating furniture consisting of benches, tables, chairs, enclosures and trash receptacles shall be identified by cut-sheets and/or scaled details supplied to the Landlord for approval. Other site details shall be consistent with the Shopping Center Standards and shall be approved by the Landlord. The Landlord shall have final approval of all exterior furniture and seating enclosures.

Pedestrian Areas

The walkways and public shall create a pedestrian scaled and aesthetically pleasing environment that allows safe and enjoyable movement between the shopping areas throughout the development. The pedestrian areas shall consist of a specialty paving material consisting of scored, stained and stamped concrete, ornamental plantings and seasonal planting beds to soften the spaces, decorative lighting for aesthetics and safety, exterior furniture for relaxation and gathering spaces at key locations throughout the shopping center. All materials shall conform to the shopping center standards. All materials shall be submitted to the Landlord for approval. The Landlord shall have final approval of materials.

Landscape Requirements

It is the responsibility of the Tenant to provide landscaping in accordance with local codes and ordinances, as well as, the general design parameters of the overall Shopping Center. The intent of the landscape is to create a consistent landscape design throughout the entire Shopping Center. Plant material shall be used to define and frame spaces, accent the architecture of the buildings, creating human scaled environments and transitions from the hard surfaced areas to the softer pedestrian scaled spaces. Plants shall consist of deciduous and evergreen trees, shrubs, perennials and ground covers. The landscape Plant Material Palette contains a pre-approved list of plant materials. Landscape Plans shall be submitted to Landlord for approval. The Landlord has the right to change plant material placement and species to allow connection with the overall design of the shopping center. No substitutions shall be permitted after approval from the Landlord.

Landscape irrigation systems shall be required for all plant and lawn areas to insure the survivability of the plantings. Landscape irrigation system design plans must be submitted to the Landlord for review and approval. The Landlord shall have final approval of all landscape & irrigation plans.

General Notes for Pad Tenants

- Due to the changing nature of project, the Landlord may have criteria not explicitly defined in this manual which may apply to all or portions of the Shopping Center.
- As the Shopping Center moves forward, additional criteria may be added and/or existing criteria modified or clarified which may affect the Tenant's design documents.
- Please contact the Landlord and its Engineer for supplemental criteria, which may be available.
- The Landlord also reserves the right to evaluate specific items not addressed by these criteria if those items affect the function or overall appearance of the project.
- Substitutions and exceptions to these criteria may be granted in extreme cases.

- Local government rules and regulations shall govern if in conflict with these criteria.
- Review of the plans by the Landlord's Engineer is for checking conformance to the Shopping Center Design Criteria provided herein only.
- Review and approval of the Tenant's design plans is not meant to provide quality assurance/quality control measures.
- Tapping into Landlord's irrigation system is not permitted.

5. LANDSCAPE & IRRIGATION STANDARDS

It is the responsibility of the Tenant to provide landscape design and planting plans in accordance with local codes, ordinances and practices, as well as the Design Guidelines for the Shopping Center.

The intent of the landscape design is to create a consistent planting theme utilizing a similar palette of materials throughout the entire Shopping Center. Large-scale plant material and plant groupings shall be used to define and frame entries and create public spaces and 'outdoor rooms' while unique specimen plants may be selected to accent specific architectural details of the buildings. The desired effect is to create human-scaled environments throughout and transition from the vehicular hardscape to the shaded pedestrian-scaled spaces.

Plant materials will be selected from an enhanced desert landscape palette of native and naturalized trees, shrubs, perennials and vegetative ground covers.

This section contains a pre-approved list of materials, including plant photographs and information regarding growth rate, size, flower color and their season, water needs and preferred exposure.

All Landscape Plans shall be submitted to the Landlord for approval. The Landlord has the right to change plant material placement and species in order to maintain a connection with the overall design of the Shopping Center. No substitutions shall be permitted once Landlord has approved the Tenant's plans.

Irrigation

Automatic irrigation systems are required for all planting areas to insure the survivability of the plantings. Peak flow demands shall be based on applying peak weekly irrigation requirements in 6 hours – 12:00AM-6:00AM. The landscape design shall be based upon available static pressure minus 10% for fluctuations. Areas requiring overhead spray shall be minimized and shall be restricted to ground cover areas only. All other areas must use drip irrigation.

