

**Building Signage**  
**Major Retail**

# Desert Ridge Marketplace

## Major Retail Hard Goods District - Building Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT MAX.	SIZE	ILLUMINATION	MATERIALS
Tenant Signs for occupancy greater than 50000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Unrestricted Letter Height	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Tenant Signs for occupancy greater than 15000 SF but less than 50000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Letter Height: 72" Maximum	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Tenant Signs for occupancy less than 15000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Letter Height: 48" Maximum	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material

- NOTE: 1) All items indicated as "To Be Determined" (TBD) shall be submitted to the Zoning Administrator and/or his designated representative for review and approval prior to permit issuance.
- 2) Signage placed on wall surfaces not visible beyond property boundaries may be exempt from sign area and placement restrictions regulated by sign ordinance and this Comprehensive Sign Plan. The City of Phoenix shall make a determination on an individual case basis.
- 3) Signage placed on the rear elevation (south) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

**PERMANENT WINDOW GRAPHICS  
CAN ONLY BE APPLIED TO  
INTERIOR GLASS SURFACES AND  
CANNOT EXCEED 30% WINDOW  
COVERAGE.**

# Building Sign Criteria

## Hard Goods District

All tenant building signage shall conform to specifications established in the "Comprehensive Sign Plan" for Desert Ridge Marketplace. Specifications include size, placement, methods of illumination, colors, and materials that are utilized in the construction and installation of tenant's signage.

**Sign Area:** The maximum aggregate sign area per building elevation for each tenant within this district shall be calculated by multiplying one and one-quarter (1.25) times the length of the storefront and/or elevation occupied by the tenant.

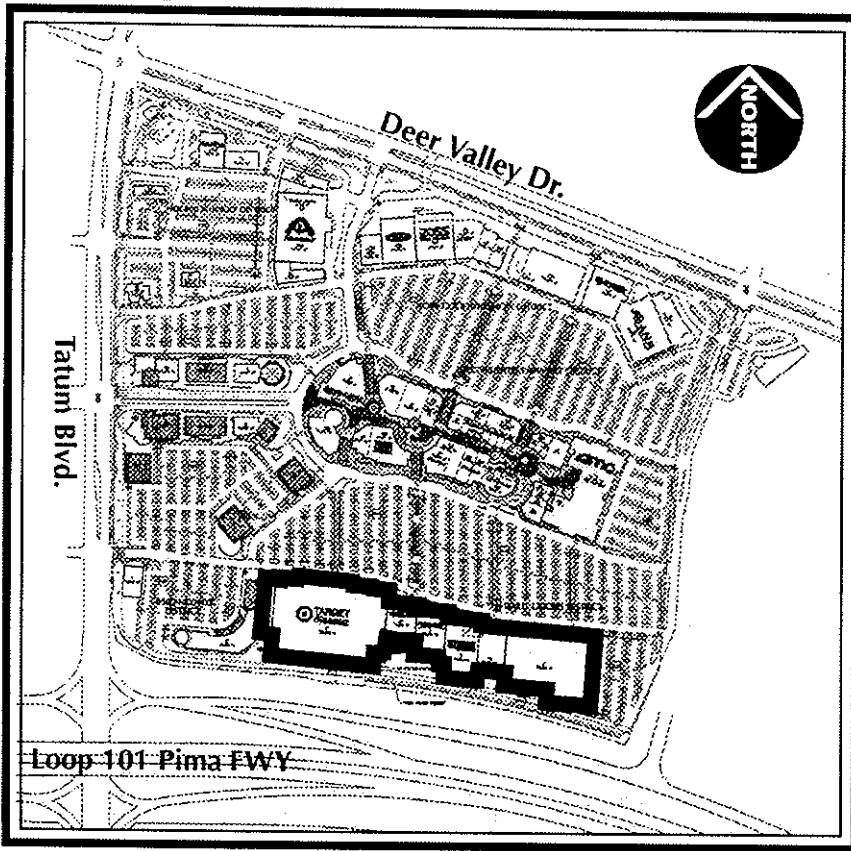
**Placement:** Each tenant may place its signage on wall surfaces specifically designated for such use. No sign element shall be placed closer to the roofline than one-half (1/2) the vertical dimension of the sign nor shall any sign be permitted to break the silhouette of the building upon which it is located unless specifically approved as part of the Comprehensive Sign Plan.

**Typestyle:** Tenant building signage shall consist of individual letters and logos consistent with tenant's corporate identity program. Sign cabinets may be permitted subject to developer's sole and discretionary review.

**Illumination:** Tenant building signage may be internally illuminated, backlit to create a silhouette, exposed neon and/or combination of lighting methods mentioned herein.

**Letter Size:** Tenants occupying less than 15000 SF shall be limited to a maximum letter height of forty-eight (48") inches. Tenants occupying 15001 SF through 50000 SF shall be limited to a maximum letter height of seventy-two (72") inches. Tenants occupying greater than 50000 SF shall not be restricted to a specified letter height. All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Desert Ridge Marketplace.

**Length of Sign on Wall Surface:** In no event shall any sign exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed.



**NOTE:** Signage placed on the rear elevation (south) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.



Partial Front Elevation (North)

12'-0" dia. = 113.0 Sq Ft —  **TARGET** — 5'-2" x 26'-4" = 136.06 Sq Ft  
*Greatland* — 5'-2" x 26'-4" = 136.06 Sq Ft

**PHARMACY**  
 2'-6" x 19'-8" = 49.2 Sq Ft

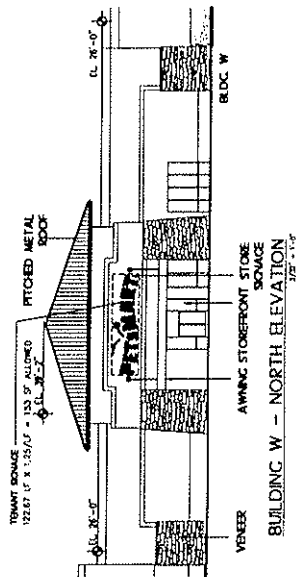
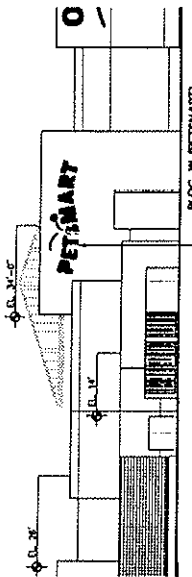
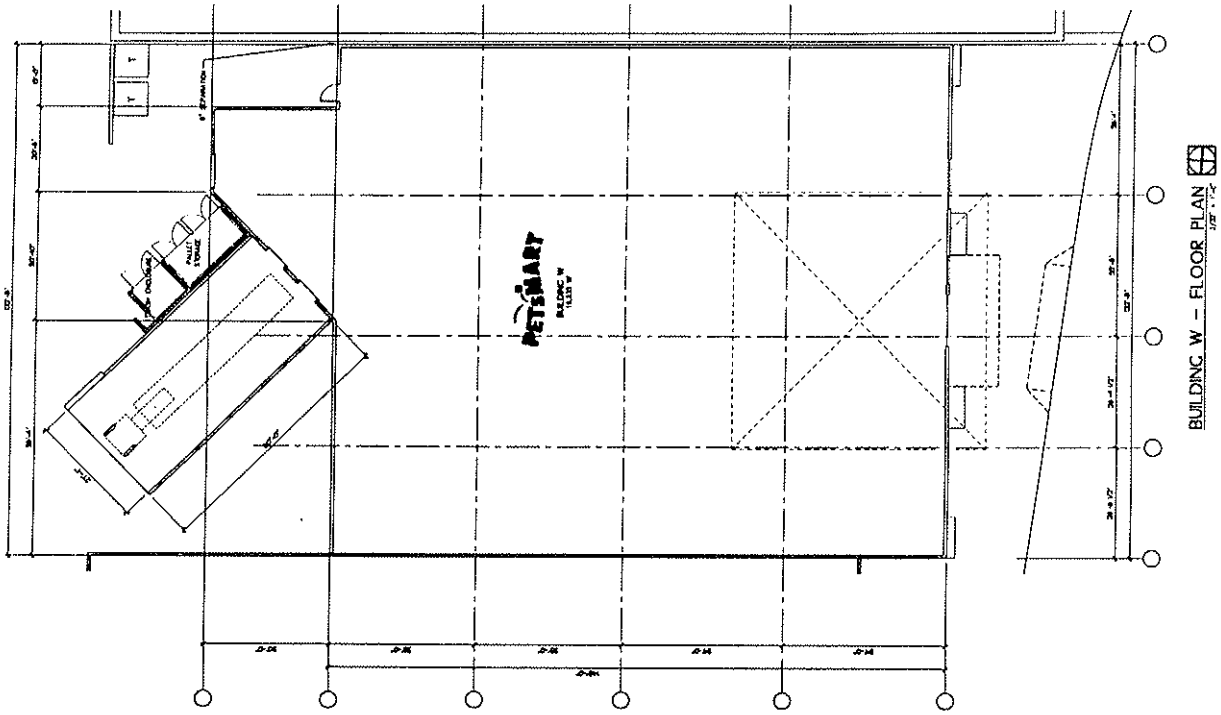
**GARDEN CENTER**  
 2'-6" x 28'-0" = 72.8 Sq Ft

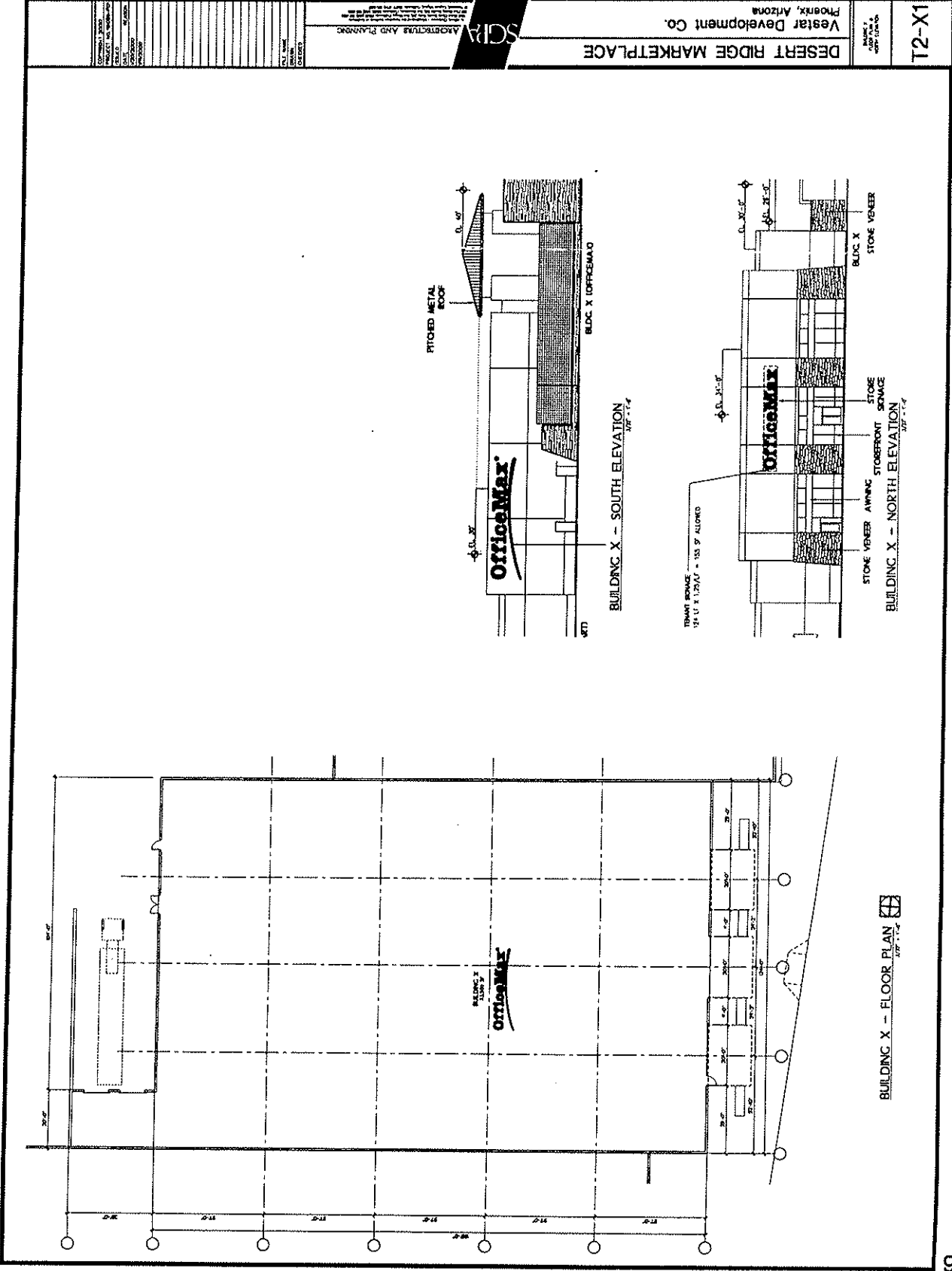
**507.12 SQUARE FEET TOTAL**

464'-0"



Entire Front Elevation (North)



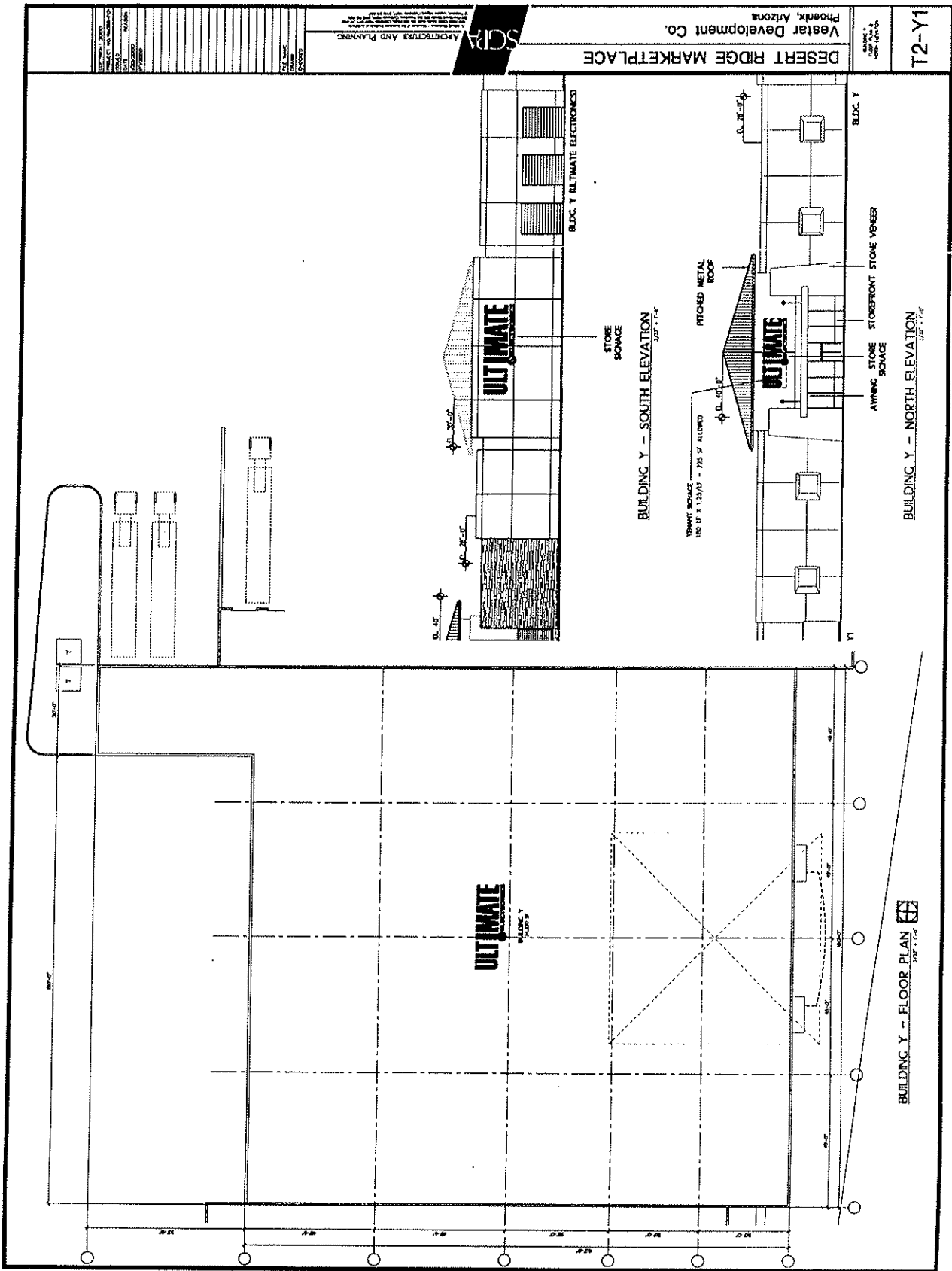


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PROJECT OWNER	PROJECT ADDRESS	PROJECT CITY	PROJECT STATE
PROJECT COUNTY	PROJECT ZIP	PROJECT PHONE	PROJECT FAX
PROJECT ELEVATION	PROJECT AREA	PROJECT PERMITS	PROJECT STATUS
PROJECT PHASE	PROJECT TYPE	PROJECT VALUE	PROJECT RISK
PROJECT RISK	PROJECT VALUE	PROJECT RISK	PROJECT VALUE

SCPA  
ARCHITECTURE AND PLANNING  
PHOENIX, ARIZONA  
3030 N. CENTRAL EXPRESSWAY, SUITE 200  
PHOENIX, ARIZONA 85018  
TEL: (602) 955-1111  
FAX: (602) 955-1112  
WWW.SCPA.COM

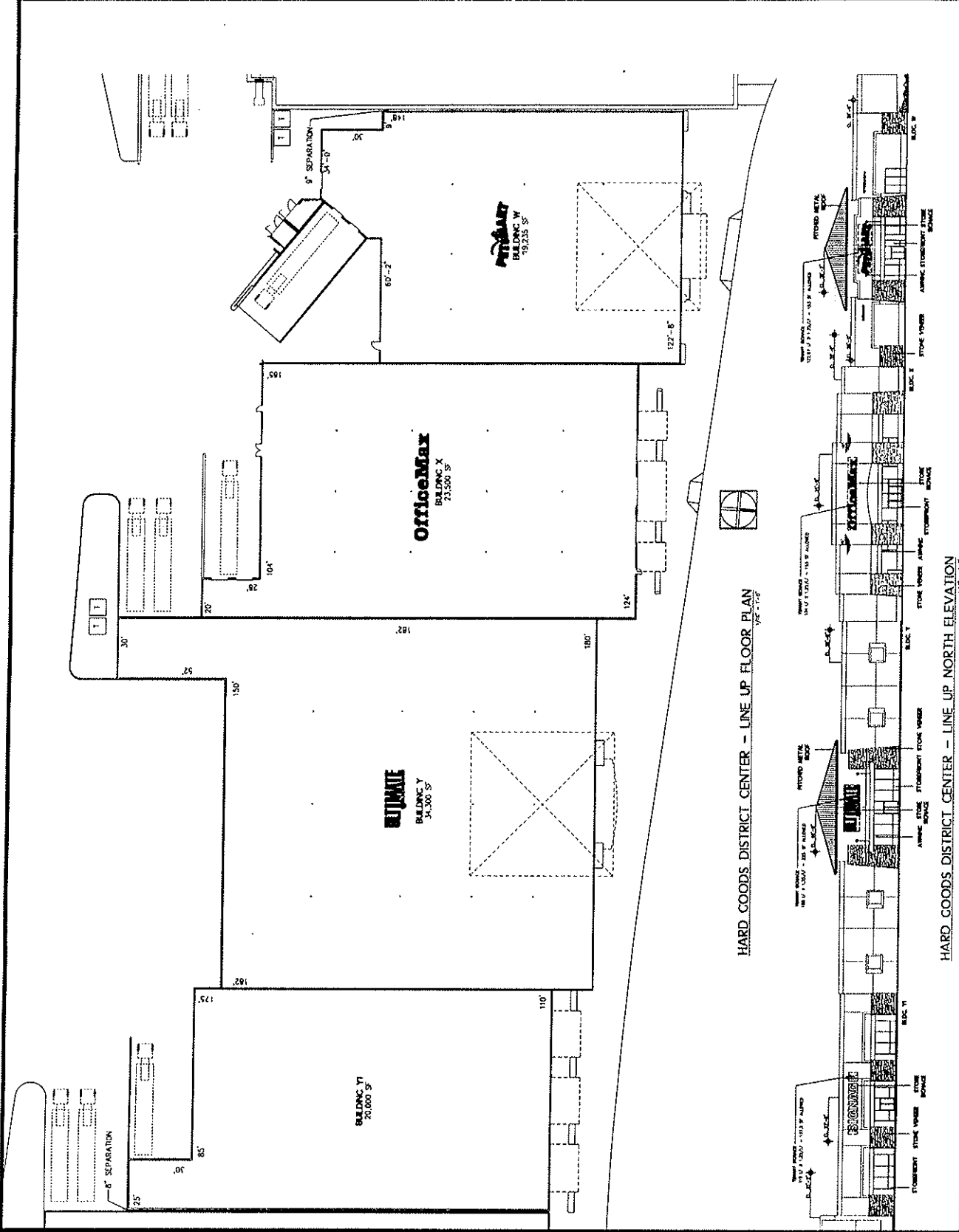
DESERT RIDGE MARKETPLACE  
Vestair Development Co.  
Phoenix, Arizona