Spray heads next to roadways and walkways must have low angle (10%) nozzles. Large radius rotor heads (25-foot radius or greater) are not allowed. In all applications, overhead irrigation heads may not throw water directly onto any roadway, walkway or paved surface.

All spray heads (15-foot radius or less) shall be spaced no further than 45% of the spray diameter to account for area wind conditions. Spacing for large radius rotors (25-foot radius or greater) shall not exceed 50% of the spray diameter. Spray-irrigated areas shall be a minimum of 10 feet wide when adjacent to roadways and a minimum of 6 feet wide in other use areas.

Drip Irrigation

The minimum quantity of emitters per plant should be in accordance with the following table. Some variation may occur due to differences in water demand between plant materials.

Plant Size	Emitter Volume	Quantity
	1 gallon:	1 GPH (1) each
	5 gallon:	½ to 1 GPH (2) each
	15 gallon:	2 GPH (3) to (4) each
	24" box:	2 GPH (4) to (5) each
	36" box:	2 GPH (6) to (7) each
	48" box:	2 GPH (7) to (8) each
	54" box:	2 GPH (9) to (12) each
	60" box:	2 GPH (12) to (16) each

Zoning

Overhead and drip irrigation systems must be zoned for exposure (south and west exposures together, north and east exposures together), topography, and varying water requirements of plant material.

Water Management

All irrigation systems for the Shopping Center common areas shall use solid state electronic microprocessor controllers capable of a minimum of three operating programs and four start times per program.

Landscape Irrigation System Design Plans must be submitted to the Landlord for review and approval. The Landlord shall have final approval of all landscape and irrigation plans.