T2-X1  
DATE: 1/16/00  
DRAWN BY: JMM

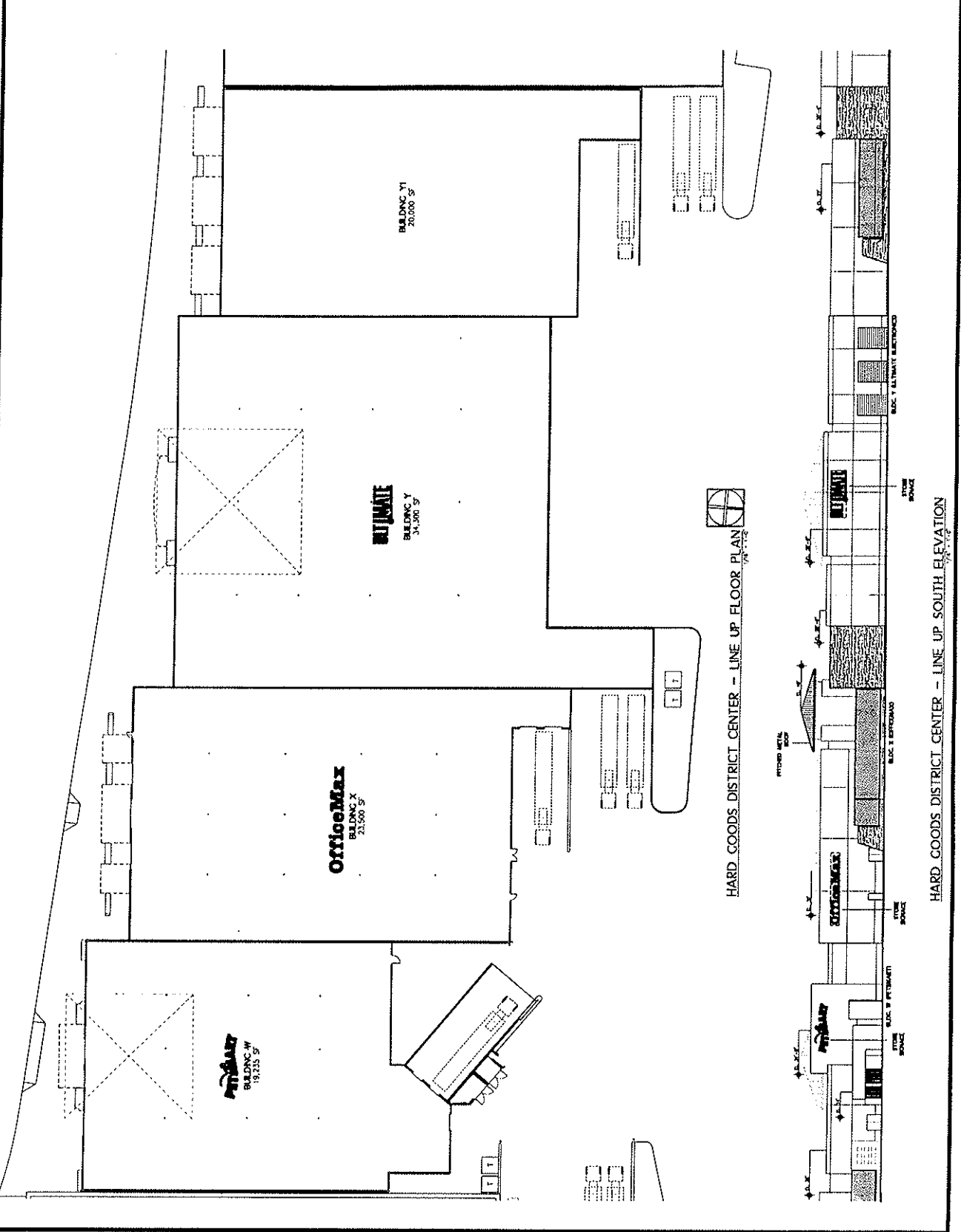


<p><b>DESERT RIDGE MARKETPLACE</b>          Vestar Development Co.          Phoenix, Arizona</p>	<p><b>SCPA</b>          ARCHITECTURE AND PLANNING</p>	<p><b>T2-Y1</b></p>
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L2-1







# Desert Ridge Marketplace

## Major Retail Soft Goods District - Building Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT MAX.	SIZE	ILLUMINATION	MATERIALS
Tenant Signs for occupancy greater than 50000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	35' Unrestricted Letter Height	1.25 SF / Linear Foot of Building Storefront and/or Elevation (Typical)	Interior, Backlit, Exposed Neon, or any combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
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- 3) Signage placed on the rear elevation (north) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

# Building Sign Criteria

## Soft Goods / Fashion District

All tenant building signage shall conform to specifications established in the "Comprehensive Sign Plan" for Desert Ridge Marketplace. Specifications include size, placement, methods of illumination, colors, and materials that are utilized in the construction and installation of tenant's signage.

**Sign Area:** The maximum aggregate sign area per building elevation for each tenant within this district shall be calculated by multiplying one and one-quarter (1.25) times the length of the storefront and/or elevation occupied by the tenant.

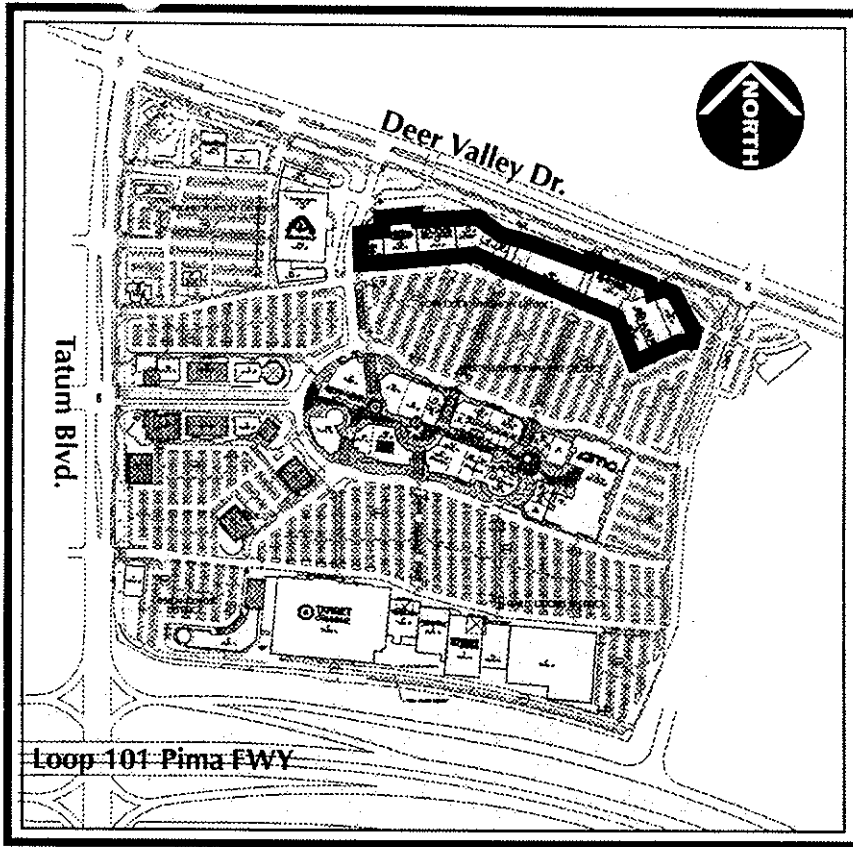
**Placement:** Each tenant may place its signage on wall surfaces specifically designated for such use. No sign element shall be placed closer to the roofline than one-half (1/2) the vertical dimension of the sign nor shall any sign be permitted to break the silhouette of the building upon which it is located unless specifically approved as part of the Comprehensive Sign Plan.

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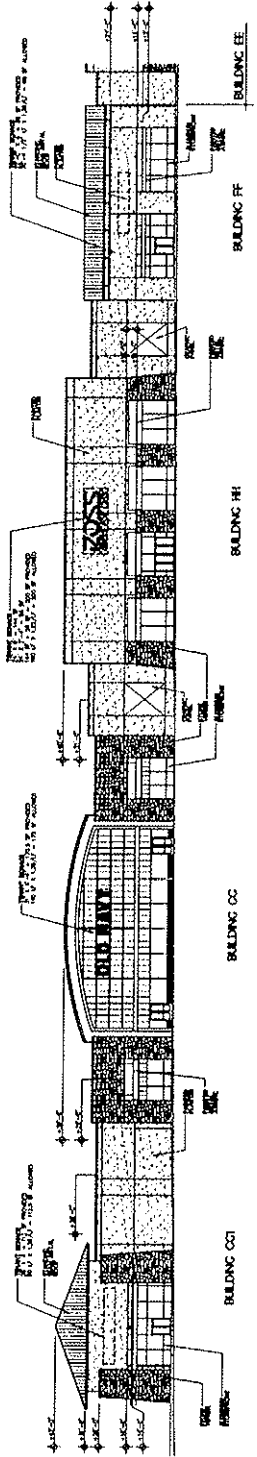
**Letter Size:** Tenants occupying less than 15000 SF shall be limited to a maximum letter height of forty-eight (48") inches. Tenants occupying 15001 SF through 50000 SF shall be limited to a maximum letter height of seventy-two (72") inches. Tenants occupying greater than 50000 SF shall not be restricted to a specified letter height. All signage shall be reviewed and approved by the developer and shall be appropriate to the surrounding building features, environment, and thematic design of Desert Ridge Marketplace.

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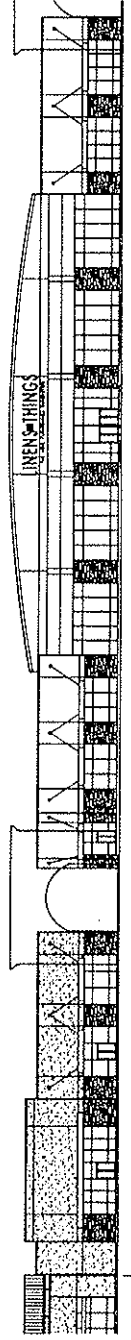


**NOTE:** Signage placed on the rear elevation (north) shall be limited to 0.75 SF/linear foot of building storefront and/or elevation. In no event shall any sign exceed 250 SF. Copy shall be limited to corporate identification, logos, or combination thereof.

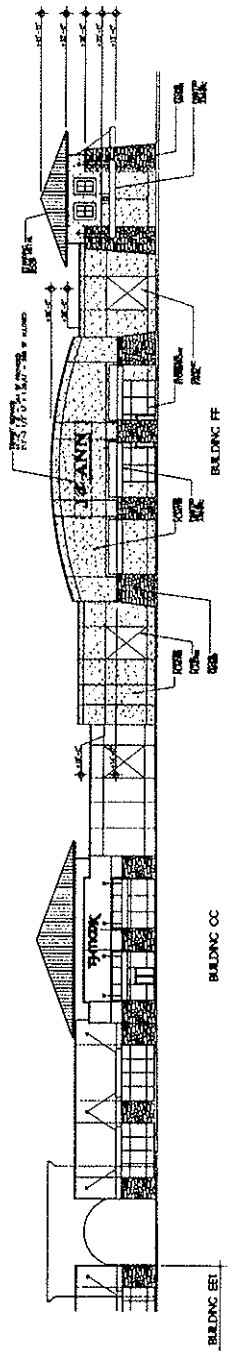
V 2.0 - April, 2000  
99



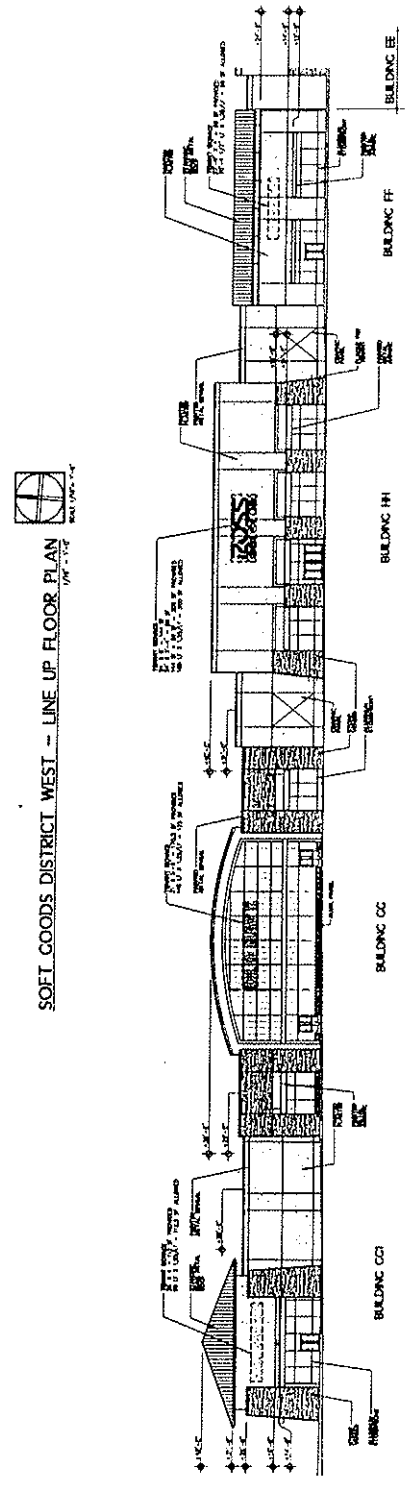
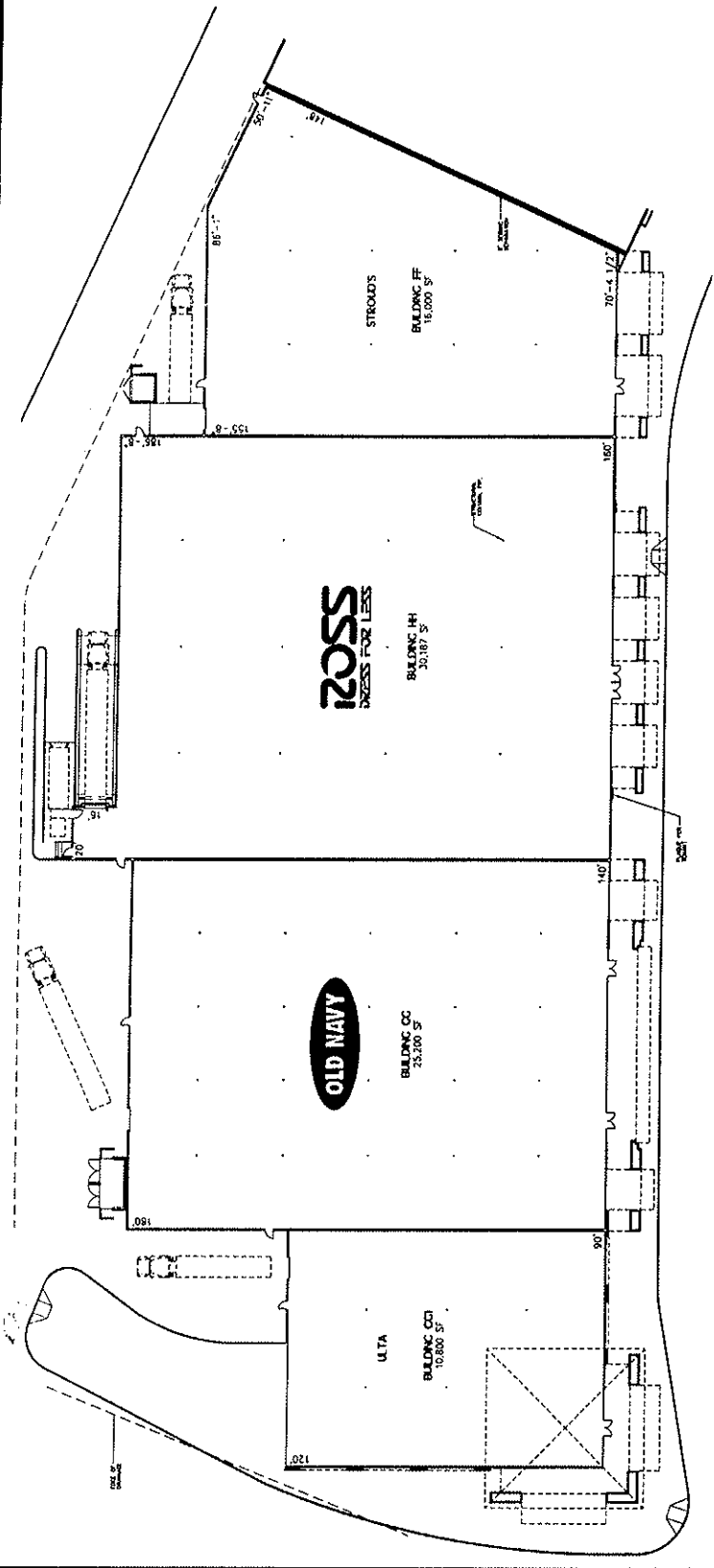
SOFT GOODS DISTRICT WEST - NEIGHBORHOOD SOUTH ELEVATION  
 11/11/09