PLANT LIST

Trees

Olea europaea "Wilsonii"
Wilson's Seedless Olive

Pistacia x Red Push
Red Push Pistache

Quercus virginiana "Heritage"
Cathedral Live Oak

Caesalpinia mexicana
Mexican Bird of Paradise

Chilopsis linearis "Seedless"
Seedless Desert Willow

Ulmus parvifolia "Sempervirens"
Evergreen Elm

Shrubs

Nerium oleander "Petite Pink"
Dwarf Pink Oleander

Bougainvillea "Torch glow"
Torch Glow Bougainvillea

Muhlenbergia rigens
Deer Grass

Tecoma stans "Sunrise"
Arizona Yellow Bells

Eremophila hygrophana
Blue Bells

Caesalpinia gilliesii
Yellow Bird of Paradise

Hesperaloe funifera
Giant Hesperaloe

Hesperaloe "Pink Parade"
Pink Parade Yucca

Groundcovers

Lantana montevidensis
New Gold/Trailing Purple Lantana

Eremophylla glabra "Mingenew Gold"
Outback Sunrise Emu

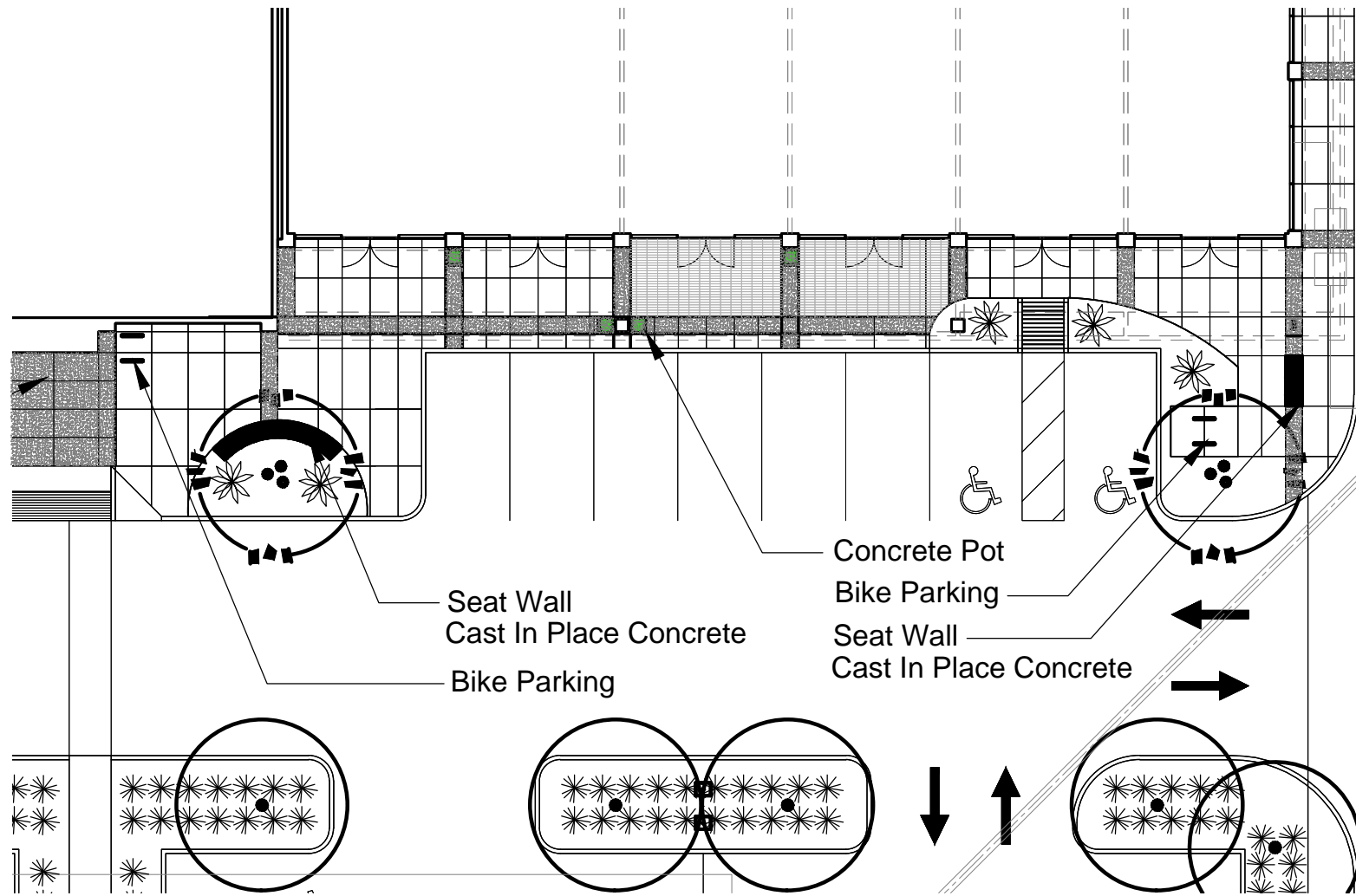
Convolvulus cneorum
Bush Morning Glory

Inert Material


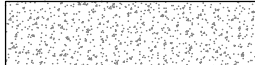

Decomposed Granite
1/2" Screened
2" Depth
Rock Pros - Express Rose

Artificial Turf
ForeverLawn Fusion
Fusion PRO
Infill: 3lbs ± of rounded sand psf

Non Grouted Rip-Rap
3"-6"
3" Min Depth
Rock Pros - Rose



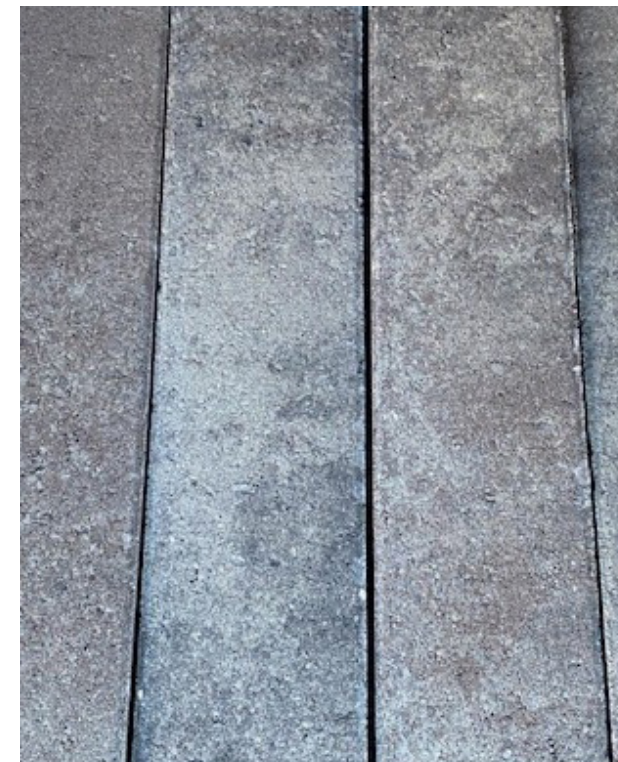
HARDSCAPE SCHEDULE:

-  Gray Concrete with Light Broom Finish
-  Acid Wash - Medium Texture - Color TBD
-  Concrete Pavers - with Sealer

Hardscape Design Example



Concrete Finish
Acid Etched, Medium



Concrete Pavers
3x12, 80mm thick
Sonoran Gray
by Belgard

Hardscape Materials



2' Square Concrete Pot
Quick Crete Products



Bike Rack
LandscapeForms - Emerson Series



Seatwall
Cast In Place Concrete

Pad Site Amenities


6. SITE LIGHTING CRITERIA

This section shall apply to all lighting installed for illumination of parking lots. This section does not apply to any fixtures mounted in or on buildings or common gathering structures.

All site lighting installed within the development property shall be designed according to the following standards:

- All fixtures shall be of LED type. High-pressure sodium light fixtures are prohibited.
- All parking surfaces, walkways and drive spaces shall be illuminated such that 1.9 foot candles (fc) min. is maintained at ground surface. Average illumination for the same spaces shall be minimum 5.0 fc. A light loss factor no greater than 0.75 shall be used. Setback and landscaped areas, which do not contain walkways or parking, are not bound by these requirements.
- Footcandle levels shall be shown out to the lot line or to a zero foot candle level. These levels shall be shown on the drawings but not included in calculations obtained above.
- Uniformity fc ratios:
 - Shall not exceed 4:1 average-to-minimum
 - Shall not exceed 15:1 maximum-to-minimum
 - These uniformity levels shall be followed unless the City having jurisdiction designates stricter requirements. Verification of requirements for the area having jurisdiction must be completed and implemented prior to submitting plans.
- Site lighting poles for main parking lot areas and outparcels shall not exceed 25 feet in height measured from the ground surface. Calculation of the pole height shall include the base, if a base is used.
- Square steel, anchor base poles shall be used in all locations. Exceptions for walkways and common gathering places may be granted if deemed appropriate for the development by the Landlord.
- The appearance shall be a finish to match the shopping center. Site lighting poles for the main parking lots and outparcels shall be Lithonia. See specification cut-sheets which follow.
- Each pole for the main parking lots and outparcels shall be installed upon a round concrete base with 3'-0" height above grade and 24" diameter.
- No more than two fixtures may be mounted (at any height) on one pole.

D-Series Size 1 LED Area Luminaire



Specifications

EPA: 1.01 to 10.00
Length: 33"
Width: 13"
Height: 7.12"
Weight (max): 27 lbs

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL[®] controls marked by a shaded background. DTL, DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability!
- This luminaire is part of an A+ Certified solution for ROAM[®] or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background!

To learn more about A+, visit www.acuitybrands.com/aplus.

- See ordering tree for details.
- A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately. [Link to ROAM](#) or [Link to DTL](#).

Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9 P10* P12* P11* P13*	30K 3000K 40K 4000K 50K 5000K AMBK Amber phosphor converted	T15 Type I short T16 Type I short T17 Type II medium T18 Type II short T19 Type II medium T20 Type II medium T21 Forward three medium T22 Type I very short	T5 Type I short T6 Type I short T7 Type I medium T8 Type I short T9 Type I medium T10 Type I medium T11 Forward three medium T12 Type I very short	MVOLT ¹ 320V ¹ 208V ¹ 240V ¹ 277V ¹ 347V ¹ 480V ¹	Shipped included SRA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUNSA Square pole universal mounting adaptor ² SPUNSA Round pole universal mounting adaptor ² KMAR DDBXD ³ Max arm mounting bracket adaptor (specify beam)