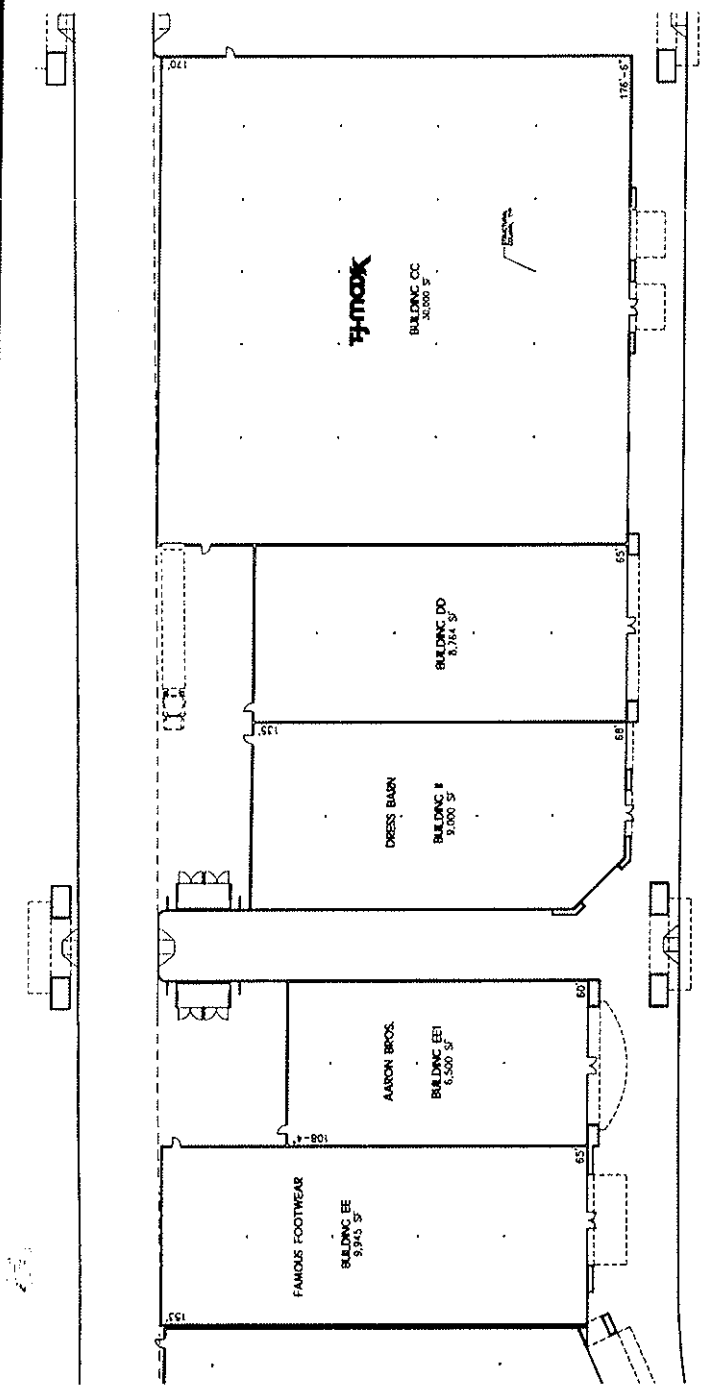
SOFT GOODS DISTRICT CENTER - NEIGHBORHOOD SOUTH ELEVATION  
 11/11/09



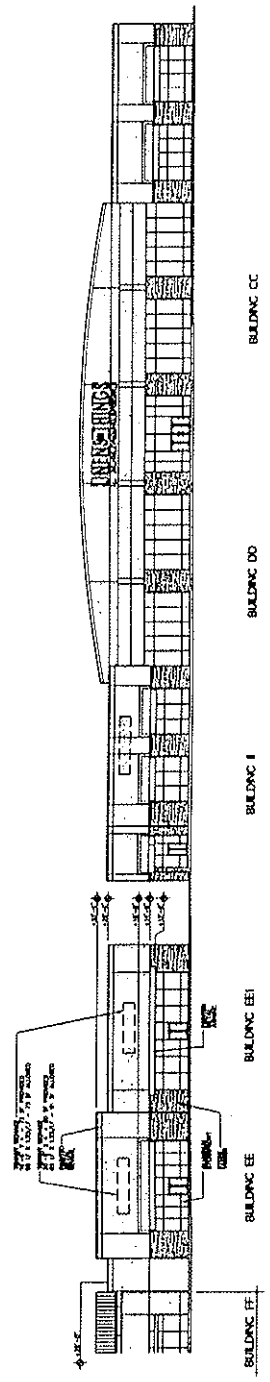
SOFT GOODS DISTRICT EAST - NEIGHBORHOOD SOUTHWEST ELEVATION  
 11/11/09



NO.	DATE	DESCRIPTION
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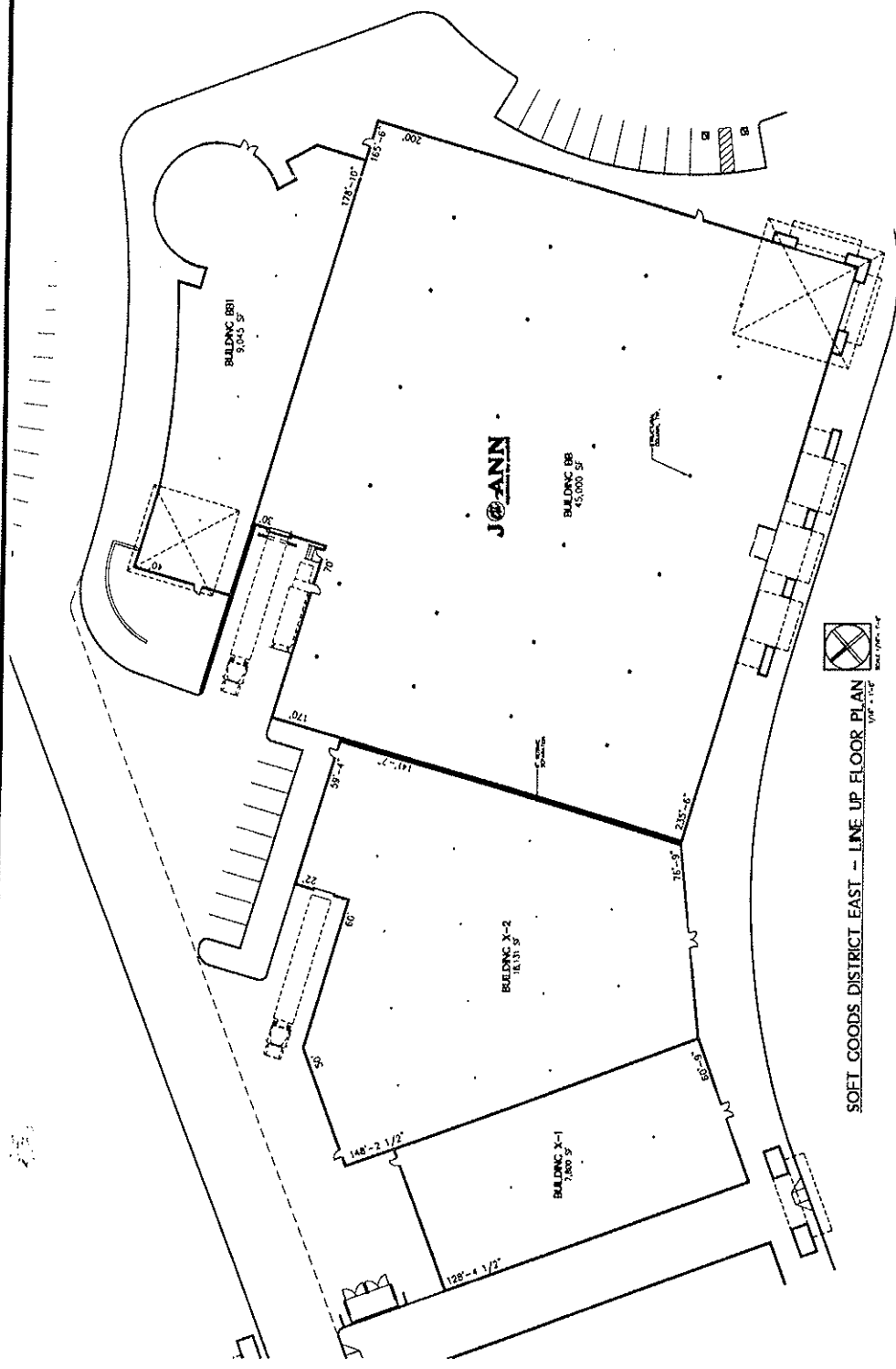


SOFT GOODS DISTRICT CENTER - LINE UP FLOOR PLAN  
VET - 112

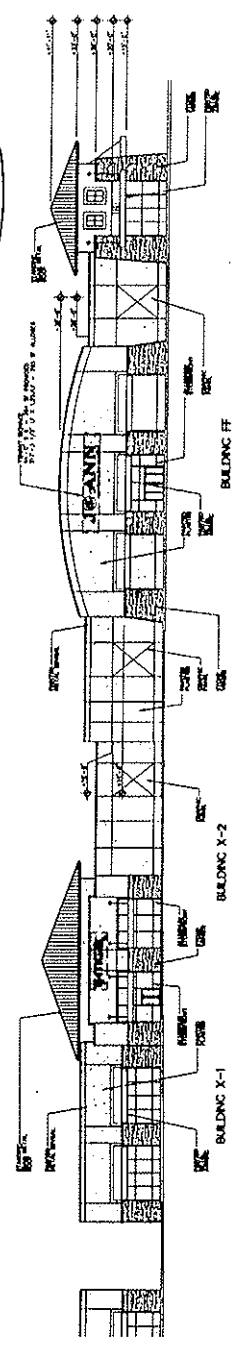


SOFT GOODS DISTRICT CENTER - LINE UP SOUTH ELEVATION  
VET - 112

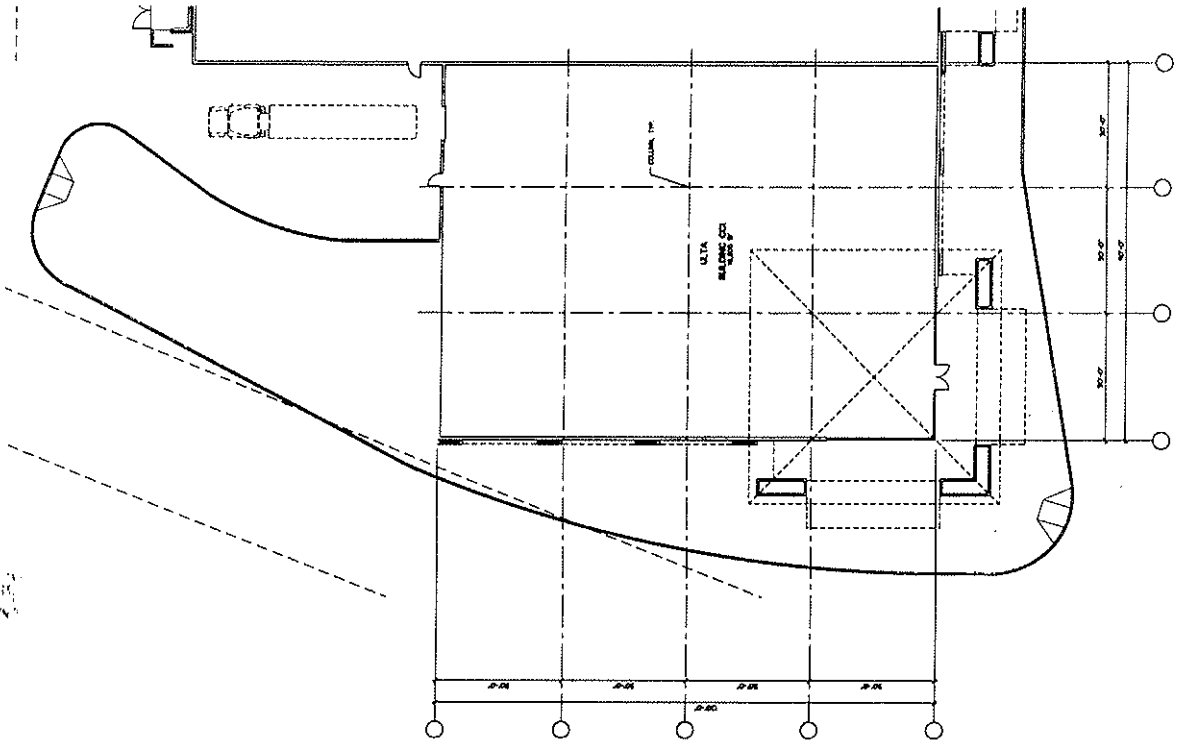
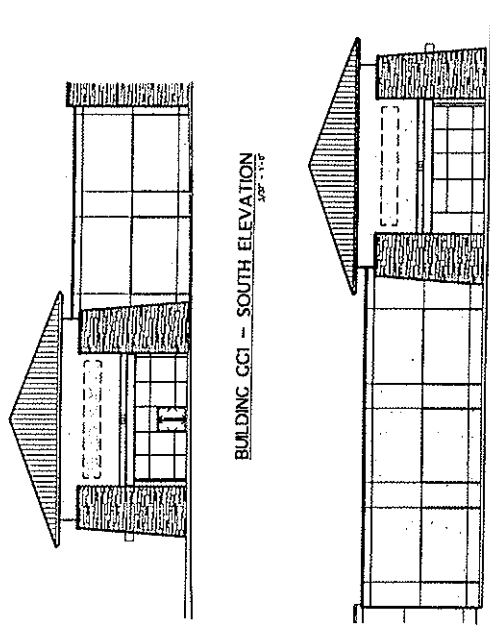
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CLIENT: VESTAR DEVELOPMENT CO.
SCALE: AS SHOWN
DRAWN BY: J. JOHNSON
CHECKED BY: J. JOHNSON
DATE: 01/11/00
PROJECT NO: 0000-000
PROJECT NAME: DESERT RIDGE MARKETPLACE
CLIENT: VESTAR DEVELOPMENT CO.
SCALE: AS SHOWN
DRAWN BY: J. JOHNSON
CHECKED BY: J. JOHNSON
DATE: 01/11/00



SOFT GOODS DISTRICT EAST - LINE UP FLOOR PLAN  
1/8" = 1'-0" (SEE SHEET 3-38)



SOFT GOODS DISTRICT EAST - LINE UP, SOUTHWEST ELEVATION  
1/8" = 1'-0" (SEE SHEET 3-38)







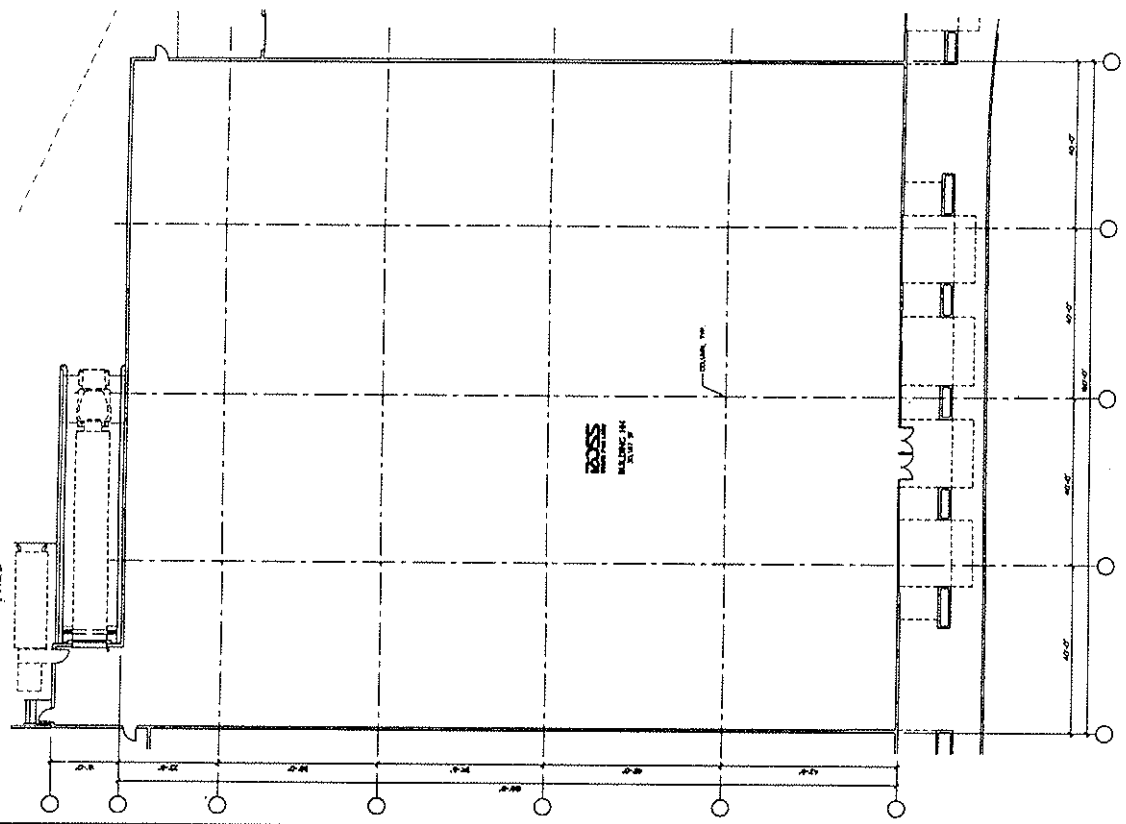
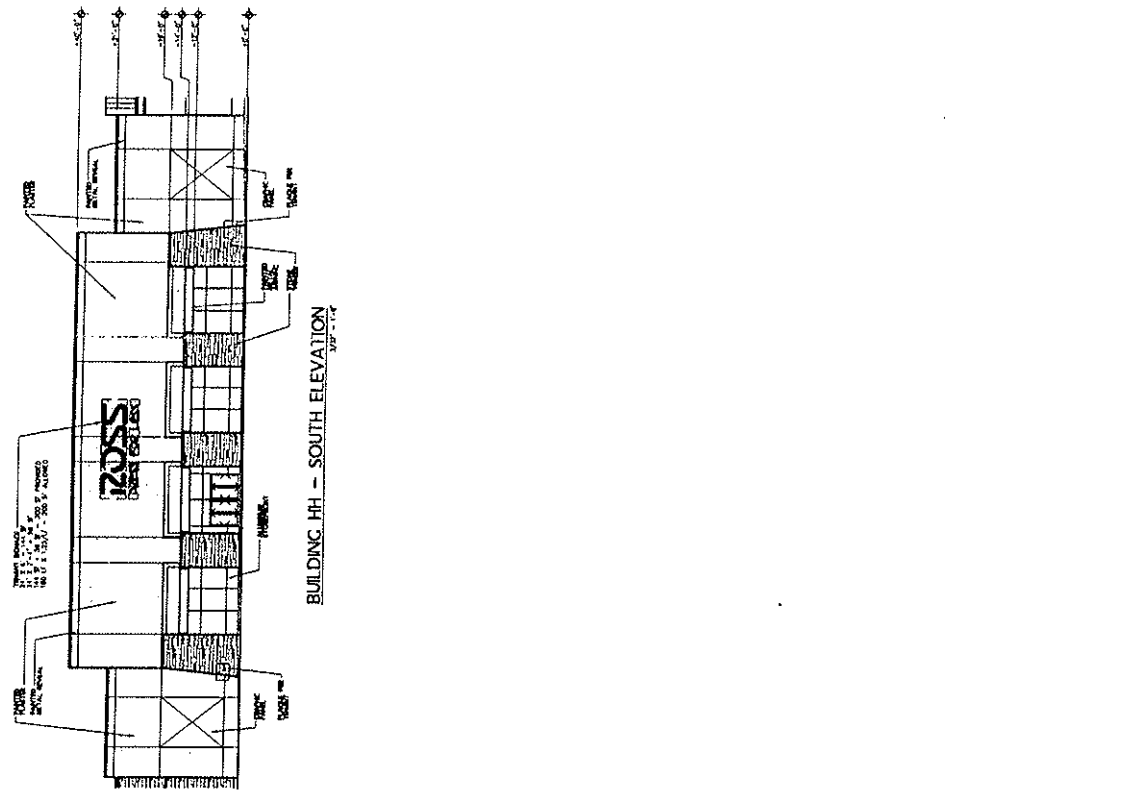
HH-1

DATE: 11/11/00  
BY: [Signature]

DESERT RIDGE MARKETPLACE  
Vestar Development Co.  
Phoenix, Arizona

SCPA  
ARCHITECTURE AND PLANNING

NO.	DATE	DESCRIPTION
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99	11/11/00	ISSUED FOR PERMITS
100	11/11/00	ISSUED FOR PERMITS



T-FF

DATE: 02/12/00

DRAWN BY: JLM

CHECKED BY: JLM

Phoenix, Arizona

Veststar Development Co.

DESERT RIDGE MARKETPLACE

SCPA

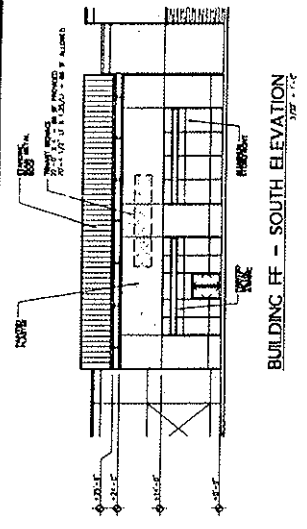
ARCHITECTURE AND PLANNING

FILE NAME: D:\P\2000\DESRTMKTPL\FF.FLD

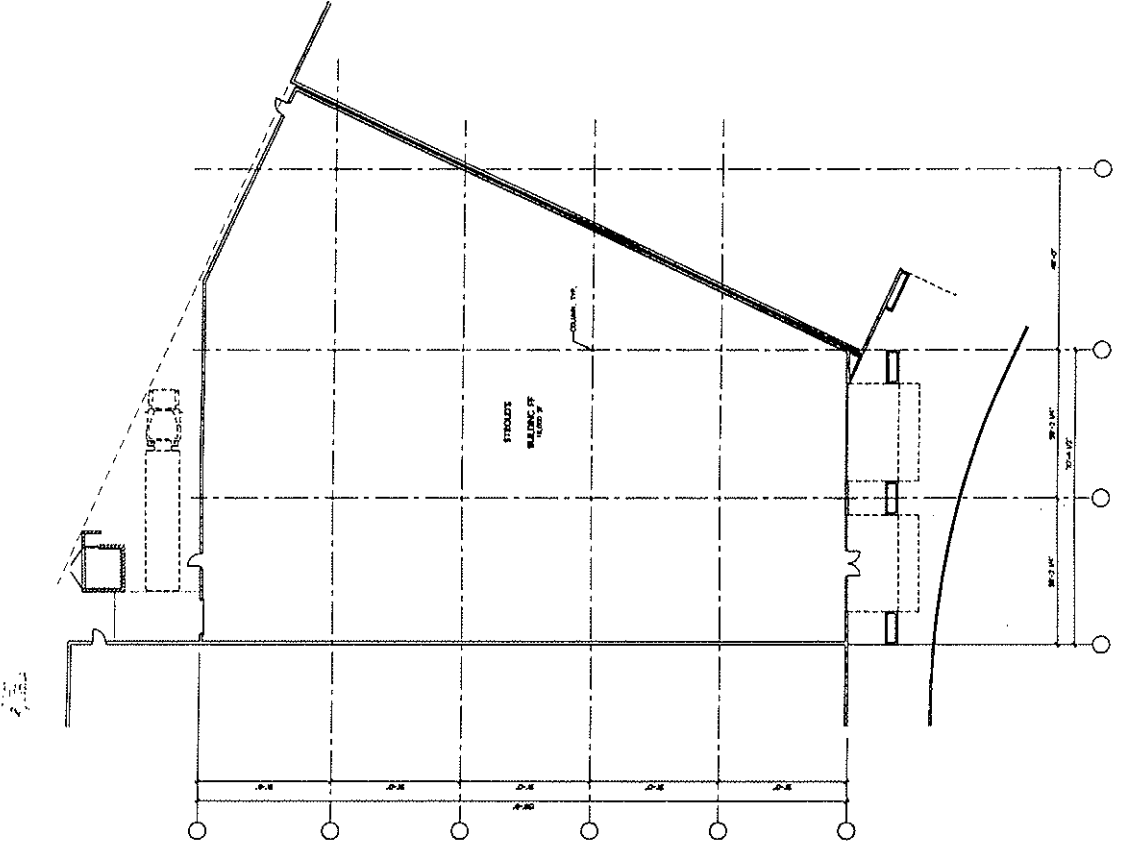
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PROJECT NO: 00-000000

NO.	DESCRIPTION	DATE
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3	ISSUED FOR FINISHING	02/12/00
4	ISSUED FOR OCCUPANCY	02/12/00
5	ISSUED FOR AS-BUILT	02/12/00