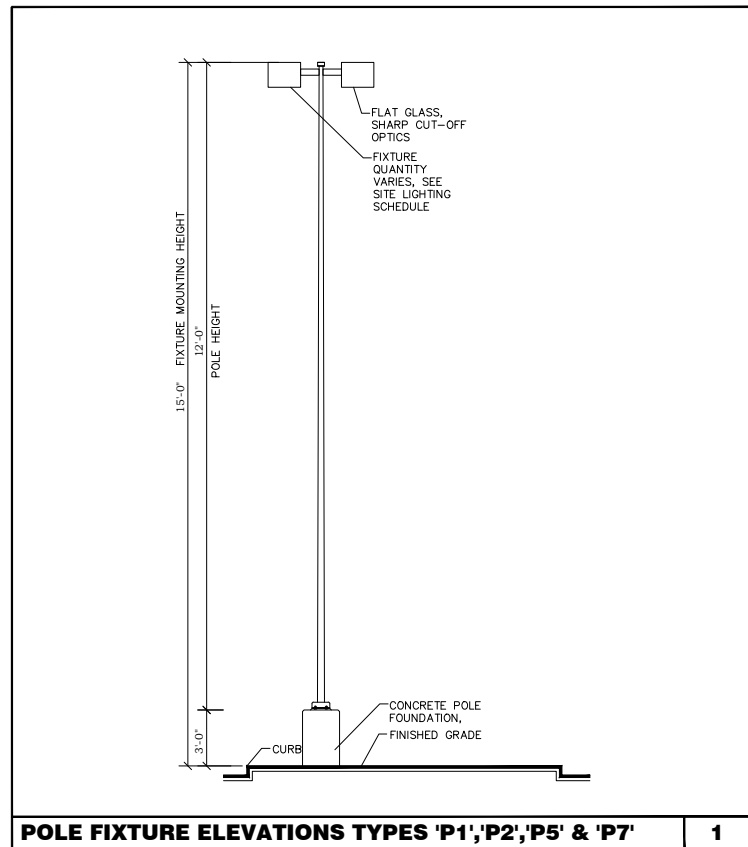
Control options

Shipped included	Other systems	Finish
NLMBZ ⁴ 4-level 48V generation 2 enabled ¹	PBIRFCV Bi-level motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 15' ^{1,2}	DBBK Dark bronze
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBLD Black
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBND Natural aluminum
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBWH White
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBSD Sandstone
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBEW Textured dark bronze
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBED Textured dark bronze
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBRD Textured dark bronze
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBRW Textured white
PER Free-wire receptacle only (controls ordered separately) ^{1,2}	BL30 Bi-level switched dimming, 50K, 10K ^{1,2}	DBWD Textured white


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FIXTURE TYPES 'P1', 'P2', 'P3', 'P4', 'P6', 'P7' & 'P8'

N.T.S.



WDGE2 LED Architectural Wall Sconce Precision Refractive Optic



Specifications

Depth (D1): 7"
Depth (D2): 1.5"
Height: 9"
Width: 11.5"
Weight (without options): 13.5 lbs

WDGE LED Family Overview

Luminaire	Optic	Standard EM, 5°C	Cold EM, 20°C	Sensor	Approximate Lumens (4000K, 80CRI)								
					P1	P1	P2	P3	P4	P5	P6	P6	
WDGE1 LED	Visual Comfort	4W	—	—	750	1,200	2,000	—	—	—	—	—	—
WDGE2 LED	Visual Comfort	10W	10W	Standalone / r/light	—	1,200	2,000	3,000	4,500	6,000	—	—	—
WDGE2 LED	Precision Refractive	10W	10W	Standalone / r/light	700	1,200	2,000	3,200	4,200	—	—	—	—
WDGE3 LED	Precision Refractive	15W	10W	Standalone / r/light	—	7,500	8,500	10,000	12,000	—	—	—	—
WDGE4 LED	Precision Refractive	—	—	Standalone / r/light	—	12,000	16,000	18,000	20,000	22,000	25,000	—	—

Ordering Information EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P3*	27K 2700K	70CRI*	T15 Type I short	MVOLT	Shipped included
	P1*	30K 3000K	80CRI	T2M Type II medium	347V ¹	SMA Surface mounting bracket
	P2*	40K 4000K	80CRI	T3M Type II medium	480V ¹	ICW Indirect energy chiling
	P3*	50K 5000K	80CRI	T4M Type II medium	—	EWK Surface mounted back box (top, left, right, corner entry). Use when there is no junction box available.
	P4*	AMB	Amber	T17M Forward Three Medium	—	—