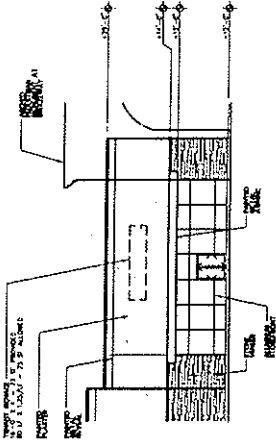


BUILDING FF - SOUTH ELEVATION  
1/2\"/>

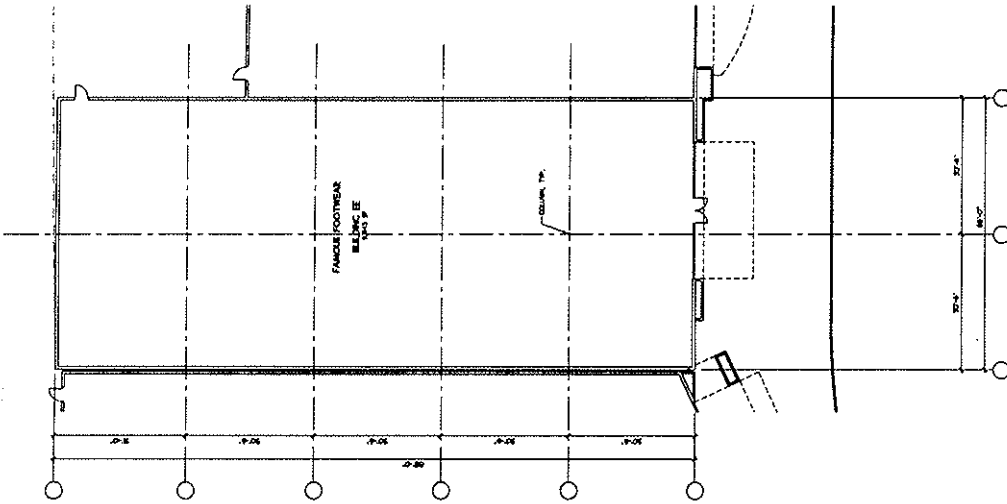


BUILDING FF - FLOOR PLAN  
1/2\"/>

NO.	REVISION	DATE

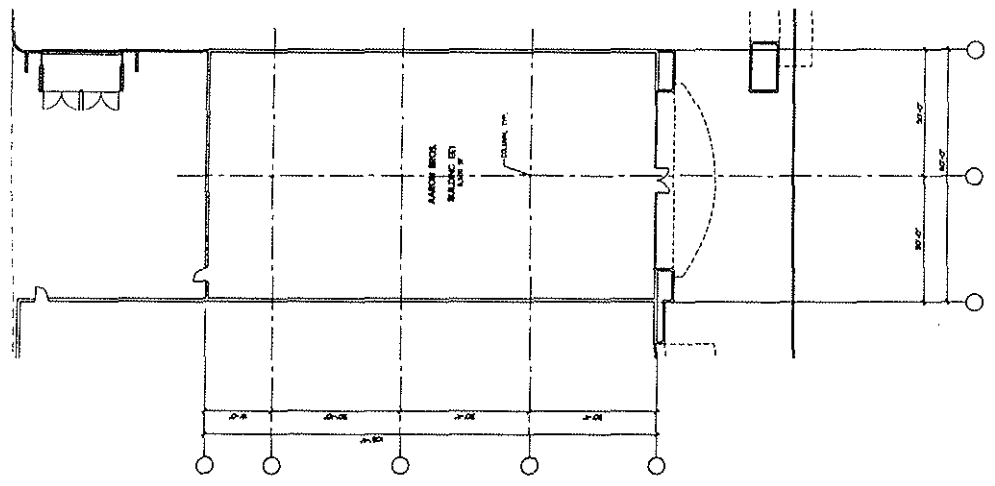
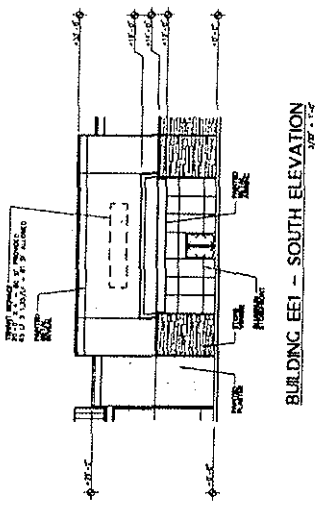


BUILDING EE - SOUTH ELEVATION



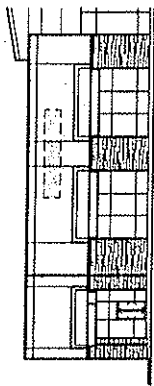
BUILDING EE - FLOOR PLAN

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DESIGNED BY	SCPA
CHECKED BY	SCPA
DATE	03/20/00
PROJECT NO.	00000000
DATE	03/20/00
SCALE	AS SHOWN
DESIGNED BY	SCPA
CHECKED BY	SCPA
DATE	03/20/00

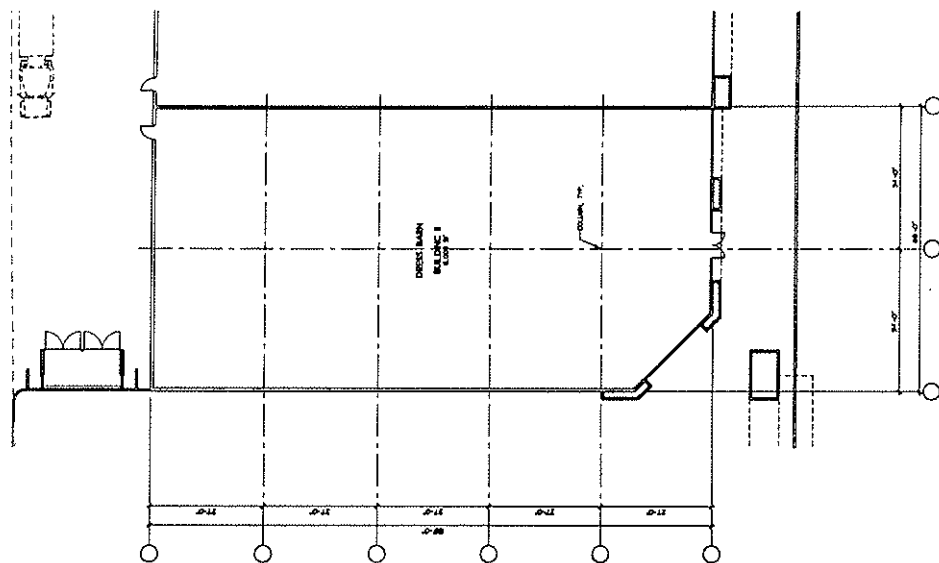


BUILDING EE1 - FLOOR PLAN  
1/8" = 1'-0"

DATE	NOV 11 2000
PROJECT NO.	00-0000
PROJECT NAME	DESERT RIDGE MARKETPLACE
CLIENT	VESTAR DEVELOPMENT CO.
ARCHITECT	SCPA ARCHITECTURE AND PLANNING
SCALE	AS SHOWN
DATE	NOV 11 2000