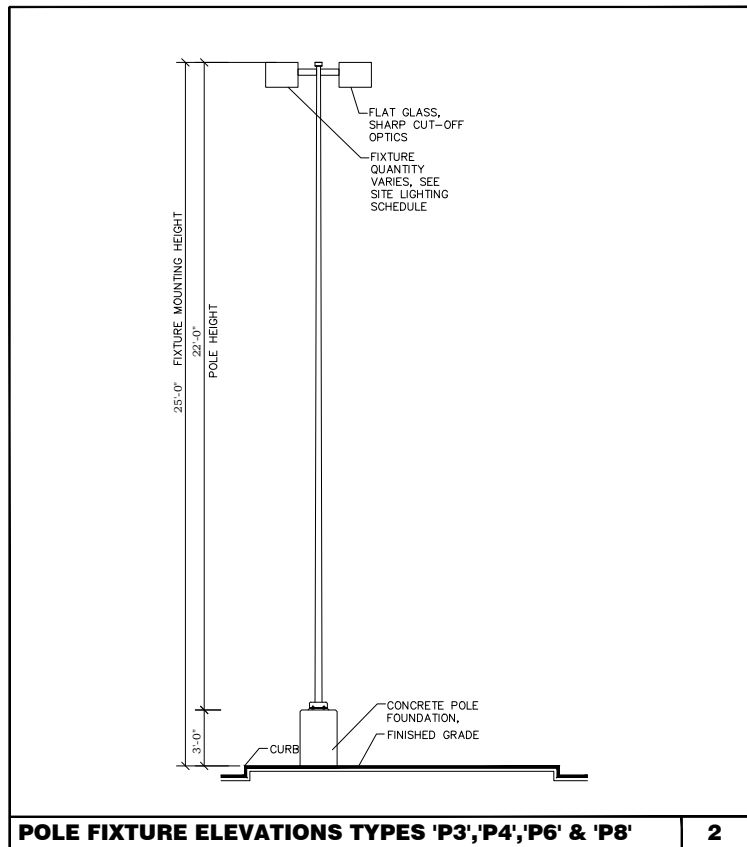
Options

System	Finish
E15WH Emergency battery backup, Certified in CA Title 20 MAREBS (10K, 5V, 48V)	DBBK Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAREBS (10K, 20V, 48V)	DBLD Black
PC1 Phosorad, Button Type	DBND Natural aluminum
PC2 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBSD Sandstone
PC3 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBEW Textured dark bronze
PC4 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBED Textured dark bronze
PC5 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBRD Textured dark bronze
PC6 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBRW Textured white
PC7 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBWD Textured white


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FIXTURE TYPE 'W1'

N.T.S.



WDGE3 LED Architectural Wall Sconce



Specifications

Depth (D1): 8"
Depth (D2): 1.5"
Height: 9"
Width: 18"
Weight (without options): 19.5 lbs

WDGE LED Family Overview

Luminaire	Standard EM, 5°C	Cold EM, 20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	—	—	1,200	2,000	—	—	—	—
WDGE2 LED	10W	10W	Standalone / r/light	1,200	2,000	3,000	4,500	6,000	—
WDGE3 LED	15W	10W	Standalone / r/light	7,500	8,500	10,000	12,000	—	—
WDGE4 LED	—	—	Standalone / r/light	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information EXAMPLE: WDGE3 LED P3 40K 70CRI R3 MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE3 LED	P1	30K 3000K	70CRI	R2 Type 2	MVOLT	Shipped included
	P2	40K 4000K	80CRI	R3 Type 3	347V ¹	SMA Surface mounting bracket
	P3	50K 5000K	80CRI	R4 Type 4	480V ¹	ICW Indirect Energy Chiling
	P4	—	—	R7 Forward Three	—	EWK Surface mounted back box (top, left, right, corner entry). Use when there is no junction box available.

Options

System	Finish
E15WH Emergency battery backup, Certified in CA Title 20 MAREBS (10K, 5V, 48V)	DBBK Dark bronze
E20WC Emergency battery backup, Certified in CA Title 20 MAREBS (10K, 20V, 48V)	DBLD Black
PC1 Phosorad, Button Type	DBND Natural aluminum
PC2 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBSD Sandstone
PC3 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBEW Textured dark bronze
PC4 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBED Textured dark bronze
PC5 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBRD Textured dark bronze
PC6 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBRW Textured white
PC7 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DBWD Textured white

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FIXTURE TYPE 'W2'

N.T.S.