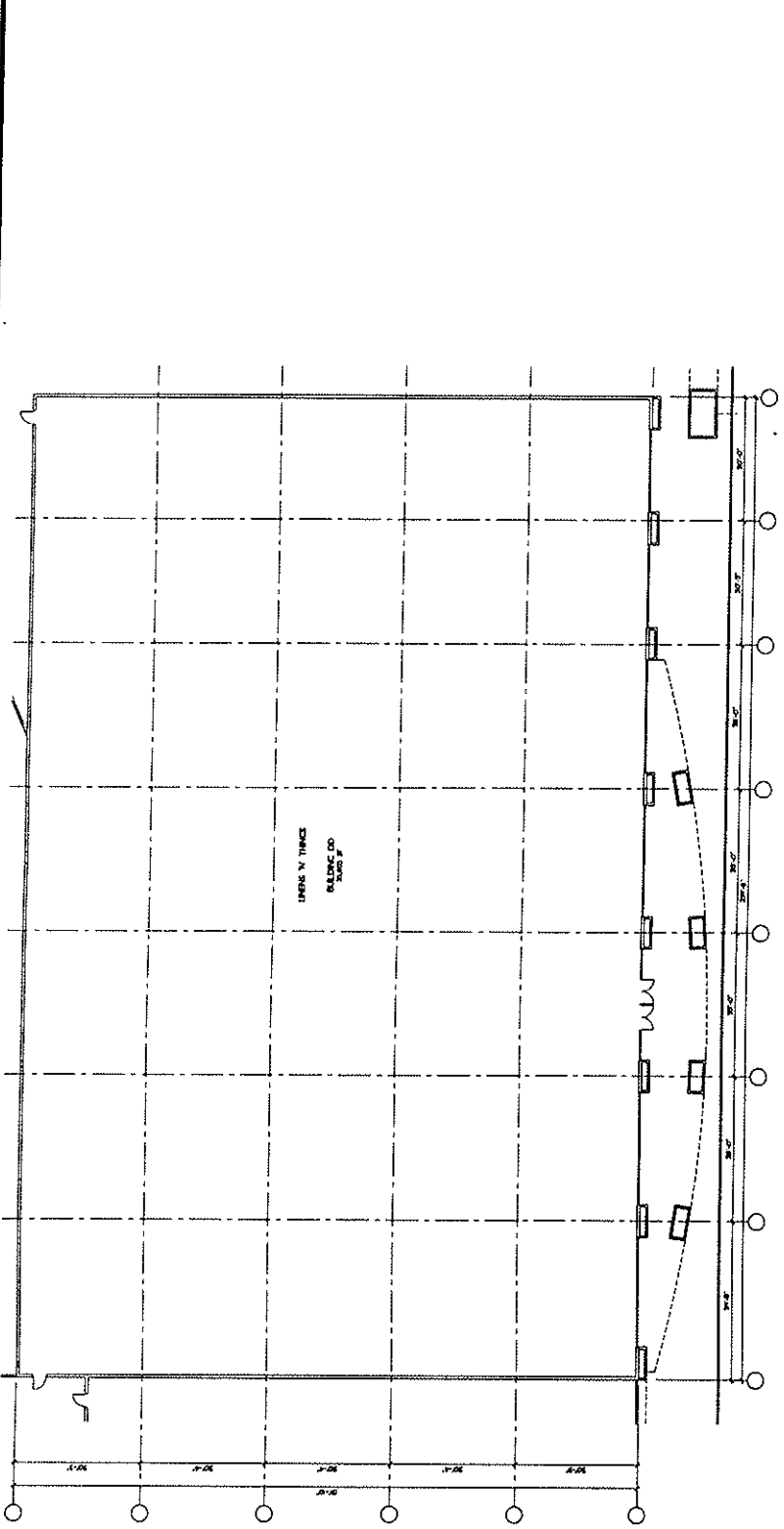


BUILDING II - SOUTH ELEVATION  
JMP - 112

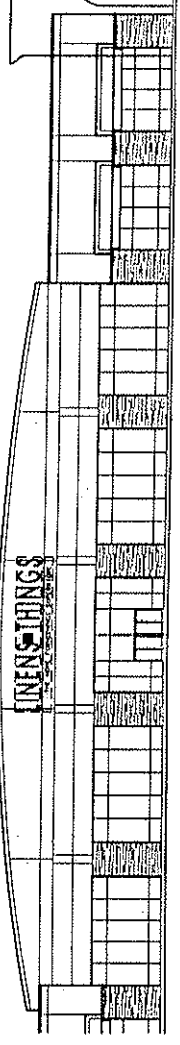


BUILDING II - FLOOR PLAN  
JMP - 112

NO.	REVISION	DATE

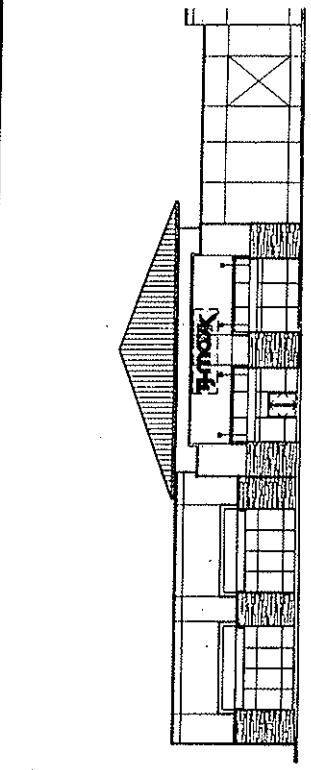


BUILDING DD - FLOOR PLAN  
1/8\"/>

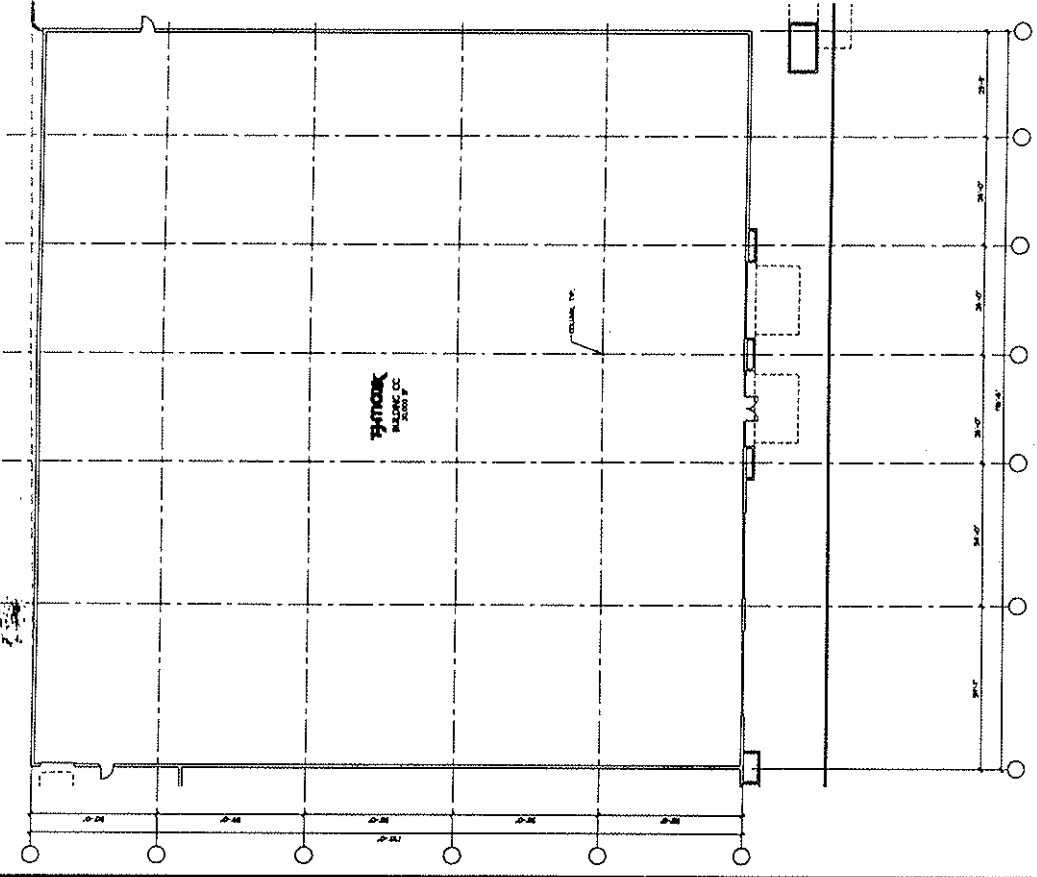


BUILDING DD - SOUTH ELEVATION  
1/8\"/>

DATE	12/11/00
BY	SCPA
CHECKED	SCPA
SCALE	AS SHOWN
PROJECT	DESERT RIDGE MARKETPLACE
SHEET	T-CC



BUILDING CC - SOUTH ELEVATION  
1/2" = 1'-0"



BUILDING CC - FLOOR PLAN  
1/2" = 1'-0"



T-BB

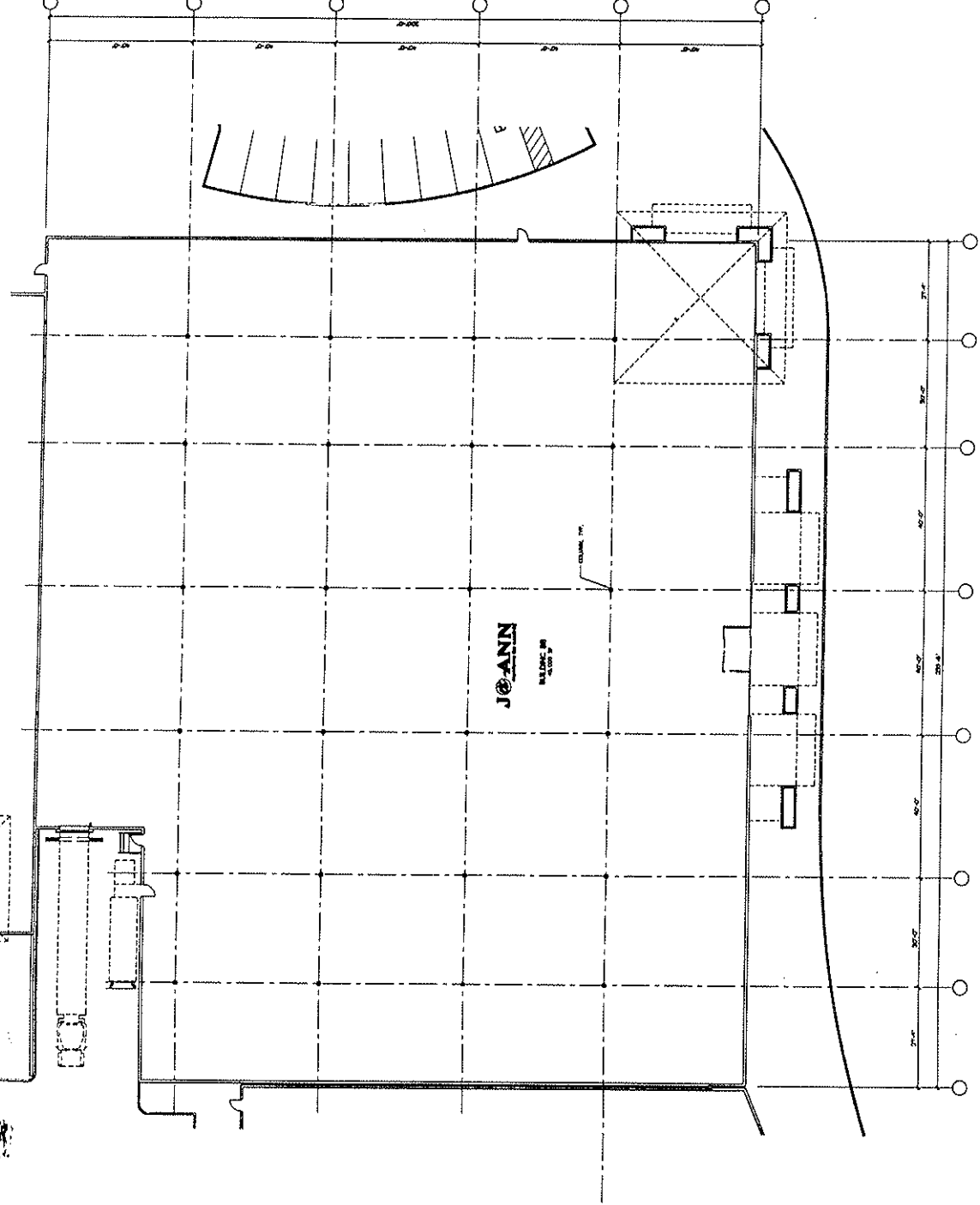
DATE: 12/14/99  
BY: [Signature]

DESERT RIDGE MARKETPLACE  
Vestat Development Co.  
Phoenix, Arizona

SCPA ARCHITECTURE AND PLANNING



PROJECT NO.	0001-0000
DATE	12/14/99
BY	[Signature]
CHECKED BY	[Signature]
SCALE	
TITLE	
DESCRIPTION	
REVISIONS	
NO.	DESCRIPTION
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BUILDING BB - FLOOR PLAN  
1/2" = 1'-0"

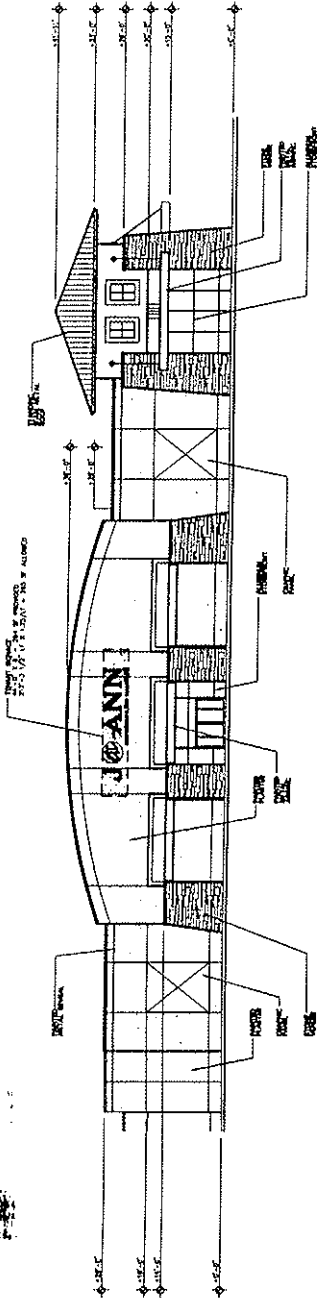


PROJECT NO.	
PROJECT NAME	
DATE	
SCALE	
DESIGNER	
CHECKER	
DATE	
SCALE	

SCPA  
ARCHITECTURE AND PLANNING

DESERT RIDGE MARKETPLACE  
Vestat Development Co.  
Phoenix, Arizona

T-BB



BUILDING\_BB - WEST ELEVATION  
1/2" = 1'-0"

